



CITY OF STOUGHTON
DEPARTMENT OF
PLANNING & DEVELOPMENT
381 East Main Street, Stoughton, WI. 53589

(608) 873-6619

www.ci.stoughton.wi.us

RODNEY J. SCHEEL
DIRECTOR

Date: September 5, 2017

To: Planning Commissioners

From: Rodney J. Scheel
Director of Planning & Development

Michael P. Stacey
Zoning Administrator/Assistant Planner

Subject: Agenda Item for the September 11, 2017 Planning Commission Meeting.

Request by Craig Whitehead for a conditional use permit and site plan approval to install a fuel center for Pick n Save, 1750 US Highway 51 & 138.

This request is to install fuel pumps for Pick n Save in front of the Tractor Supply and Goodwill (formerly Walmart) retail sites. Kroger Foods owns Pick n Save and as part of their operation they offer incentives for patrons to purchase gas. In-vehicle sales or service uses are permitted as a conditional use. The site plan, staff review, resolution and related material are provided. The applicant has information from other Kroger Stores related to traffic impacts. Primary users of the fuel station are patrons of Pick n Save. The owner of the property is working with the tenants to decide what to do about freestanding signage. A public hearing and recommendation to Council are necessary. The Planning Commission has site plan review authority. Staff recommends any site plan decisions to be contingent on Council approval of the CUP and staff review letter.

CITY OF STOUGHTON, 381 E. MAIN STREET, STOUGHTON, WISCONSIN

RESOLUTION OF THE PLANNING COMMISSION

Approving a site plan for Pick n Save Fuel Station at 1750 US Highway 51 - 138, Stoughton, WI.

Committee Action: Planning Commission approves the site plan – 0 with the Mayor voting

Fiscal Impact:

File Number: R- 30 -2017

Date Introduced: September 11, 2017

RECITALS

- A. Craig Whitehead (the “Applicant”) is seeking site plan approval for the installation of a fuel station for Pick n Save, 1750 US Highway 51 - 138 in the City of Stoughton, Dane County, Wisconsin (the “Property”).
- B. The Property is zoned Planned Business which permits a fuel stations as a conditional use.
- C. The City Planning Commission reviewed and discussed the provided site plan at their regular September 11, 2017 meeting and found that the plan meets the intent of the Zoning Code and Comprehensive Plan.

RESOLUTION

BE IT RESOLVED, the City of Stoughton Planning Commission approves the site plan for a fuel station at 1750 US Highway 51 - 138, Stoughton, WI, subject to the staff review dated September 1, 2017 and Council approval of the conditional use permit.

Mayor Donna Olson
Planning Commission Chair

Date

CITY OF STOUGHTON, 381 E. MAIN STREET, STOUGHTON, WISCONSIN

RESOLUTION OF THE COMMON COUNCIL

Approving a Conditional Use Permit to allow an in-vehicle sales and service use (Fuel Station) for Pick n Save at 1750 US Highway 51 – 138, Stoughton, Wisconsin.

Committee Action: Planning Commission recommend Council approval – 0

Fiscal Impact: None.

File Number: R- -2017

Date Introduced:

The City of Stoughton, Wisconsin, Common Council does proclaim as follows:

WHEREAS, on September 11, 2017 the City of Stoughton Planning Commission held a public hearing and reviewed the proposed conditional use permit request by Craig Whitehead, for property located at 1750 US Highway 51 - 138, Stoughton, Wisconsin; and

WHEREAS, the conditional use permit is requested to allow an in-vehicle sales and service use (Fuel Station); and

WHEREAS, the Zoning Administrator has determined:

- The proposed conditional use (the use in general and at the proposed specific location) is in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton comprehensive Plan, zoning ordinance or any other plan;
- The conditional use in its proposed location and as depicted on the required site plan does not result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this chapter, the comprehensive plan, or any other plan, program, map, or ordinance adopted or under consideration pursuant to official notice by the city of other government agency having jurisdiction to guide development;
- The proposed conditional use maintains the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property;
- The proposed conditional use is located in an area that will be adequately served by and will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property;
- The potential public benefits of the proposed conditional use outweigh any and all potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts; and

WHEREAS, the Planning Commission and Common Council determined the proposed conditional use permit will not create undesirable impacts on nearby properties, the environment, nor the community as a whole; now therefore

BE IT RESOLVED, by the City of Stoughton Common Council that the Conditional Use Permit request for Pick n Save to operate an in-vehicle sales and service use (Fuel Station) at 1750 US Highway 51 - 138, Stoughton, Wisconsin is hereby approved as presented.

Council Action: ☐ Adopted ☐ Failed **Vote** _____

Mayoral Action: ☐ **Accept** ☐ **Veto**

Mayor Donna Olson	Date
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Council Action: _____ ☐ **Override** **Vote** _____

PUBLIC HEARING NOTICE

The City of Stoughton Planning Commission will hold a Public Hearing on Monday, September 11, 2017 at 6:00 o'clock p.m., or as soon after as the matter may be heard, in the Council Chambers, Public Safety Building, 321 South Fourth Street, Second Floor, Stoughton, Wisconsin, 53589, to consider a proposed conditional use permit application by Stoughton Pick, LLC, for an In-Vehicle Sales and Service use (Retail Fuel Center) for Pick n Save, 1750 US Highway 51 & 138, Stoughton, WI.

The property is more formally described as:

Parcel #281/0511-063-9821-2

Legal Description: PRT LOT 1 CSM 5317 CS24/144&146-8/4/87 DESCR AS SEC 6-5-11 PRT SE1/4SW1/4 COM SW COR SEC 6 TH ALG S LN SD SEC N87DEG00'14"E 1830.42 FT TH N02DEG00'20"W 71.72 FT TO N R/W USH 51 & SW COR CSM 5317 TH ALG SD R/W N89DEG10'52"E 180.94 FT TH ALG CRV TO LEFT RAD 5969.58 FT LC N88DEG25'27"E 147.14 FT TO POB TH N01DEG56'19"W 351.05 FT TH N21DEG47'04"W 45.70 FT TO SE COR WAL-MART BLDG TH N01DEG56'19"W 160.06 FT TO NE COR SD WAL-MART BLDG TH N01DEG56'19"W 219.52 FT TO N LN SD LOT 1 TH N89DEG06'11"E 211.03 FT TO W R/W KINGS LYNN RD & NE COR SD LOT 1 TH ALG CRV TO LEFT RAD 637.00 FT LC S31DEG26'57"E 72.81 FT TH S34DEG43'32"E 99.88 FT TH S34DEG37'32"E 148.97 FT TH ALG CRV TO RIGHT RAD 520.81 FT LC S20DEG31'01"E 255.24 FT TH S88DEG01'18"W 149.01 FT TH S02DEG10'22"E 74.96 FT TO NE COR LOT 2 SD CSM TH ALG N LN SD LOT 2 S89DEG46'21"W 184.00 FT TO NW COR SD LOT 2 TH S01DEG58'30"E 187.00 FT TO SW COR SD LOT 2 & N R/W USH 51 TH S89DEG48'41"W 64.24 FT TH ALG CRV TO RIGHT RAD 5969.58 FT LC S87DEG28'35"W 50.76 FT TO POB CONT 5.20 ACRES M/L (PICK N SAVE PARCEL) This property description is for tax purposes. It may be abbreviated. For the complete legal description please refer to the deed.

For questions regarding this notice please contact Michael Stacey, Zoning Administrator at 608-646-0421.

Additional information including a location map can be found at:
<http://stoughtoncitydocs.com/planning-commission/>

Published August 17, 2017 Hub

Published August 24, 2017 Hub

Written Description of the proposed conditional use



Proposed Pick'n Save Fuel Center

1750 US Highway 51 and 138

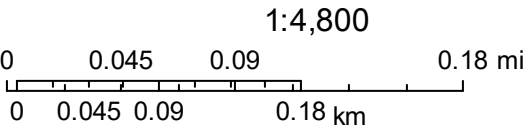
The proposed retail fuel center is a category extension, (like the deli, meat department, etc.) of the existing grocery operations and will be managed and staffed by well-trained grocery store employees. The parent company, Kroger, operates 1,400 grocery store fuel centers nationally, making them a bona fide petroleum marketer. Customers do not enter the fuel sales kiosk but complete transactions at the credit card readers at each fuel dispenser or at a transaction window located at the front of the transaction kiosk. There are proposed to be limited outdoor selling , i.e. ice, soda vending, dry goods on the exterior of the transaction kiosk and limited sales of convenience items from within the kiosk. The under ground petroleum storage tank system is designed, installed, and operated per local, state, and federal guidelines. The fuel center design is complementary to the grocery store with exterior lighting being dark-sky compliant and wholly on our site.

Pick n Save Pumps



August 14, 2017

□ Tax Parcels



Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

GENERAL NOTES:

1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO KNOW ALL OBSERVABLE CONDITIONS AND TO CONFORM TO ALL APPLICABLE CODES. THE GENERAL CONTRACTOR SHALL INFORM THE OWNER'S REPRESENTATIVE OF ANY NECESSARY OR APPROPRIATE QUESTIONS OR CLARIFICATIONS. THE GENERAL CONTRACTOR SHALL INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES AND STANDARDS, INCLUDING FEDERAL AEA REQUIREMENTS.
2. THE DRAWINGS AND PROJECT MANUAL (INCLUDING ASSOCIATED STUDIES, DRAWINGS, SHOP DRAWINGS AND SIMILAR INSTRUMENTS AS APPLICABLE) CONSTITUTE THE GUIDELINES FOR THE PROJECT AND SHALL BE USED IN CONJUNCTION WITH THE AFORESAID ENTIRE BODY OF PROJECT INFORMATION. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE COMPLETE INFORMATION TO ALL JURISDICTIONAL AUTHORITIES, SUBCONTRACTORS, ALLIED CONSULTANTS, HIRES, AND ASSIGNS.
3. ALL CONSTRUCTION SHALL COMPLY WITH THE DRAWINGS, PROJECT MANUAL, CODES AND STANDARDS OF THE JURISDICTIONAL AUTHORITY OR AUTHORITIES. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS. IN CASE OF DISCREPANCIES, THE MORE STRINGENT STANDARD SHALL APPLY.
4. THE GENERAL CONTRACTOR PERFORMING THE WORK SHALL MAINTAIN A GENERAL "A" LICENSE WITH HAZ MAT CERTIFICATION FROM THE CONTRACTOR'S STATE LICENSE BOARD AND/OR OTHER JURISDICTIONAL AUTHORITY.
5. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES FOUND DURING THE INVESTIGATION OF EXISTING UTILITIES AND TOPOGRAPHY AND/OR DURING THE CONSTRUCTION PHASE.
6. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL PERMITS, PERMIT FEES, LICENSES AND LICENSE FEES. THE GENERAL CONTRACTOR SHALL OBTAIN ALL NECESSARY CONSTRUCTION PERMITS REQUIRED TO PERFORM ALL REQUIRED WORK. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE ALL TRAFFIC CONTROL NECESSARY FOR THIS WORK.
7. WORK SHALL CONFORM TO THE REQUIREMENTS OF THE GOVERNING AGENCY OR AGENCIES HAVING JURISDICTION. GRADING, PAVING, AND MATERIALS SHALL COMPLY WITH THE JURISDICTIONAL ROADWAY AUTHORITY OR AUTHORITIES (E.G., DEPARTMENT OF TRANSPORTATION) STANDARD SPECIFICATIONS FOR CONSTRUCTION AS WELL AS PROJECT SPECIFICATIONS AND DRAWINGS. IN CASE OF DISCREPANCIES BETWEEN REQUIREMENTS, ATTAIN CLARIFICATION FROM THE OWNER'S REPRESENTATIVE.
8. THE GENERAL CONTRACTOR SHALL ENSURE ALL SITE INSPECTIONS REQUIRED BY CITY AND/OR STATE AGENCIES, AND/OR OTHER JURISDICTIONAL AUTHORITY ARE TO BE SCHEDULED A MINIMUM OF FIVE WORKING DAYS IN ADVANCE OF REQUESTED INSPECTION DATE.
9. THE GENERAL CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE OWNER'S REPRESENTATIVE IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE DRAWINGS, PROJECT MANUAL AND/OR FIELD CONDITIONS SO THAT APPROPRIATE ADJUSTMENTS AND/OR REVISIONS CAN BE MADE PRIOR TO CONSTRUCTION. ANY CONFLICTS BETWEEN THE DRAWINGS AND PROJECT MANUAL SHALL BE IDENTIFIED BY THE GENERAL CONTRACTOR AND CONFIRMED WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING.
10. MATERIAL TESTING SHALL BE SUPPLIED BY THE OWNER'S REPRESENTATIVE. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TESTING FIRM. ALL RE-TESTING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
11. SOIL SAMPLES MAY BE REQUIRED TO BE TAKEN FOR TESTING AT THE DIRECTION OF HAZ MAT, OTHER JURISDICTIONAL AUTHORITY, OR THE OWNER'S REPRESENTATIVE.
12. THE GENERAL CONTRACTOR SHALL MAINTAIN A CLEAN WORK AREA. TRASH AND WASTE MATERIALS SHALL BE COLLECTED AT A SAFE POINT, AWAY FROM FLAMES OR OTHER FIRE SOURCES. THE GENERAL CONTRACTOR SHALL PREVENT ANY LEAKS OR DROPS OF HYDRAULIC FLUID, MOTOR OIL, MOTOR FUELS, SOLVENTS, AND OTHER HYDROCARBONS FROM CONTAMINATING THE GROUND. SUCH SPILLS SHALL BE IMMEDIATELY COVERED WITH AN OIL ABSORBING MEDIUM (E.G. "OIL DRY") AND REMOVED FROM THE SITE IN A LEGAL AND ENVIRONMENTALLY SOUND MANNER. TRASH SHALL BE PROPERLY DISPOSED OF DAILY, UNLESS A COVERED DUMPSTER IS PROVIDED AND ITS LOCATION APPROVED BY THE OWNER'S REPRESENTATIVE.
13. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS AND ORGANIC MATERIAL IN A LAWFUL MANNER.
14. PROVIDE ADEQUATE BARRICADES AT DRIVES, ENTRANCES, EXCAVATIONS, OTHER OPENINGS, AND HAZARDOUS AREAS TO KEEP OUT UNAUTHORIZED PERSONS, FOR PUBLIC SAFETY, AND TRAFFIC CONTROL. SAFETY PROVISIONS OF APPLICABLE LAWS SHALL BE OBSERVED AT ALL TIMES. BARRICADES LEFT IN PLACE AT NIGHT SHALL BE LIGHTED.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING AND FOR DEWATERING TO ACCOMPLISH ALL WORK INDICATED ON PLANS AND TO PERFORM REQUIRED COMPACTION OPERATIONS. DEWATERING SHALL NOT DISCHARGE TO ANY SANITARY SEWER SYSTEM OR BE PUMPED ONTO ANY PUBLIC ROADWAY.
16. PROMPTLY REMOVE ALL DEMOLITIONS, PROJECT DISCARDS, RUBBISH, AND DEBRIS FROM THE LIMITS OF THE OWNER'S PROPERTY AND/OR EFFECTIVE PROJECT LIMITS, AND DISPOSE IN A LEGAL MANNER.
17. ALL EQUIPMENT TO BE INSTALLED SHALL BE UL APPROVED.
18. THE GENERAL CONTRACTOR SHALL PROVIDE A TRAFFIC SEQUENCING AND SCHEDULING PLAN AT THE ON-SITE PRE-CONSTRUCTION MEETING WITH THE OWNER'S REPRESENTATIVES AND APPLICABLE LANDLORD'S REPRESENTATIVE(S).
19. THE GENERAL CONTRACTOR'S MANNER AND METHOD OF INGRESS AND EGRESS WITH RESPECT TO THE PROJECT AREA SHALL IN NO WAY PROHIBIT OR DISTURB NORMAL PEDESTRIAN OR VEHICULAR TRAFFIC IN THE VICINITY AND IS SUBJECT TO REGULATION AND WRITTEN APPROVAL OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
20. ALL CONSTRUCTION SHALL BE CONDUCTED TO CAUSE MINIMAL INTERFERENCE WITH STREETS, DRIVES OR WALKS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC AND SHALL NOT CAUSE THE CLOSURE OR OBSTRUCTION OF STREETS, DRIVES, WALKS OR USER FACILITIES WITHOUT PERMISSION FROM THE OWNER'S REPRESENTATIVE.
21. THE GENERAL CONTRACTOR SHALL PHASE CONSTRUCTION IN SUCH A WAY AS TO MAINTAIN AN ACCESS ROUTE FROM AN ENTRANCE DRIVE TO TRUCK DOCKS AND/OR LOADING AREA(S) AT ALL TIMES.
22. CONTRACTOR SHALL KEEP EXISTING STREETS, ROADS AND DRIVES CLEAR OF DIRT, DEBRIS AND EQUIPMENT.
23. THE GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER'S REPRESENTATIVE FOR PARKING AND STORAGE OF EQUIPMENT. THIS AREA, AS WELL AS THE JOB SITE, SHALL BE ENCLOSED IN CHAIN LINK FENCING. A TRAFFIC LANE SHALL BE DESIGNATED FOR INGRESS AND EGRESS FROM THE WORK AREA. IF REQUIRED, FLAG MEN SHALL BE PROVIDED TO PROVIDE FOR SAFE AND EFFICIENT MOVEMENT OF VEHICLES. NO CHANGES TO THE WORK AREA OR TO THE AGREED TRAFFIC PATTERN SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE; THE OWNER'S REPRESENTATIVE WILL SECURE APPROVAL FOR SUCH CHANGES, IF APPLICABLE.
24. NO EQUIPMENT OR MATERIAL STORAGE IS PERMITTED WITHIN THE ROAD RIGHT-OF-WAY.
25. FOR THE DURATION OF CONSTRUCTION OPERATIONS, EMPLOYEE(S) WILL PARK IN A LOCATION DESIGNATED BY THE OWNER'S REPRESENTATIVE.
26. RESTORE ALL STREET SURFACES, DRIVEWAYS, CULVERTS, ROADSIDE DRAINAGE DITCHES, AND OTHER PUBLIC OR PRIVATE STRUCTURES THAT ARE DISTURBED OR DAMAGED AS A RESULT ON CONSTRUCTION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND TO THE SATISFACTION OF AFFECTED OWNER(S), JURISDICTIONAL AUTHORITY, AND/OR AUTHORITIES, AS APPLICABLE.
27. PROTECT EXISTING TREES TO REMAIN WITH TEMPORARY FENCING PLACED AT THE DRIP LINE. NO GROUND DISTURBANCE OR STORAGE OF MATERIAL SHALL OCCUR WITHIN THE DRIP LINE LIMITS, UNLESS HEREOF EXPRESSLY INDICATED OTHERWISE.
28. WRITTEN DIMENSIONS SHALL PREVAIL. NO DIMENSION MAY BE SCALED. REFER ANY UNCLEAR ITEMS TO THE OWNER'S REPRESENTATIVE FOR INTERPRETATION.

- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPOSED DIMENSIONS FOR BUILDINGS, WALLS, CONCRETE SLABS, UTILITY SERVICE POINT CONNECTIONS, ETC., AND SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONFLICTS OR DISCREPANCIES PRIOR TO CONSTRUCTION.
30. COORDINATES AND/OR DIMENSIONS SHOWN ON THESE DRAWINGS ARE TO BACK OF CURB, OUTSIDE FACE OF BUILDING FOUNDATIONS, EDGE OF PAVEMENT, OR CENTER OF STRUCTURE OR SIGN UNLESS NOTED OTHERWISE.
31. ANY BEARINGS USED HEREON ARE FOR THE PURPOSE OF ANGULAR MEASUREMENT ONLY AND ARE NOT NECESSARILY REFERENCED TO TRUE OR MAGNETIC NORTH.
32. UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE BEFORE ANY DIGGING.
33. THE GENERAL CONTRACTOR AT ALL TIMES SHALL ABIDE BY ALL OSHA, FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOISTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD LINES. IF THE GENERAL CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO UNDERGROUND AND/OR OVERHEAD ELECTRIC LINES, CONTACT THE AFFECTED UTILITY COMPANY AND MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS, PRIOR TO OPERATION.
34. THE GENERAL CONTRACTOR SHALL, AT HIS OR HER EXPENSE, RESTORE ANY AND ALL STRUCTURES, PIPE, UTILITY, PAVEMENT, CURB, SIDEWALK, LANDSCAPED AREA, ETC. DISTURBED WITHIN THE SITE AND/OR ADJOINING PROPERTIES DURING DEMOLITION OR CONSTRUCTION. SUCH FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER, TO THE SATISFACTION OF THE AFFECTED OWNER(S).
35. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
36. IN ALL CASES THE LOCATION OF EXISTING UTILITIES SHOWN ON THESE PLANS IS ASSUMED TO BE APPROXIMATE. LOCATIONS ARE BASED ON THE BEST AVAILABLE REFERENCE PLANS AND AN ACTUAL FIELD SURVEY OF VISIBLE STRUCTURES. CONTACT THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE BEFORE DIGGING.
37. THE GENERAL CONTRACTOR SHALL NOT INTERRUPT EXISTING UTILITIES AND/OR SERVING FACILITIES OCCUPIED AND USED BY THE OWNER, LANDLORD, OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE AFFECTED OWNER, LANDLORD, JURISDICTIONAL AUTHORITY, AND/OR UTILITY COMPANY. INTERRUPTIONS SHALL OCCUR ONLY AFTER ACCEPTABLE TEMPORARY OR PERMANENT SERVICE HAS BEEN PROVIDED.
38. ELECTRICAL WORK IN OR AFFECTING THE MAIN STORE TO OCCUR AFTER BUSINESS HOURS AND AFTER STORE EMPLOYEES HAVE LEFT THE BUILDING.
39. THE CONTRACTOR SHALL MAINTAIN, AT THE JOB SITE, A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND SPECIFICATIONS AND MAKE THEM AVAILABLE TO THE OWNER'S REPRESENTATIVE, SUBCONTRACTORS, AND/OR ALIED CONSULTANTS THROUGHOUT THE CONSTRUCTION PROCESS.
40. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE TIMELY COMPLETION OF ALL PHASES OF CONSTRUCTION. CONSTRUCTION PROJECT TO BE COMPLETED IN ACCORDANCE WITH ALL DRAWINGS AND PROJECT MANUAL, AND TURNED OVER TO THE OWNER'S REPRESENTATIVE IN FULLY OPERATIONAL CONDITION.
41. UPON COMPLETION OF THE WORK, THERE SHALL BE A FINAL INSPECTION OF THE PROJECT BY THE OWNER'S REPRESENTATIVE. ALL EQUIPMENT SHALL BE TESTED UNDER NORMAL OPERATING CONDITIONS. THE GENERAL CONTRACTOR SHALL HAVE AN ELECTRICIAN AVAILABLE DURING THE OPENING TO IMPLEMENT ANY APPROPRIATE OR REQUIRED ADJUSTMENTS TO THE EQUIPMENT.
42. AFTER ALL WORK HAS BEEN COMPLETED AND THE PROJECT HAS BEEN TESTED AND ACCEPTED, THE GENERAL CONTRACTOR SHALL SWEEP THE ENTIRE WORK AREA CLEAN AND REMOVE ALL DIRT, MUD, TRASH, WASTE MATERIAL, CONSTRUCTION EQUIPMENT, AND VEHICLES. DAMAGED PARKING STRIPES OR STAINED PAVEMENT SHALL BE REFINISHED TO ITS ORIGINAL CONDITION BY THE GENERAL CONTRACTOR.
43. SPECIAL CARE SHALL BE TAKEN DURING ALL TRENCHING OPERATIONS. SHEETING AND BRACING, CRIBBING, ETC. MUST BE INSTALLED AS NECESSARY OR APPROPRIATE TO PROVIDE MAXIMUM SAFETY TO THE GENERAL CONTRACTOR'S WORKERS, AND SHALL BE IN FULL COMPLIANCE WITH OSHA REGULATIONS.
44. SAWCUT AND REMOVE EXISTING ASPHALT PAVEMENT AS NEEDED TO INSTALL NEW CONCRETE CURBING, WALKS, UNDERGROUND UTILITIES AND/OR NEW BUILDING(S) OR STRUCTURE(S). SAWCUTS SHALL BE MADE A MINIMUM OF 1' BEYOND THE ACTUAL NEW CURB OR WALK LIMITS.
45. REMOVE AND REPLACE EXISTING PAVEMENT AS NEEDED TO MATCH EXISTING AND PROPOSED GRADES.
46. PRIOR TO PROCEEDING FURTHER WITH THE AFFECTED WORK, THE GENERAL CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCY REGARDING THE PROPOSED WORK OR UNFORESEEN CONDITIONS.
47. ALL PAVEMENTS ASSOCIATED AGGREGATE MATERIALS AND WORK COMPLETED SHALL BE IN STRICT ACCORDANCE WITH THE STATE DOT OR OTHER JURISDICTIONAL AUTHORITY SPECIFICATIONS AND STANDARD DETAILS UNLESS OTHERWISE EXPRESSLY SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL.
48. PIPE BOLLARDS SHALL BE INSTALLED IN TRAFFIC AND LOADING AREAS AS REQUIRED TO PROTECT BUILDING CORNERS, RECEIVING AREAS, HYDRANTS, TRANSFORMERS, METERS, GENERATORS, COMPACTORS, STEPS AND RAILINGS AS NECESSARY. SEE DETAIL 9/5/00.
49. WHENEVER REQUIRED OR APPROPRIATE, THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS AND MATERIALS TO THE OWNER'S REPRESENTATIVE, ENGINEER AND JURISDICTIONAL AUTHORITY OR AUTHORITIES, AND SHALL ACQUIRE SHOP DRAWING APPROVAL PRIOR TO FABRICATION AND/OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW AND APPROVAL.
50. THE GENERAL CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING(S), ROOF DRAINS, RAISED CONCRETE SIDEWALKS, RAMPS, STAIRWAYS, ETC.
51. TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS, AND TO THE MOST CURRENT "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".
52. FIRE LANES SHALL BE ESTABLISHED AND PROPERLY DESIGNATED IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, FIRE DEPARTMENT AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
53. IF APPLICABLE, THE GENERAL CONTRACTOR SHALL REMOVE ON-SITE CONFLICTING PAVEMENT MARKINGS IN A METHOD APPROVED BY THE OWNER'S REPRESENTATIVE, STATE DOT AND OTHER JURISDICTIONAL AUTHORITY. THE GENERAL CONTRACTOR SHALL EXERCISE CARE TO AVOID INSTALLATION OF CONFLICTING SIGNS AND MARKINGS.
54. AGGREGATE AND BITUMINOUS PAVEMENT MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH STATE DOT AND/OR OTHER JURISDICTIONAL AUTHORITY STANDARDS. THE GENERAL CONTRACTOR SHALL SUBMIT AGGREGATE SIEVE ANALYSES AND JOB-MIX FORMULAS FOR AGGREGATE AND BITUMINOUS PAVEMENT TO THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL AT LEAST 14 DAYS PRIOR TO PAVEMENT INSTALLATION.
55. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED IN THE DRAWINGS AND PROJECT MANUAL MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER'S REPRESENTATIVE AND OTHER AFFECTED JURISDICTIONAL AUTHORITY PRIOR TO INSTALLATION.
56. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PLANS, SHOP DRAWINGS, LAYOUTS AND SURVEY INFORMATION, AND FOR EXECUTING ALL SURVEY FIELD WORK REQUIRED, TO PERFORM CONSTRUCTION IN ACCORDANCE WITH THE DRAWINGS AND PROJECT MANUAL.
57. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO MODIFY THE DETAILS

AND STANDARDS OF CONSTRUCTION FOR ALL PRIVATE FACILITIES FROM THOSE INDICATED IN THE DRAWINGS AND PROJECT MANUAL, PROVIDED THAT ANY ALTERNATE STANDARD COMPLIES WITH ALL JURISDICTIONAL AUTHORITY REQUIREMENTS, AND THAT THE GENERAL DESIGN INTENT OF THE PROJECT IS NOT COMPROMISED.

BID NOTES:

1. THE GENERAL CONTRACTOR SHALL REFER TO GEOTECHNICAL ENGINEERING REPORT, FROM GEO.
2. THE GENERAL CONTRACTOR SHALL VISIT THE SITE BEFORE BIDDING.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL QUANTITIES.

NOTES TO GENERAL CONTRACTOR:

1. UNDERGROUND UTILITIES MUST BE MARKED, AS REQUIRED BY PUBLIC ACT 53 OF 1974. TELEPHONE THE REGIONAL UTILITY LOCATOR/ONE-CALL SYSTEM OFFICE A MINIMUM OF THREE (3) WORKING DAYS BEFORE ANY DIGGING.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CALCULATING ALL MATERIAL QUANTITIES.
4. THE CONTRACTOR SHALL INCLUDE THE BITUMINOUS AND CONCRETE PAVING SHOWN ON THE PLANS IN THEIR BASE BID.
5. THE CONTRACTOR SHALL PROVIDE THE UP-CHARGE, IF ANY, TO INSTALL CONCRETE PAVING INSTEAD OF BITUMINOUS PAVING. THIS PRICE SHALL ALSO INCLUDE THE COSTS TO PROTECT THE NEW CONCRETE PAVING FROM WINTER CONDITIONS.

DEMOLITION NOTES:

1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE IN PLACE PRIOR TO ANY SITE DEMOLITION, EXCAVATION OR GRADING.
2. PERFORM CLEARING, STRUCTURE REMOVAL, PAVEMENT REMOVAL AND APPLICABLE STOCKPILING IN ACCORDANCE WITH THE PROJECT DRAWINGS AND PROJECT MANUAL. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE LAWFUL REMOVAL AND DISPOSAL OF ALL RUBBISH, TRASH, DEBRIS, ORGANIC MATERIAL, ETC.
3. NO ATTEMPT IS MADE TO STIPULATE EACH ITEM TO BE REMOVED AND/OR DEMOLISHED, EITHER ON THE DRAWINGS OR IN THE PROJECT MANUAL. THE CONTRACTOR MUST VISIT THE SITE TO ASSESS EXISTING PHYSICAL CONDITIONS, AS WELL AS REVIEW THE DRAWINGS, AND ULTIMATELY DETERMINE WORK NECESSARY TO ACCOMPLISH INTENDED RESULTS DESCRIBED BY THE PROJECT DRAWINGS AND PROJECT MANUAL.
4. COMPLETELY RESTORE ALL DISTURBED AREAS TO CONDITION EQUAL TO OR BETTER THAN EXISTING CONDITION AND TO THE SATISFACTION OF AFFECTED OWNER(S) AND/OR GOVERNING AUTHORITY. ALL COSTS FOR CLEAN-UP, RESTORATION WORK AND OTHER RESTORATION OPERATIONS SUCH AS, BUT NOT LIMITED TO, EROSION CONTROL SIGNAGE, STREET SWEEPING AND MAINTAINING EXISTING UTILITIES SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY. RESTORATION WORK SHALL BE PERFORMED WITHIN FIVE (5) WORKING DAYS AFTER COMPLETION OF FINAL GRADING.
5. WHERE EXISTING PAVEMENT IS TO BE PARTIALLY REMOVED, SAWCUT PAVEMENT TO FULL DEPTH TO PROVIDE A SMOOTH JOINT WITH PROPOSED PAVEMENT.
6. ALL DEMOLITION WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
7. IF APPROPRIATE, RETAIN SOIL SPOILS FROM CONSTRUCTION EXCAVATION AND STORE AT DESIGNATED LOCATION FOR RE-USE, IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, PROJECT DRAWINGS, AND OWNER'S REPRESENTATIVE APPROVAL(S).

UTILITY NOTES:

- PROTECT AND MAINTAIN CROSSINGS WITH ANY AND ALL OTHER UTILITY LINES.
2. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE JURISDICTIONAL AUTHORITY OR AUTHORITIES TO PROVIDE FEES AND SECURE PERMITS FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES.
3. THOROUGH COORDINATION WITH THE RESPECTIVE UTILITY COMPANIES SHALL BE PERFORMED BY THE GENERAL CONTRACTOR TO INSURE THAT ALL UTILITY COMPANY, AND OTHER JURISDICTIONAL AUTHORITY STANDARDS FOR MATERIALS AND CONSTRUCTION METHODS ARE MET.
4. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES, INCLUDING SERVICES AND SERVICE LINES, PRIOR TO CONSTRUCTION.
5. THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND VERIFY THE ELEVATION AND LOCATION OF ALL UTILITIES BY VARIOUS MEANS PRIOR TO BEGINNING ANY EXCAVATION. TEST PITS SHALL BE DUG AT ALL LOCATIONS WHERE SEWERS CROSS EXISTING UTILITIES AND THE HORIZONTAL AND VERTICAL LOCATIONS OF THE UTILITIES SHALL BE DETERMINED. THE GENERAL CONTRACTOR SHALL CONTACT THE OWNER'S REPRESENTATIVE IN THE EVENT OF ANY UNFORESEEN CONFLICTS BETWEEN EXISTING AND PROPOSED UTILITIES SO THAT AN APPROPRIATE MODIFICATION MAY BE MADE.
6. THE GENERAL CONTRACTOR SHALL ARRANGE FOR AND COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES FOR SERVICE INSTALLATIONS AND CONNECTIONS AND MAIN SERVICE RELOCATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK TO BE PERFORMED BY THE VARIOUS UTILITY COMPANIES, PAY ALL FEES AND SECURE ALL PERMITS FOR CONNECTIONS, DISCONNECTIONS, RELOCATIONS, INSPECTIONS AND DEMOLITION AS NECESSARY OR APPROPRIATE.
7. THE GENERAL CONTRACTOR SHALL MAINTAIN ALL FLOWS AND UTILITY CONNECTIONS TO EXISTING BUILDINGS, ETC. WITHOUT INTERRUPTION UNLESS/UNTIL AUTHORIZED TO DISCONNECT BY THE OWNER'S REPRESENTATIVE, OTHER AFFECTED OWNER(S), THE UTILITY COMPANIES AND JURISDICTIONAL AUTHORITIES. THE CONTRACTOR SHALL INSTALL AS NECESSARY TEMPORARY SITE LIGHTING, GAS, SANITARY, WATER, STORM, ELECTRIC, TELEPHONE AND CABLE SERVICES TO BUILDING(S) THAT ARE TO REMAIN OPERATIONAL.
8. THE GENERAL CONTRACTOR SHALL PROVIDE SLEEVES UNDER FOOTINGS AND/OR THROUGH FOUNDATIONS FOR UTILITY CONNECTIONS.
9. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BENDS, FITTINGS, ADAPTERS, ETC. AS REQUIRED FOR PIPE CONNECTIONS TO BUILDING/CANOPY STUB-OUTS, INCLUDING ROOF/FOOTING DRAIN CONNECTIONS AND ROOF LEADERS, AND TO THE STORM DRAINAGE SYSTEM.
10. ALL UTILITY CONSTRUCTION IS SUBJECT TO INSPECTION PRIOR TO APPROVAL FOR BACKFILL, IN ACCORDANCE WITH THE UTILITY COMPANY OR COMPANIES, AND OTHER JURISDICTIONAL AUTHORITY REQUIREMENTS.
11. THE GENERAL CONTRACTOR SHALL RESTORE ANY STRUCTURE, PIPE, PAVEMENT, CURBS, SIDEWALKS, APPROPRIATE LANDSCAPE AREAS, ETC. DISTURBED DURING CONSTRUCTION TO THE ORIGINAL CONDITION OR BETTER.
12. PENDING THE GENERAL CONTRACTOR'S NOTIFICATION OF AND APPROVAL BY THE OWNER'S REPRESENTATIVE, UTILITY CONNECTION DESIGN AS REFLECTED IN THE PLANS AND PROJECT MANUAL MAY CHANGE SUBJECT TO UTILITY COMPANY AND JURISDICTIONAL AUTHORITY REVIEW.

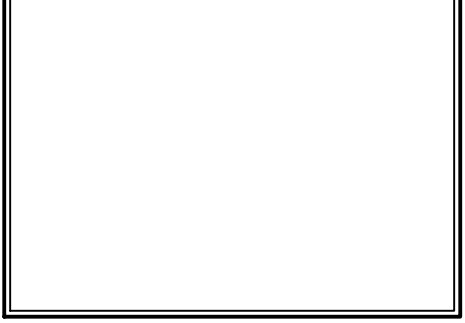
DISCLAIMERS:

- THIS SET OF DRAWINGS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE TO BE USED IN CONJUNCTION WITH THE PROJECT MANUAL AND/OR SUPPLEMENTAL DATA TO BE PROVIDED BY THE OWNER'S REPRESENTATIVE. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
- EXISTING SITE INFORMATION HEREON IS PROVIDED BY THE OWNER, SURVEYOR, PLANS PREPARED BY OTHERS, AND/OR FIELD SURFACE EVIDENCE. ALL LOCATIONS ARE PRESUMED TO BE APPROXIMATE. THE PROJECT COLLABORATIVE, INC. ASSUMES NO LIABILITY FOR INFORMATION REPRESENTING EXISTING CONDITIONS HEREON. IT IS THE GENERAL CONTRACTOR RESPONSIBILITY TO THOROUGHLY REVIEW THESE DRAWINGS AND SUPPLEMENTAL OWNER PROVIDED DATA WITH ACTUAL SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTE ANY DISCREPANCIES IN THE DRAWINGS AND ACTUAL SITE CONDITIONS AND IMMEDIATELY SHOW ON THE PLANS OR NOT, WITH THE OWNER'S REPRESENTATIVE PRIOR TO BIDDING AND CONSTRUCTION.
- THE DRAWINGS AND PROJECT MANUAL ASSUME THERE ARE NO UNUSUAL SOIL CONDITIONS, UNKNOWN UNDERGROUND STRUCTURES OR IMPEDIMENTS, WIND LOADS, AND/OR SIMILAR UNFORESEEN CIRCUMSTANCES. UNUSUAL CONDITIONS DETECTED BY THE GENERAL CONTRACTOR SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S REPRESENTATIVE AND MAY REQUIRE SIGNIFICANT CHANGES TO THESE DRAWINGS.
- THE DRAWINGS AND PROJECT MANUAL ARE AND SHALL REMAIN THE PROPERTY OF THE KROGER CO. REPRODUCTION OR ALTERATION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE KROGER CO. IS PROHIBITED. (NOT PUBLISHED- ALL RIGHTS RESERVED).

REVISIONS

[illegible]

CONSULTANT



SEAL



CUSTOMER



PROJECT DESCRIPTION

534-00390
RETAIL FUEL CENTER

PROJECT LOCATION

1750 HWY. 51 WEST
STOUGHTON, WI 53589

DANE COUNTY

SHEET TITLE

GENERAL NOTES

SHEET MANAGEMENT

PROJECT NO.:	534-00390
DATE:	-
CAD FILE:	G0.02.dwg
PROJECT MANAGER:	T. KRATZ
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SHEET NUMBER

G0.02

ALTA/ACSM LAND TITLE SURVEY

LOT 1, CERTIFIED SURVEY MAP No. 5317, LOCATED IN PART OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 06, TOWNSHIP 05 NORTH, RANGE 11 EAST, CITY OF STOUGHTON, DANE COUNTY, WISCONSIN.

JSD Professional Services, Inc.
Engineers • Surveyors • Planners

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MADISON REGIONAL OFFICE
 161 HORIZON DRIVE, SUITE 101
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 608.848.5090 PHONE | 608.848.2255 FAX

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www.jsdinc.com

SERVICES PROVIDED TO:

THE CROWN GROUP
 1564 WEST ALGONQUIN ROAD
 HOFFMAN ESTATES, IL 60192

PROJECT:

PICK'N SAVE

PROJECT LOCATION:
 CITY OF STOUGHTON
 DANE COUNTY, WI

JSD PROJECT NO.:

14-6271

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN: _____
 DRAWN: JK 06-25-14
 APPROVED: TJB 06-25-14

PLAN MODIFICATIONS:

DIGGERS HOTLINE

Call 811 or (800) 242-8511
 Milwaukee Area (262) 432-7910
 Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

SHEET TITLE:
 ALTA/ACSM LAND
 TITLE SURVEY

MAP NO. E-208

SHEET NUMBER:

1

I:\2014\146271\Draws\VicinityMap.png

VICINITY MAP
 NOT TO SCALE

LEGEND

- GOVERNMENT CORNER
- 1" IRON PIPE FOUND
- CHISELED "X" FOUND
- 3/4" x 24" REBAR SET (1.50 LBS/LF)
- CONTROL POINT
- BENCHMARK
- FINISHED FLOOR SHOT LOCATION
- BOLLARD
- MAIL BOX
- SIGN
- SANITARY MANHOLE
- HYDRANT
- WATER OR GAS VALVE
- STORM MANHOLE
- SQUARE CASTED INLET
- CURB INLET
- ENDWALL/END OF PIPE
- DOWNSPOUT
- GAS REGULATOR/METER
- POWER POLE W/GUY
- LIGHT POLE
- TELEPHONE PEDESTAL
- DECIDUOUS TREE
- CONIFEROUS TREE
- HANDICAP PARKING
- TR TOP OF RAMP
- BR BOTTOM OF RAMP
- TS TOP OF STEPS
- BS BOTTOM OF STEPS
- PARCEL BOUNDARY
- SECTION LINE
- RIGHT-OF-WAY LINE
- CENTERLINE
- CHORD LINE
- PLATTED LOT LINE
- EASEMENT LINE
- FENCE LINE
- GUARD OR SAFETY RAIL
- EDGE OF PAVEMENT
- STONE RETAINING WALL
- CONCRETE CURB & GUTTER
- SANITARY SEWER
- WATER LINE
- STORM SEWER
- NATURAL GAS
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- BUILDING
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- SPOT ELEVATION
- BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- DISCONTINUED MAPPED PIPE LINE
- DENOTES RECORD DATA
- DEPICTING THE SAME LINE ON THE GROUND AS RETRACED BY THIS SURVEY

NOTES

- FIELD WORK PERFORMED BY JSD PROFESSIONAL SERVICES, INC. ON JUNE 18, 2014.
- BEARINGS FOR THIS SURVEY AND MAP ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM (WCCS), DANE COUNTY. THE SOUTH LINE OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 11 EAST BEARS N 87°24'17" E.
- ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BENCHMARK IS AN ALUMINUM MONUMENT MARKING THE SOUTH QUARTER CORNER OF SECTION 6, T5N, R11E, ELEVATION = 927.42'
- CONTOUR INTERVAL IS ONE FOOT.
- SPOT ELEVATIONS SHOWN ALONG CURB AND GUTTER REFERENCE THE TOP BACK OF CURB.
- SUBSURFACE UTILITIES AND FEATURES SHOWN ON THIS MAP HAVE BEEN APPROXIMATED BY LOCATING SURFICIAL FEATURES AND APPURTENANCES, LOCATING DIGGERS HOTLINE FIELD MARKINGS AND BY REFERENCE TO UTILITY RECORDS AND MAPS. DIGGER'S HOTLINE TICKET NO.'s 20142420763, 20142420877, 20142420933, 20142420980 AND 20142421241 WITH A CLEAR DATE OF JUNE 18, 2014.
- BEFORE EXCAVATION, APPROPRIATE UTILITY COMPANIES SHOULD BE CONTACTED. FOR EXACT LOCATION OF UNDERGROUND UTILITIES, CONTACT DIGGERS HOTLINE, AT 1.800.242.8511.
- THE ACCURACY OF THE BENCHMARKS SHOWN ON THIS MAP SHALL BE VERIFIED BEFORE BEING UTILIZED. JSD PROFESSIONAL SERVICES, INC. DOES NOT WARRANT THE ACCURACY OF THESE BENCHMARKS.

NOTES CORRESPONDING TO TABLE A REQUIREMENTS:

- ITEM 3 THE SUBJECT PROPERTY LIES IN ZONE "X", OTHER AREAS, PER FEMO MAP NUMBER 5502506366, MAP REVISED JANUARY 02, 2009. ZONE "X"-AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ITEM 6b CURRENT ZONING CLASSIFICATION PER CITY OF STOUGHTON ZONING MAP - REVISED APRIL 5, 2013, IS PLANNED BUSINESS.
- ITEM 9 THERE ARE 479 PARKING SPACES AND 20 HANDICAP SPACES FOR A TOTAL OF 499 PARKING SPACES.
- ITEM 10(a) DETERMINATION OF THE RELATIONSHIP AND LOCATION OF CERTAIN DIVISION OR PARTY WALLS DESIGNATED BY THE CLIENT WITH RESPECT TO ADJOINING PROPERTIES.
- ITEM 11(b) NOTE - WITH REGARD TO TABLE A, ITEM 11(b), SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURE CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- ITEM 16 THERE IS NO OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS AT THE TIME OF THIS SURVEY.
- ITEM 17 THERE ARE NO PROPOSED CHANGES IN THE STREET RIGHT-OF-WAY LINES PER CITY OF STOUGHTON DEPARTMENT OF PUBLIC WORKS. THERE IS NO OBSERVED EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- ITEM 18 THERE IS NO OBSERVED EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- ITEM 19 THERE ARE NO WETLANDS ON THIS PARCEL PER THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES SURFACE WATER DATA VIEWER.
- ITEM 20 THERE IS AN OFFSITE EASEMENT OVER LOT 2, CERTIFIED SURVEY MAP No. 5317 FOR CROSS ACCESS.

NOTES CORRESPONDING TO SCHEDULE B-SECTION TWO EXCEPTIONS

(CHICAGO TITLE INSURANCE COMPANY, FILE NO.: 141015, EFFECTIVE DATE: JULY 06, 2014 AT 12:01 A.M., ISSUE DATE: JULY 14, 2014)

- (11) RESTRICTIONS AND LIMITATIONS SET FORTH IN ACCESS COVENANT BY THE STATE OF WISCONSIN, DEPARTMENT OF TRANSPORTATION DATED OCTOBER 23, 1969 AND RECORDED ON OCTOBER 30, 1969, IN VOLUME 141, PAGE 553, AS DOCUMENT NO. 1253139.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- (12) UTILITY EASEMENT ACROSS THE SUBJECT PREMISES AS SET FORTH ON CERTIFIED SURVEY MAP No. 5317, RECORDED AS DOCUMENT No. 2036861.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- (13) SANITARY SEWER AND WATER MAIN EASEMENTS ACROSS THE SUBJECT PREMISES AS SET FORTH ON CERTIFIED SURVEY MAP No. 5317, RECORDED AS DOCUMENT No. 2036861.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- (14) RIGHTS OF OTHERS TO USE THE INSURED EASEMENT AND ALL CHARGES, ASSESSMENTS OR LIENS WITH REGARD TO THE MAINTENANCE AND REPAIR OF THE INSURED EASEMENT SHOWN ON SCHEDULE A THEREOF.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS NOT GRAPHIC IN NATURE, THEREFORE IT IS NOT PLOTTED HEREON.
- (16) TERMS, CONDITIONS, RESTRICTIONS SET FORTH IN EASEMENT RECORDED ON MARCH 18, 1999, AS DOCUMENT No. 3903245.
- THIS ITEM DOES AFFECT THE SUBJECT PROPERTY AND IS PLOTTED HEREON.
- (26) THE FOLLOWING ENCROACHMENTS AS SHOWN ON PLAT OF SURVEY PREPARED BY JSD PROFESSIONAL SERVICES, INC. DATED JUNE 27, 2014, PROJECT NO. 14-6271:
- APPARENT UTILITY EASEMENT FOR OVERHEAD WIRES
 - PAVEMENT UPON SANITARY AND SEWER AND UTILITY EASEMENTS
 - PAVEMENT LEADING FROM SUBJECT PREMISES TO STREET
 - CURB NORTH OF THE ANCHOR BANK BUILDING
 - CONCRETE PAVEMENT WEST OF EASEMENT DOCUMENT No. 3093245
 - POSSIBLE BUILDING WEST OF EXISTING BUILDING
 - PAVEMENT WEST AND NORTH OF EXISTING BUILDING

ENCROACHMENTS ARE DETERMINED BY LEGAL OPINION. THESE ITEMS WERE NOT LABELED OR DETERMINED TO BE ENCROACHMENTS BY JSD PROFESSIONAL SERVICES, INC. THEY WERE CALLED OUT BY CHICAGO TITLE INSURANCE COMPANY.

LEGAL DESCRIPTION (AS FURNISHED)

(CHICAGO TITLE INSURANCE COMPANY, FILE NO.: 141015, EFFECTIVE DATE: JULY 06, 2014 AT 12:01 A.M., ISSUE DATE: JULY 14, 2014)

PARCEL 1:
 LOT 1 OF CERTIFIED SURVEY MAP 5317, RECORDED IN VOLUME 24 OF CERTIFIED SURVEY MAPS, PAGE 144, AS DOCUMENT No. 2036861, BEING A PART OF THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 11 EAST, IN THE CITY OF STOUGHTON, DANE COUNTY, WISCONSIN.

PARCEL 2:
 NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS AS CONTAINED IN CROSS-EASEMENT AGREEMENT WITH COVENANTS AND RESTRICTIONS CONTAINED IN INSTRUMENT RECORDED DECEMBER 14, 1988, IN VOLUME 12297 OF RECORDS, PAGE 46, AS DOCUMENT No. 2118693 AND RE-RECORDED ON JANUARY 18, 1989, IN VOLUME 12418 OF RECORDS, PAGE 1, AS DOCUMENT No. 2123640.

FOR INFORMATIONAL PURPOSES ONLY:
 ADDRESS: 1750 AND 1800 US HIGHWAY 51, STOUGHTON, WI
 TAX MAP NUMBER: 281/0511-063-9801-5 AND 281/0511-063-9810-2

SURVEYOR'S CERTIFICATE

- TO:
- CROWN GROUP, INC.,
 - ABS 1, LLC, A WISCONSIN LIMITED LIABILITY COMPANY,
 - STOUGHTON PICK LLC,
 - ROCKFORD BANK & TRUST CO.,
 - MERIT TITLE
 - CHICAGO TITLE INSURANCE COMPANY,

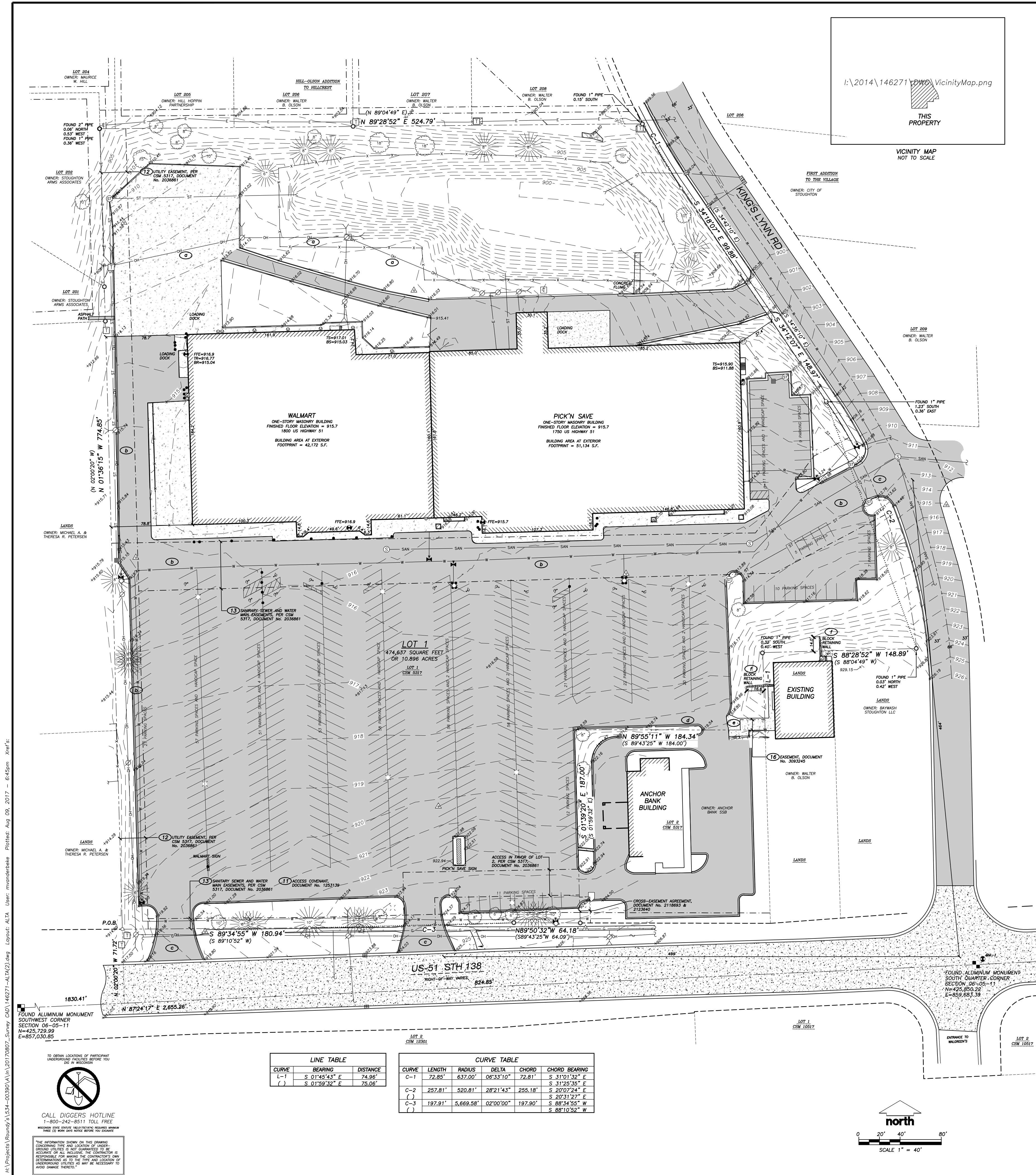
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 8, 9, 10(a), 11(a), 13, 14, 16, 17, 18, 19, 20(a) AND 20(b) OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 18, 2014.

JOHN KREBS, S-1878
 REGISTERED LAND SURVEYOR

DATE

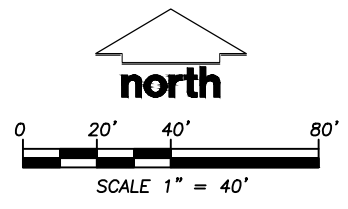
PREPARED FOR

THE CROWN GROUP
 1564 WEST ALGONQUIN ROAD
 HOFFMAN ESTATES, ILLINOIS 60192



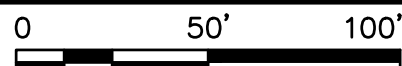
LINE TABLE		
CURVE	BEARING	DISTANCE
L-1	S 01°45'43" E	74.96'
()	S 01°59'32" E	75.06'

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C-1	72.85'	637.00'	06°33'10"	72.81'	S 31°01'32" E
C-2	297.81'	520.81'	28°21'43"	255.18'	S 31°25'35" E
()					S 20°07'24" E
C-3	197.81'	5,669.58'	02°00'00"	197.80'	S 88°34'55" W
()					S 88°10'52" W



File: A:\Projects\Boulay\1534-03390\A\150710887-Survey\CD\146271-ALTA2.dwg Layout: ALTA User: manderle Date: Aug 09, 2017 - 6:45pm Xref's:

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PARKING SPACES AFTER RENOVATIONS =
399 SPACES + 18 HC SPACES = 417 SPACES

[illegible]

Pick 'n Save

534-00390
RETAIL FUEL CENTER

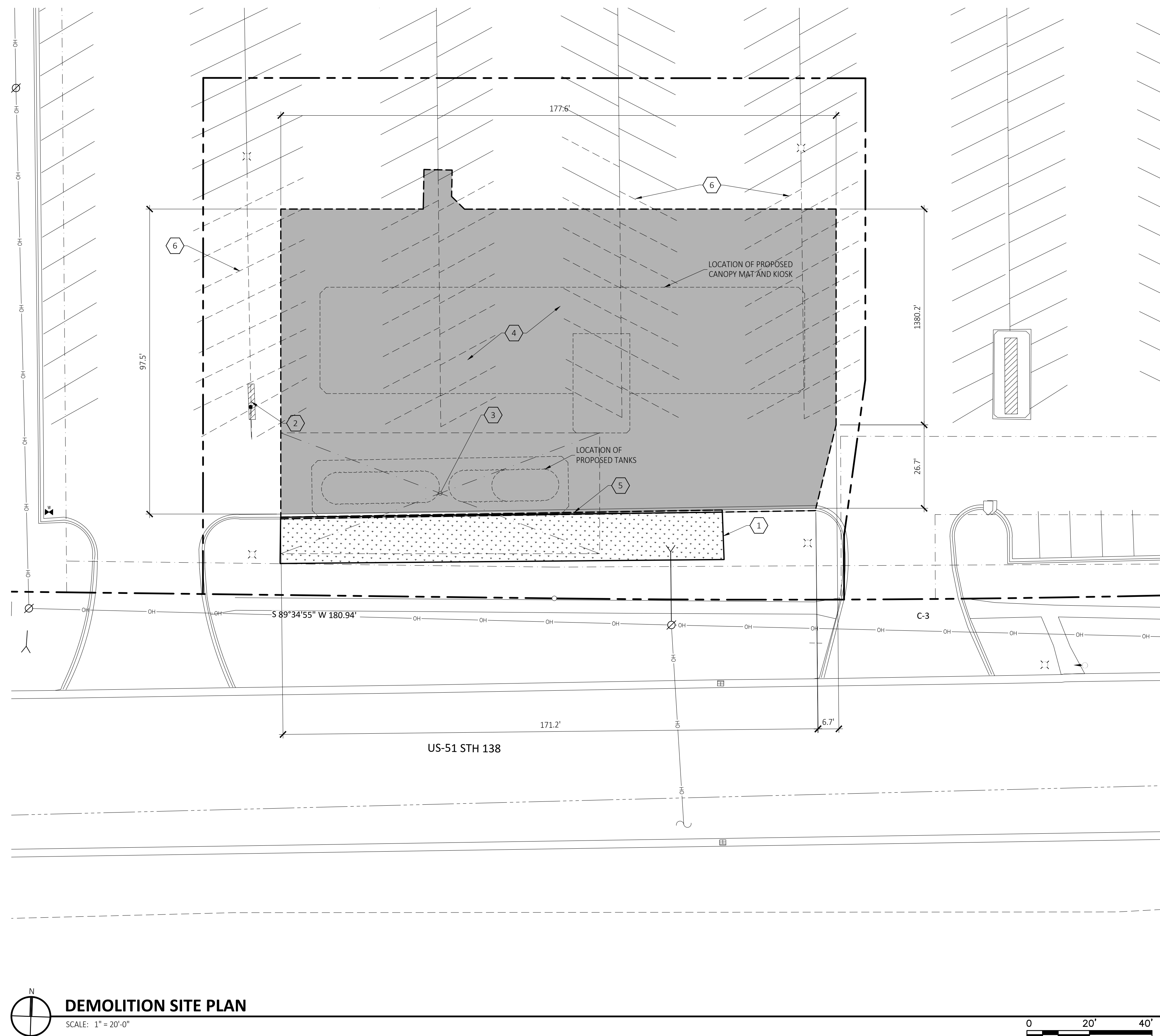
1750 HWY. 51 WEST
STOUGHTON, WI 53589

(DANE COUNTY)

**COMPOSITE SITE PLAN
CONSTRUCTION**

PROJECT NO.:	534-00390
DATE:	-
CAD FILE:	C1.02.dwg
PROJECT MANAGER:	T. KRATZ
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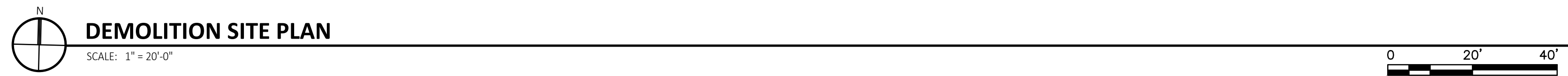
C1.02



- DEMOLITION SITE PLAN KEYNOTES:**

 1. REMOVE SOIL AND GRAVEL AND STORE FOR REUSE AS PRACTICAL. PREPARE SITE FOR NEW CONSTRUCTION AS INDICATED IN THE GEOTECHNICAL REPORT.
 2. PROTECT PYLON SIGN AND FOUNDATIONS TO REMAIN.
 3. APPROXIMATE TANK EXCAVATION LIMITS SHOWN FOR REFERENCE ONLY. ACTUAL TANK EXCAVATION REQUIREMENTS AND SIZING SHALL BE DETERMINED BY THE CONTRACTOR BASED ON SITE CONDITIONS AND GEOTECHNICAL ENGINEER'S REPORT. CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND PROVIDE SHORING AS REQUIRED.
 4. SAWCUT, REMOVE AND DISPOSE OF PAVEMENT AS REQUIRED FOR NEW CONSTRUCTION.
 5. SAWCUT, REMOVE AND DISPOSE OF CONCRETE CURB AS REQUIRED FOR NEW CONSTRUCTION.
 6. SCARIFY EXISTING PARKING SPACES FOR NEW CONSTRUCTION.

[illegible]



1. INSTALL CONSTRUCTION FENCE. CONTRACTOR TO FIELD VERIFY AND COORDINATE LOCATION(S) OF CONSTRUCTION ACCESS GATE(S) WITH OWNER'S REPRESENTATIVE. SEE DETAIL 7/C5.00. INCLUDE SILT FENCE INSIDE OF CONSTRUCTION FENCE.
2. PROVIDE AND INSTALL CONCRETE WASHOUT AREA. SEE DETAIL 6/C5.00.

- PLACE A GEOTEXTILE FILTER BAG OR GEOTUBE ON THE END OF THE DISCHARGE HOSE
- DISCHARGE DIRECTLY TO A SEDIMENT BASIN.
- DISCHARGE TO A WELL VEGETATED AREA (NOT WETLANDS).
- DISCHARGE INTO A CONSTRUCTED CONTAINMENT AREA.

1. IMPLEMENTATION OF TEMPORARY EROSION CONTROL MEASURES; SELECTIVE GRADING DIVERSIONS AS REQUIRED IN FIELD, AND PROTECTION OF STORM SEWER FACILITIES.
2. PAVEMENT DEMOLITION; STRIP AND STOCK PILE SOIL.
3. PERIODIC MAINTENANCE OF AFFECTED EROSION CONTROL MEASURES.
4. PERMANENT MEASURES; FINAL GRADING, SEEDING AND MULCHING.

1. INSTALL TRAFFIC AND PEDESTRIAN SAFETY BARRICADES.
2. INSTALL TEMPORARY EROSION CONTROL MEASURES. PROTECT ALL AREAS THAT COULD ALLOW SEDIMENT TO MIGRATE OFF-SITE VIA SURFACE RUNOFF, VIA ENCLOSED DRAINAGE SYSTEMS OR VIA TRACKING CAUSED BY CONSTRUCTION EQUIPMENT, ETC. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EARTH MOVING ACTIVITIES.
3. COMPLETE REQUIRED REMOVALS AND LEGALLY DISPOSE OF DEBRIS AND WASTE OFF-SITE.
4. PERFORM MASS GRADING AND CONSTRUCT SITE IMPROVEMENTS.
5. DAILY OR AS REQUIRED, CONSTRUCT TEMPORARY BERMS, DITCHES, SILT FENCING, SEDIMENT TRAPS, ETC. SEED AND MULCH AS REQUIRED.
6. INSPECT AND MAINTAIN ALL EROSION CONTROL MEASURES PER JURISDICTIONAL AUTHORITY REQUIREMENTS.
7. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN SITE IS STABILIZED.

[illegible]

1. LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL SUBMIT A SOIL EROSION CONTROL PLAN AND OBTAIN A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT PRIOR TO ANY EARTH CHANGES.
2. THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE "WISCONSIN CONSTRUCTION SITE BEST MANAGEMENT PRACTICE HANDBOOK" BY THE STATE OF WISCONSIN DNR.
3. ALL SOIL EROSION AND SEDIMENTATION CONTROL (SESC) WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE JURISDICTIONAL AUTHORITY.
4. EROSION AND ANY SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
5. STAGING THE WORK WILL BE DONE BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE AS DIRECTED IN THESE PLANS AND AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH CHANGE.
6. THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL BE RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF SESC DEVICES.
7. THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL IMPLEMENT AND MAINTAIN THE SESC MEASURES AS SHOWN ON THE PLANS BEFORE, AND AT ALL TIMES DURING, THE CONSTRUCTION ON THIS PROJECT. ANY MODIFICATIONS OR ADDITIONS TO SESC MEASURES DUE TO CONSTRUCTION OR CHANGED CONDITIONS SHALL BE COMPLIED WITH AS REQUIRED OR DIRECTED BY THE JURISDICTIONAL AUTHORITY.
8. IF ANY OF THE SESC MEASURES ON THE SITE ARE DEEMED INADEQUATE OR INEFFECTIVE, THE JURISDICTIONAL AUTHORITY HAS THE RIGHT TO REQUIRE ADDITIONAL SESC MEASURES AT THE EXPENSE OF THE LANDOWNER.
9. LANDOWNER OR LANDOWNER'S REPRESENTATIVE SHALL INSPECT THE SESC DEVICES ONCE A WEEK, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. A LOG OF INSPECTION REPORTS SHALL BE MAINTAINED AND ACCESSIBLE IN ACCORDANCE WITH NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENTS. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
10. INSTALL SILT FENCE AS INDICATED ON THE PLAN, PER DETAIL, AND AT ADDITIONAL AREAS AS NECESSARY.
 - A. SILT FENCE SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - B. BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE.
 - C. IF SILT FENCE DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE SILT FENCE SHALL BE REPLACED PROMPTLY.
11. INSTALL INLET FILTER ON ALL PAVEMENT CATCH BASINS PER DETAIL.
 - A. INLET FILTERS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF A RAINFALL, AND DAILY DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - B. BUILD-UP OF SEDIMENT AND DEBRIS SHALL BE REMOVED PROMPTLY.
 - C. IF FILTER FABRIC DECOMPOSES OR BECOMES INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FABRIC SHALL BE REPLACED PROMPTLY.
12. INSTALL DRAIN GUARD ON ALL CATCH BASINS PER DETAIL, SEED OR SOD THE AREA BETWEEN THE SILT FENCE AND THE INLET.
 - A. DRAIN GUARDS SHALL BE INSPECTED WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF RAINFALL, AND DURING A PROLONGED RAIN EVENT. REQUIRED MAINTENANCE SHALL BE PROVIDED PROMPTLY.
 - B. BUILD-UP OF SEDIMENT SHALL BE REMOVED WHEN SEDIMENT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE SILT FENCE.
 - C. IF FILTER FABRIC DECOMPOSES OR BECOME INEFFECTIVE PRIOR TO THE END OF EXPECTED USABLE LIFE AND THE BARRIER IS STILL REQUIRED, THE FILTER FENCE SHALL BE REPLACED PROMPTLY.
13. ALL STOCKPILED SOILS SHALL BE MAINTAINED IN SUCH A WAY AS TO PREVENT EROSION FROM LEAVING THE SITE. SILT FENCE MUST BE INSTALLED AROUND THE PERIMETER OF THE STOCKPILE. IF THE STOCKPILE WILL BE ON SITE FOR MORE THAN 30 DAYS, THEN THE STOCKPILE MUST BE SEEDED.
 - A. IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDED AREAS WITH UNWEATHERED SMALL GRAIN STRAW, SPREAD UNIFORMLY AT THE RATE OF 1 TO 2 TONS PER ACRE OR 100 POUNDS (2-3 BALES) PER 1000 SQUARE FEET.
 - B. THE MULCH SHOULD BE ANCHORED WITH DISC TYPE MULCH ANCHORING TOOL OR OTHER MEANS AS APPROVED BY THE JURISDICTIONAL AUTHORITY. MULCH MATTING MAY BE USED IN LIEU OF LOOSE MULCH.
14. IF ANY Dewatering is needed, IT SHALL BE DISCHARGED THROUGH A FILTER BAG OVER A WELL-VEGETATED AREA. THE PUMP MUST DISCHARGE AT A NON-EROSIVE VELOCITY. IF NECESSARY, AN APPROVED ENERGY DISSIPATER MAY BE USED.
15. CONSTRUCTION ACCESS TO BE FROM THE EXISTING PARKING LOT.
16. ALL MUD, DIRT, AND DEBRIS TRACKED ONTO THE PARKING LOT OR ANY ROADWAY SHALL BE REMOVED IMMEDIATELY.
17. STREETS AND/OR PARKING AREAS WILL BE SCRAPPED AND SWEEP ON A DAILY BASIS BY THE LANDOWNER OR LANDOWNER'S REPRESENTATIVE.
18. ALL DISTURBED AREAS SHALL BE MAINTAINED FOR DUST CONTROL. SPRINKLING TANK TRUCKS SHALL BE AVAILABLE AT ALL TIMES AND USED ON HAUL ROADS, ON-SITE DISTURBED AREAS, AND OTHER AREAS WHERE DUST BECOMES A PROBLEM AS A RESULT OF CONSTRUCTION ACTIVITY.
19. PERMANENT SESC MEASURES FOR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 5 CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER EARTH CHANGING ACTIVITY CEASES, TEMPORARY SESC MEASURES SHALL BE IMPLEMENTED IMMEDIATELY. ALL TEMPORARY SESC MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SESC MEASURES ARE IMPLEMENTED. ALL PERMANENT SESC MEASURES WILL BE INSPECTED AND EVALUATED BEFORE A CERTIFICATE OF COMPLIANCE IS ISSUED.

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[illegible]

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Pick 'n Save

534-00390
RETAIL FUEL CENTER

1750 HWY. 51 WEST
STOUGHTON, WI 53589

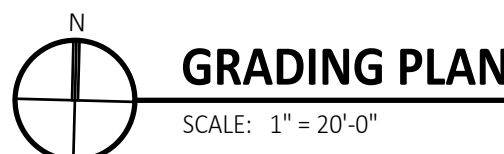
(DANE COUNTY)

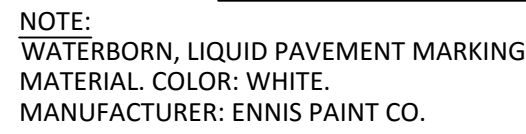
GRADING PLAN

PROJECT NO.:	534-00390
DATE:	
CAD FILE:	
PROJECT MANAGER:	T. KRATZ
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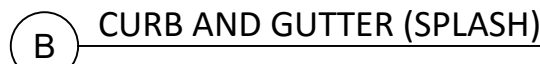
C1.30

TG	GUTTER GRADE
TC	TOP OF CURB
BW	FINISHED GRADE AT WALL
FG	FINISHED GRADE
FL	DITCH FLOW LINE
BI	PUMP ISLAND BOTTOM
TI	PUMP ISLAND TOP
TP	TOP OF PAVEMENT
RIM	UNDERGROUND STRUCTURE RIM
TW	TOP OF WALK
FFE	FINISHED FLOOR ELEVATION
ME	MATCH EXISTING
2.0%	PROPOSED SLOPE

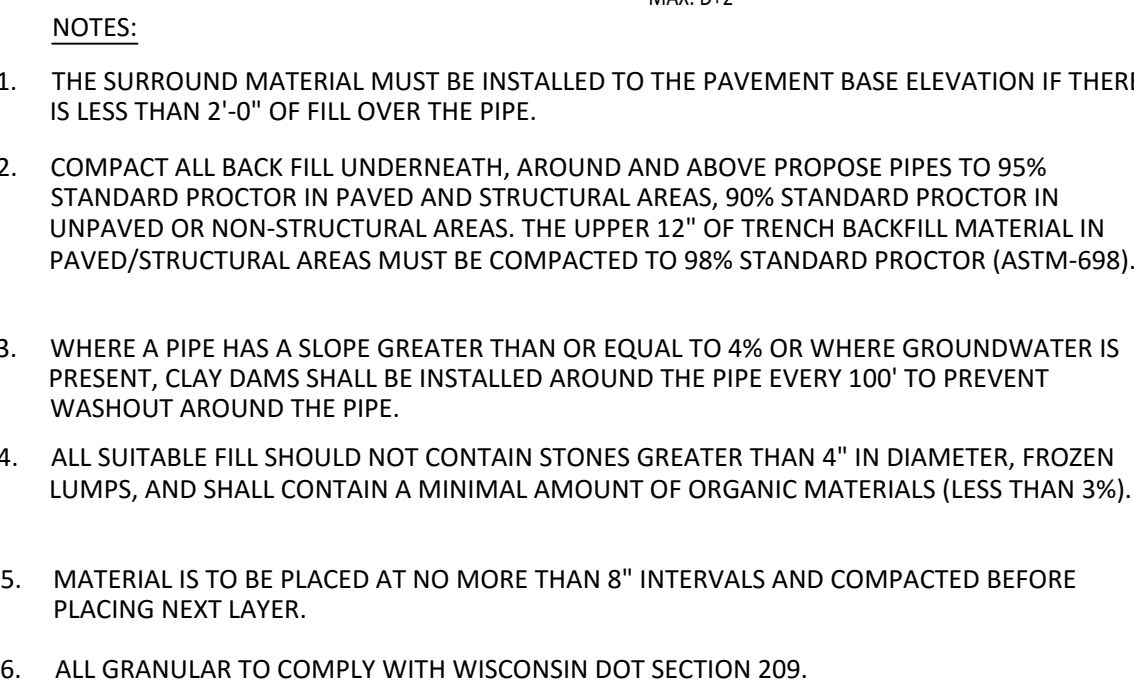
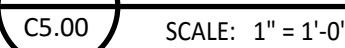




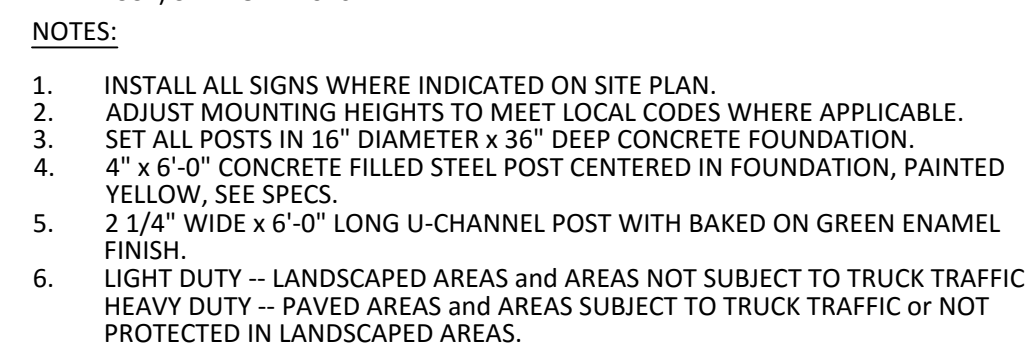
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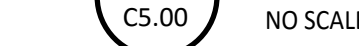
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SCALE: NO SCALE



C5.00 NO SCALE

[illegible]

Pick 'n Save

534-00390
RETAIL FUEL CENTER

1750 HWY. 51 WEST
STOUGHTON, WI 53589
(DANE COUNTY)

SITE DETAILS

PROJECT NO.:	534-00390
DATE:	
CAD FILE:	C5.00.dwg
PROJECT MANAGER:	T. KRATZ
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C5.00



4 OUTLET CONTROL STRUCTURE

5 CONCRETE COLLAR DETAIL

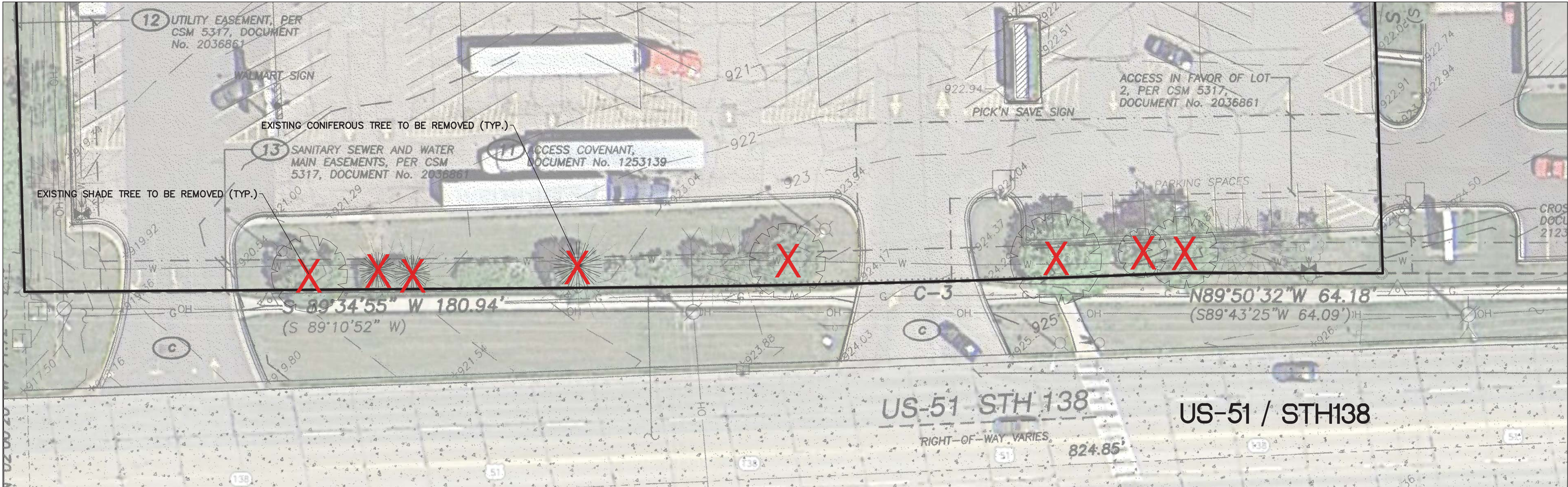
2 CATCH BASIN DETAIL

PLAN

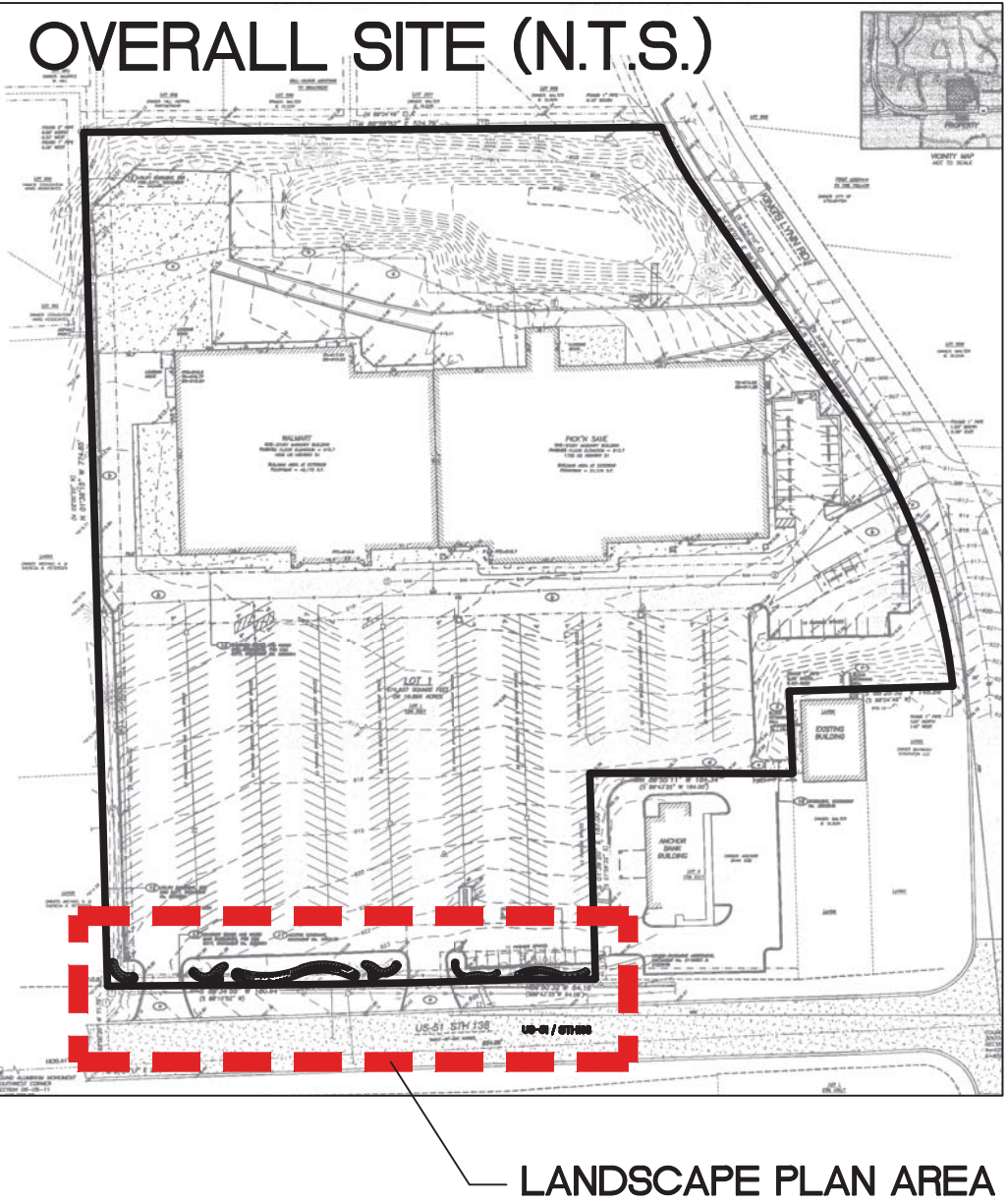
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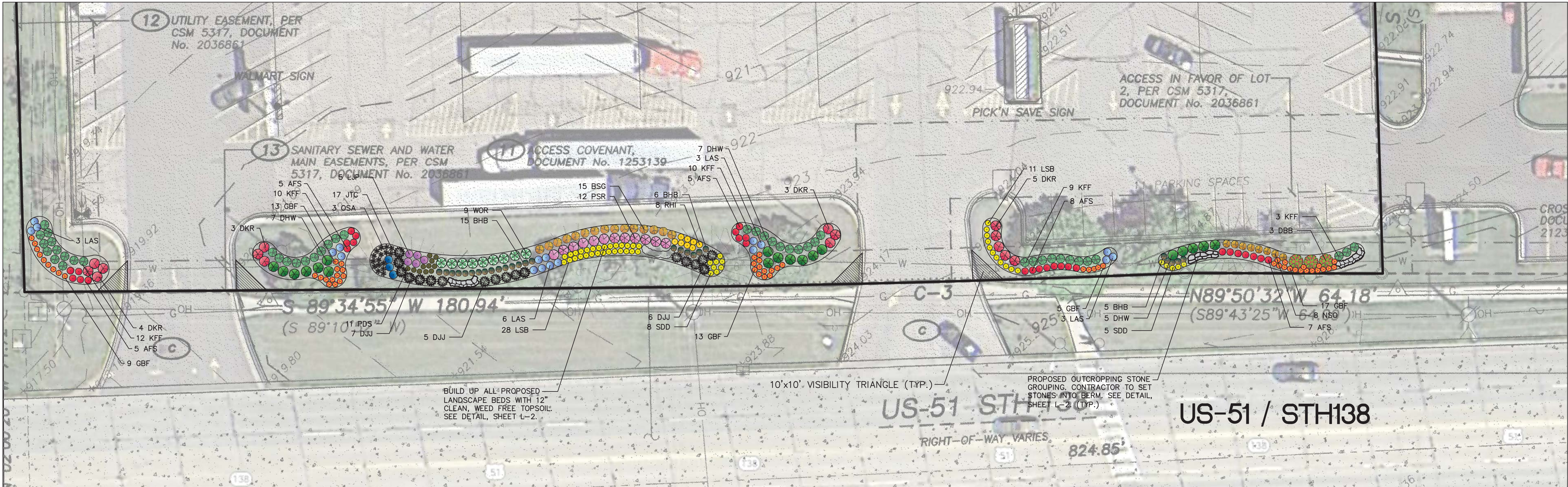
EXISTING LANDSCAPE REMOVAL PLAN



GENERAL NOTES:
1. THESE PLANS ARE BASED ON THE ALTA/ACSM LAND TITLE SURVEY, SURVEY PROJECT #14-6271 DATED 6-24-14 PREPARED BY: JDS PROFESSIONAL SERVICES INC. 161 HORIZON DRIVE, SUITE 101 (608) 848-5060
2. PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.



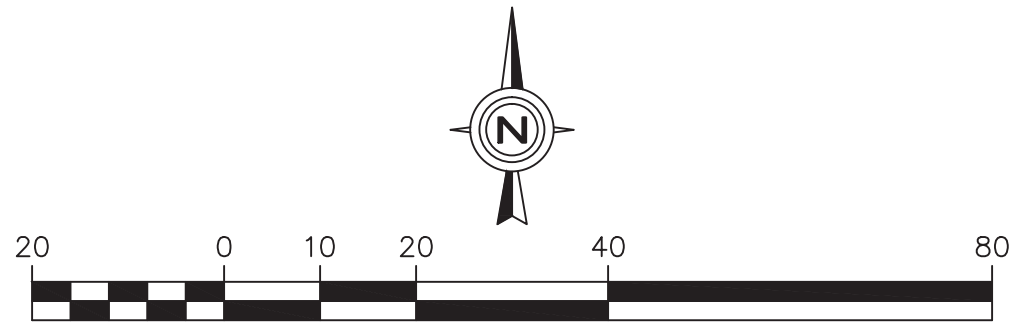
PROPOSED LANDSCAPE PLAN



PLANT LIST				
FLOWERING AND EVERGREEN SHRUBS				
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
3	DBB	Euonymus alatus 'Compactus'	Dwarf Burning Bush	5 Gal.
15	DKR	Rosa 'Radtko'	Double Knock Out Rose	3 Gal.
9	WOR	Rosa 'Radwhite'	White Out Rose	3 Gal.
12	PSR	Rosa var. 'NOA168098F'	Pink Supreme Carpet Rose	3 Gal.
19	DHW	Weigela x 'Dark Horse'	Dark Horse Weigela	3 Gal.
18	DJJ	Juniperus procumbens 'Nana'	Dwarf Jaggarden Juniper	5 Gal.
PERENNIALS, ORNAMENTAL GRASS AND GROUNDCOVERS				
QTY.	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE
8	NSO	Chasmanthium latifolium	Northern Sea Oats	1 Gal.
16	JTC	Coreopsis 'Jethro Tull'	Jethro Tull Coreopsis	1 Gal.
5	LJP	Eupatorium dubium 'Little Joe'	Little Joe Dwarf Joe Pye Weed	1 Gal.
57	GBF	Gaillardia grandiflora 'Goblin'	Goblin Blanket Flower	1 Gal.
13	SDD	Hemerocallis 'Stella de' Oro	Stella de Oro Daylily	1 Gal.
15	BSG	Panicum virgatum 'Heavy Metal'	Blue Switch Grass	1 Gal.
18	LAS	Perovskia atriplicifolia 'Lisslitt'	Lacey Blue Sage	1 Gal.
39	LSB	Rudbeckia fulgida 'Viette's Little Suzy'	Little Suzy Black Eyed Susan	1 Gal.
8	RHI	Rudbeckia hirta	Black Eyed Susan	1 Gal.
30	AFS	Sedum spectabile 'Autumn Fire'	Autumn Fire Sedum	1 Gal.
3	OSA	Symphotrichum oolentangiense	October Sky Aromatic Aster	1 Gal.
44	KFF	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	1 Gal.
26	BHB	Schizachyrium scoparium 'MinnblueA'	Blue Heaven Little Bluestem	1 Gal.
11	PDS	Sporobolus heterolepis	Prairie Dropseed	1 Gal.

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LANDSCAPE PLAN

DATE
4/18/17

REVISIONS
ADD VISIBILITY TRIANGLE

NO. 1

Prepared For:
The Crown Group
1564 W. Algonquin Road
Hoffman Estates, IL 60192
PICK'N SAVE- STAUGHTON
1750 Hwy 51 West
Staughton, Wisconsin

Prepared By:
Watermark Engineering Resources, Ltd.
2631 Ginger Woods Parkway, Suite 100, Aurora, IL 60002
phone 630-375-1800 fax 630-238-9800 www.watermark-engineering.com

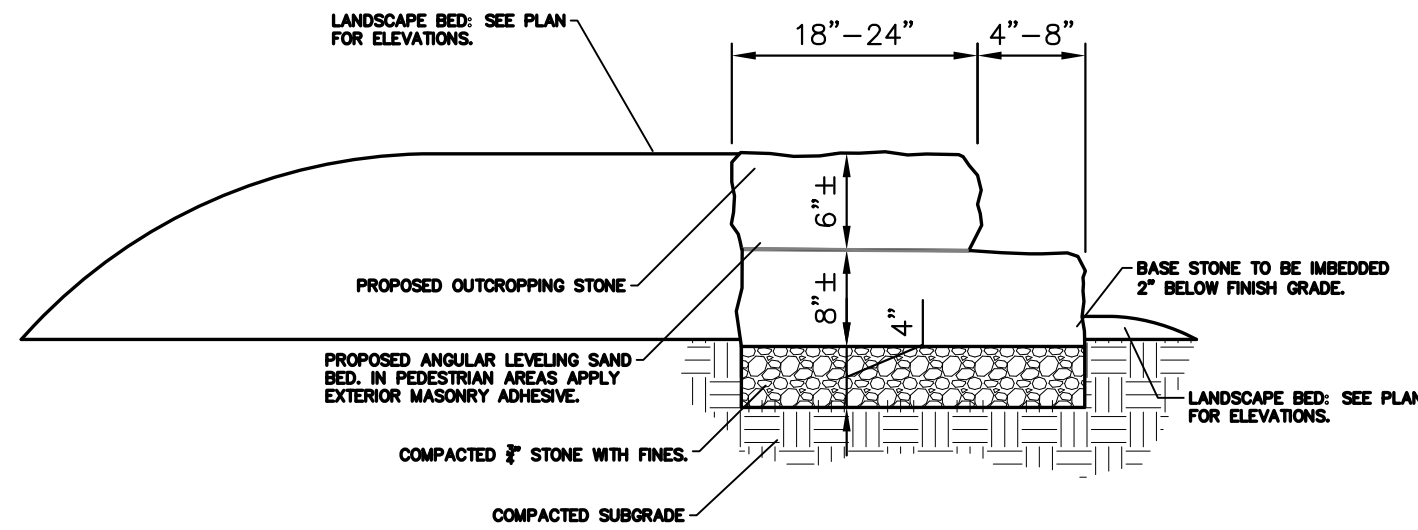
CHECKED BY: B. PERRY
DESIGN BY: D. OLSON
DRAWN BY: D. OLSON
DATE: MARCH 30, 2017
SCALE: 1" = 20'
PROJECT NO.: 16-316

L-1

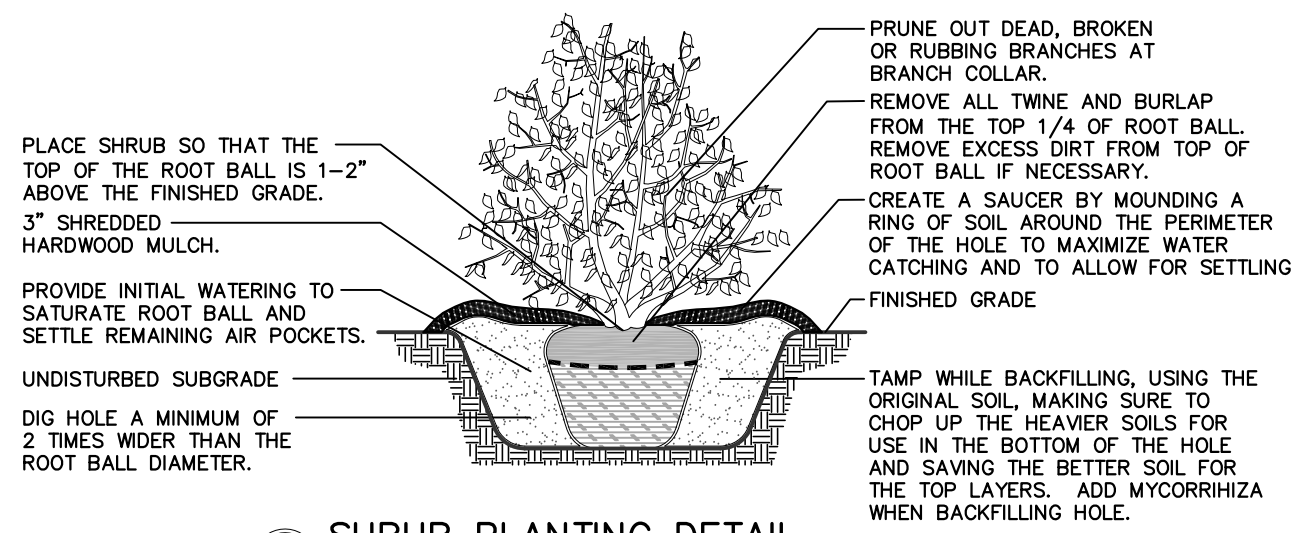
LANDSCAPE PLAN

LANDSCAPE NOTES

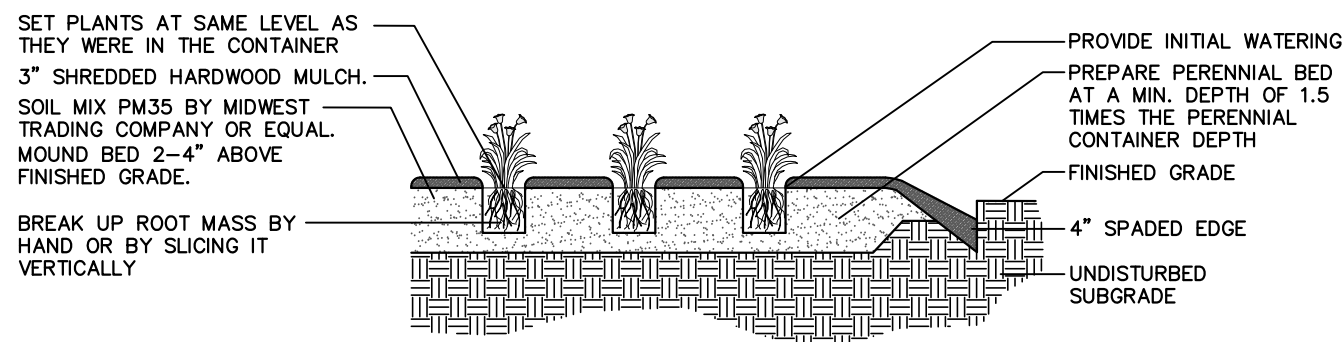
- ALL PLANT MATERIAL SHALL BE HARDY TO THE ZONE IT IS BEING PLANTED IN. ALL TREES AND SHRUBS ARE TO BE BALLED AND BURLAPED UNLESS OTHERWISE NOTED AND SHALL BE GROWN IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE LATEST EDITION OF AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY AMERICANHORT.
- PLANT SIZES CALLED OUT ON THIS PLAN ARE THE MINIMUM SIZE REQUIRED. PLANTS WHICH FAIL TO MEET THE SIZES LISTED, SHALL BE REJECTED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR MUST VERIFY ALL MATERIAL QUANTITIES AS DEPICED ON THE DRAWING. THE PLANT LIST PROVIDED ON THIS PLAN IS FOR CONVENIENCE ONLY.
- SUBSTITUTIONS MAY NOT BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT/DESIGNER.
- THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE AGENCIES AND UTILITY LOCATORS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOT BEGIN ANY WORK ON-SITE UNTIL ALL UTILITIES HAVE BEEN LOCATED. CONTRACTOR SHALL OBTAIN "AS-BUILT" PLANS FOR ALL IRRIGATION AND LIGHTING PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL UTILITIES INCLUDING IRRIGATION AND LIGHTING. ALL DAMAGE SHALL BE REPAIRED TO A NEW CONDITION IN ACCORDANCE WITH ALL CODES AT NO COST TO THE OWNER – SEE NOTE 5.
- ALL UNSUITABLE MATERIAL (CONCRETE, AGGREGATE STONE, CRUSHED ASPHALT, BRICK ETC.) SHALL BE REMOVED, INCLUDING HAUL OFF, PRIOR TO PLANTING AND SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- SOIL MIX PM35 BY MIDWEST TRADING COMPANY OR EQUAL SHALL BE ROTOTILLED INTO ALL PERENNIAL AND ANNUAL PLANTING BEDS PRIOR TO THE INSTALLATION OF THE PLANT MATERIAL. A SLOW RELEASE, GRANULAR FERTILIZER SHALL BE APPLIED TO ALL ANNUAL AND PERENNIAL PLANTING BEDS AT THE RECOMMENDED RATE, AND SHALL BE ROTOTILLED IN WITH THE ABOVE SOIL MIXTURE BEFORE THE PLANT MATERIAL IS INSTALLED.
- CONTRACTOR TO PROVIDE THOROUGH INITIAL WATERING OF ALL PLANTINGS WITHIN 12 HOURS OF INSTALLATION TO ENSURE ALL AIR POCKETS HAVE BEEN REMOVED AROUND ROOT BALL.
- ALL PLANT BED AREAS ARE TO BE MULCHED WITH 3" OF DOUBLE SHREDDED HARDWOOD MULCH AND SHALL BE SEPARATED WITH A SPADE EDGE ALONG PERIMETERS ADJACENT TO TURF AREAS. FINAL GRADE (AFTER SETTLING) SHALL BE 1" BELOW ADJACENT CURBS.
- ALL TURF AREAS ARE TO BE A MINIMUM OF A FIVE WAY BLUEGRASS BLEND, UNLESS OTHERWISE NOTED. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL INSTALLED TURF AREAS UNTIL TIME OF KNITTING. IF TURF SEED AND SOD OCCUR ON THE SAME PROJECT, CONTRACTOR SHALL VERIFY AND USE SEED MIXTURES TO MATCH SOD.
- AREAS TO BE SODDED SHALL BE WITH AN "APPROVED TURFGRASS SOD" OF PREMIUM GRADE. SOD SHALL BE A 5 WAY BLEND OF IMPROVED KENTUCKY BLUEGRASS VARIETIES THAT HAS BEEN GROWN LOCALLY TO THE PROJECT SITE. SOD MUST BE MATURED FOR 2 FULL GROWING SEASONS PRIOR TO HARVEST CUTTING AND BE HEALTHY WITH WELL ESTABLISHED ROOTS. SOD SHALL BE FREE OF DISEASE, INSECTS AND DEBRIS. SOD SHALL BE UNIFORM IN LEAF COLOR, TEXTURE, AND DENSITY. SOD SHALL BE DELIVERED, INSTALLED, AND WATERED WITHIN 24 HOURS OF HARVEST IN WHICH TEMPERATURES DO NOT EXCEED 90 DEGREES (F) NOR LESS THAN 55 DEGREES (F). SOD SHALL BE MACHINE-CUT AT A MINIMUM UNIFORM SOIL THICKNESS (1.5" OF SOD IS DESIRED) BUT SOD THICKNESS SHALL BE A THICKNESS NECESSARY FOR PLANT VIABILITY. SOD SHALL BE LAID IN STAGGERED STRAIGHT LINES, TIGHTLY AGAINST EACH OTHER WITHOUT STRETCHING OR OVERLAPPING. SOD STAKES SHALL USED ON ALL SLOPES 4:1 OR GREATER.
- CONTRACTOR SHALL REPAIR ALL DISTURBED AREAS (INTENDED OR UNINTENDED) AT A MINIMUM, TO THE ORIGINAL CONDITION UNLESS OTHERWISE NOTED.
- THE EXISTING PLANT MATERIAL SHOWN ON THIS PLAN IS INTENDED SOLELY TO IDENTIFY THEM AS OBSERVED IN THE FIELD. THIS PLAN DOES NOT MAKE ANY CLAIMS ABOUT THE CONDITION OR SAFETY OF ANY OF THE PLANT MATERIAL DESCRIBED HEREIN OR OBSERVED IN THE FIELD.
- ALL TRANSPLANTED PLANT MATERIAL MUST BE INSTALLED IMMEDIATELY UPON EXTRACTION FROM IT'S ORIGINAL LOCATION, UNLESS SPECIFIC ARRANGEMENTS HAVE BEEN MADE WITH THE LANDSCAPE ARCHITECT/DESIGNER. SHOULD IT BECOME UNREASONABLE TO TRANSPLANT ANY OF THE PLANT MATERIAL AS DESCRIBED IN THIS PLAN, DUE TO SITE CONSTRAINTS OR OTHERWISE, CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT/DESIGNER TO MAKE ALTERNATIVE ARRANGEMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE HEALTH AND VIABILITY OF THE PROPOSED PLANT MATERIAL INCLUDING WATERING, PROTECTION FROM PHYSICAL DAMAGE FROM THE TIME PLANT IS SELECTED THROUGH IT'S INSTALLATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL REMAINING PLUMB UNTIL THE END OF THE GUARANTEE PERIOD. PLANTS MAY NOT BE STAKED UNLESS APPROVED BY THE LANDSCAPE ARCHITECT/DESIGNER.
- CONTRACTOR TO GUARANTEE PLANT MATERIAL AND LABOR FOR A MINIMUM OF ONE YEAR FROM THE TIME OF INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH AND ABIDING BY THE LANDSCAPE ORDINANCES FOR THE SPECIFIC JURISDICTION IN WHICH THE WORK IS TAKING PLACE.
- BIDDERS SHALL BE RESPONSIBLE FOR EXAMINING THE SITE, PRIOR TO PREPARING BID, TO BECOME FAMILIAR WITH THE SPECIFIC SITE CONSTRAINTS.
- ALL EXISTING ON-SITE PLANT MATERIAL NOT EFFECTED BY CONSTRUCTION OR THE PROPOSED LANDSCAPE, SHALL BE BE PROTECTED AS PART OF THIS PLAN. EXISTING LANDSCAPE IN AREAS OF CONSTRUCTION AND PROPOSED LANDSCAPE SHALL BE REMOVED AS PART OF THIS PLAN.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF ALL THE ITEMS SHOWN ON THE PLANS.
- IF IRRIGATION IS DEEMED NECESSARY, THE DESIGN AND INSTALLATION OF THE IRRIGATION SYSTEM SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. AN IRRIGATION PLAN ALONG WITH AN AS BUILT OF THE IRRIGATION SYSTEM SHALL BE PREPARED FOR OWNER REVIEW AND APPROVAL. CONTRACTOR SHALL GUARANTEE PERFORMANCE, PARTS, AND LABOR FOR A PERIOD OF 1 YEAR FROM THE DATE OF FINAL APPROVAL.
- IF EXISTING IRRIGATION IS PRESENT ON SITE, CONTRACTOR SHALL ADJUST, ADD TO, OR SUBTRACT FROM, THE EXISTING IRRIGATION SYSTEM TO ACCOMMODATE ANY PROPOSED ALTERATIONS/ADDITIONS TO THE EXISTING LANDSCAPE. CONTRACTOR SHALL PROVIDE THE OWNER AN AS BUILT OF THE IRRIGATION SYSTEM AND ALL CHANGES TO THE SYSTEM AFFECTED BY THIS PROJECT.
- PROVIDE TOPSOIL RE-SPREAD PER THE FOLLOWING UNLESS OTHERWISE NOTED:
 - 4" MINIMUM IN GRASS OR SOD AREAS
 - 6" MINIMUM IN PLANTING AREAS
 - 12" MINIMUM IN LANDSCAPE ISLANDS



'LANNON WEATHERED EDGE' OUTCROPPING STONE DETAIL



SHRUB PLANTING DETAIL
NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.

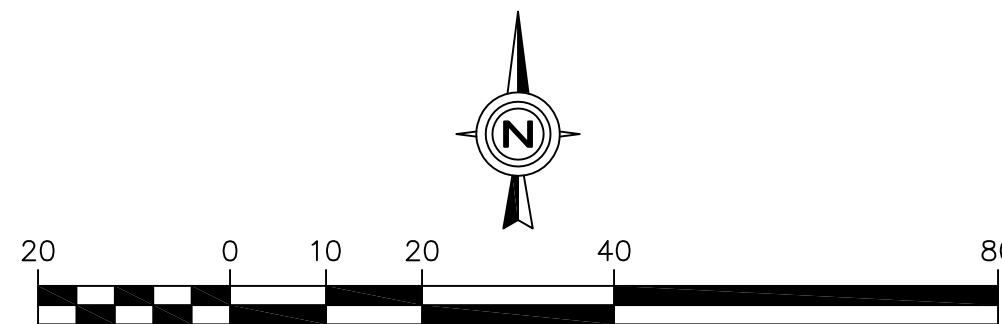


PERENNIAL PLANTING DETAIL
NOT TO SCALE. USE ONLY ZONE HARDY PLANT MATERIAL.

GENERAL NOTES:

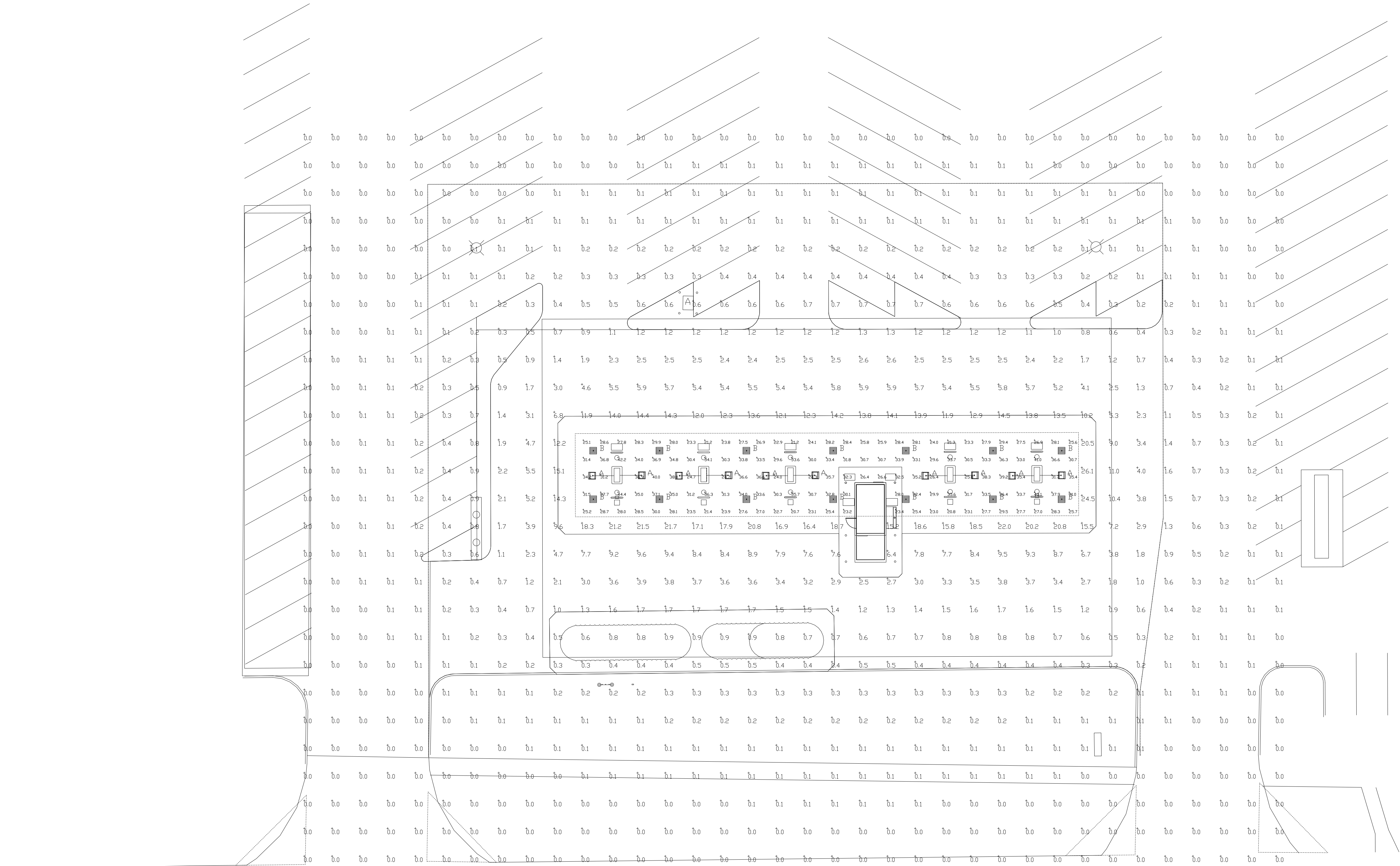
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- PRIOR TO CONSTRUCTION, CONTRACTOR TO CONTACT THE DESIGN ENGINEER AND ARCHITECT TO VERIFY THAT THEY ARE WORKING FROM THE MOST CURRENT SET OF PLANS AND SPECIFICATIONS.

CHECKED BY: B. PERRY	DATE: 4/18/17
DESIGN BY: D. OLSON	REVISIONS: NO REVISIONS
DRAWN BY: D. OLSON	NO. 1
DATE: MARCH 30, 2017	Prepared For:
SCALE: 1" = 20'	The Crown Group 1564 W. Algonquin Road Hoffman Estates, IL 60192
PROJECT NO.: 16- 316	PICK'N SAVE- STAUGHTON 1750 Hwy 51 West Staughton, Wisconsin

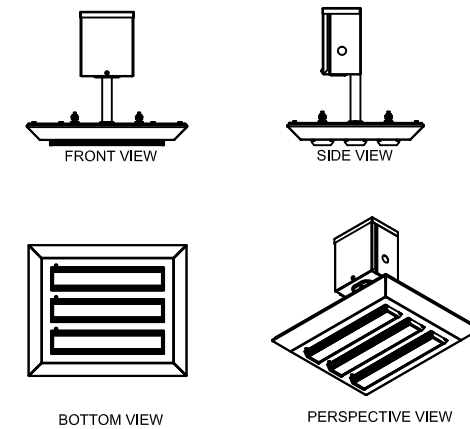


LANDSCAPE DETAILS AND SPECIFICATIONS

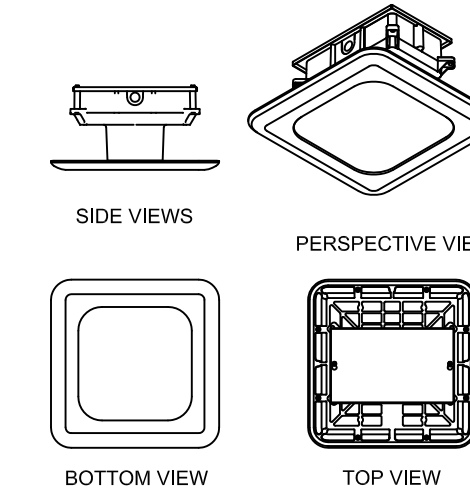
L-2



CRO3 FO
LED Focus (Single Deck)



CRUS-SC-LED
LED CANOPY LIGHT - LEGACY



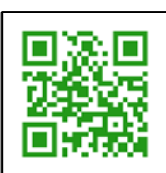
Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
•	10	A	SINGLE	CRO3-FO-LED-30-SS-CW-UE MTD @ 15'	1.000	N.A.	2674	36.1
■	14	B	SINGLE	CRUS-SC-LED-SS-SO MTD @ 15'	1.000	N.A.	13674	97.9

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	1.49	26.1	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	30.20	44.4	20.7	1.46	2.14
PUMP_VERTICAL	Illuminance	Fc	49.59	106.5	21.2	2.34	5.02
INSIDE_FUEL_AREA	Illuminance	Fc	6.18	26.1	0.5	12.36	52.20

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted.

Total Project Watts
Total Watts = 17316



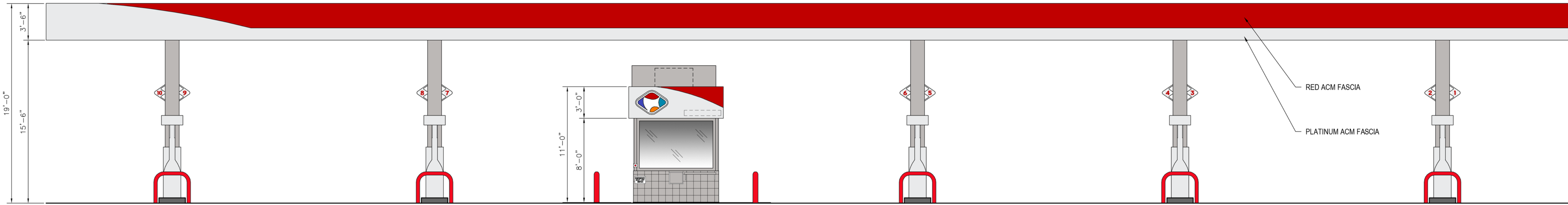
LIGHTING PROPOSAL LO-139216

PICK N SAVE #390
1750 HWY 51 WEST
STOUGHTON, WI

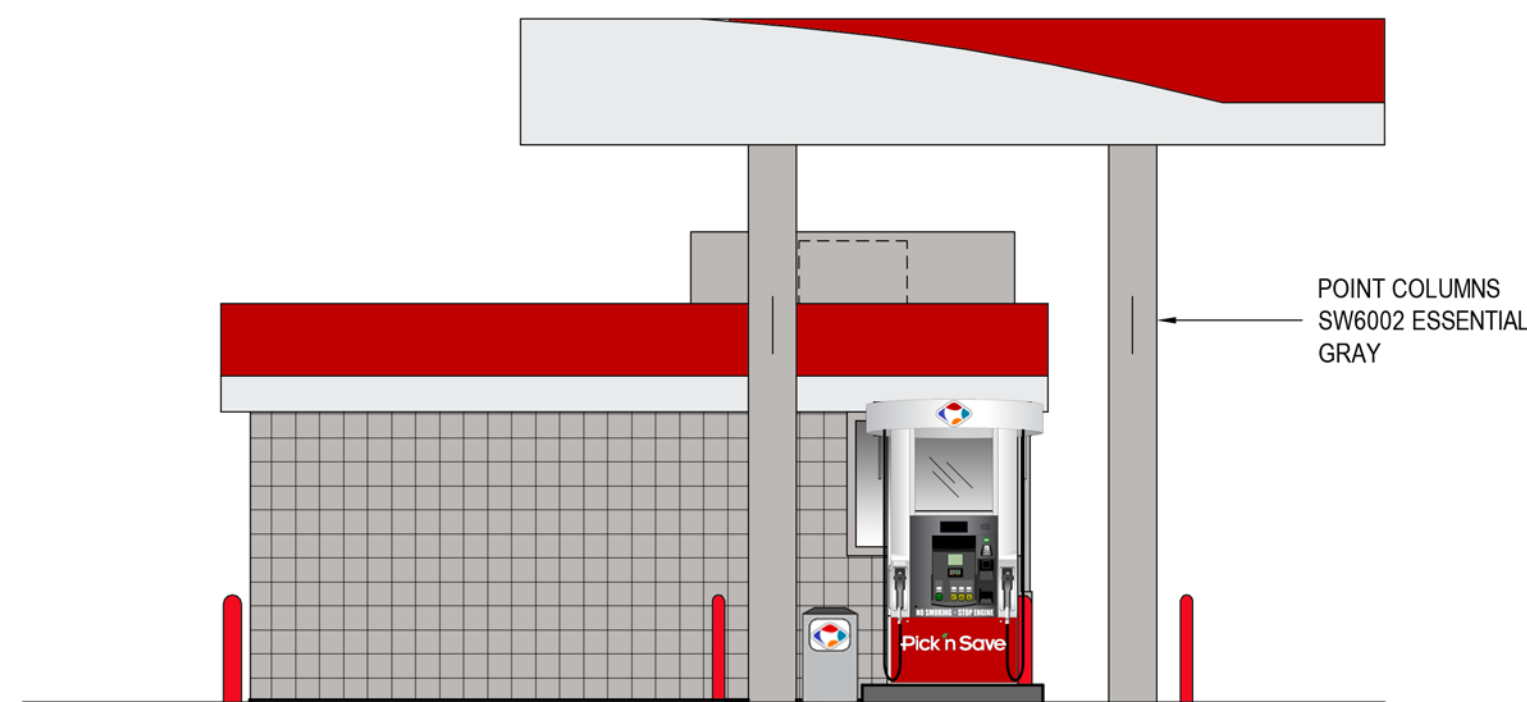
BY: MVE DATE: 8-03-17 REV: SHEET 1 OF 1

SCALE: 1"=16'

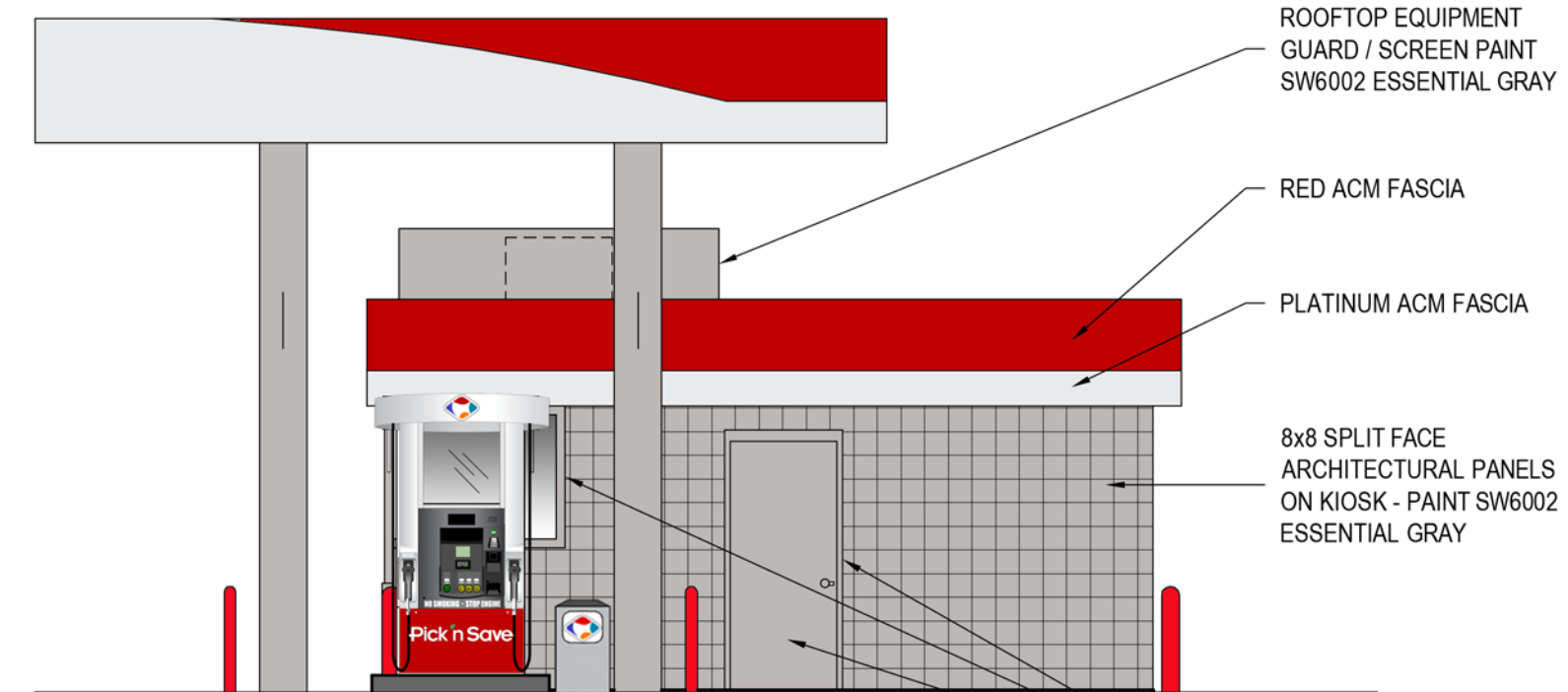
0 16



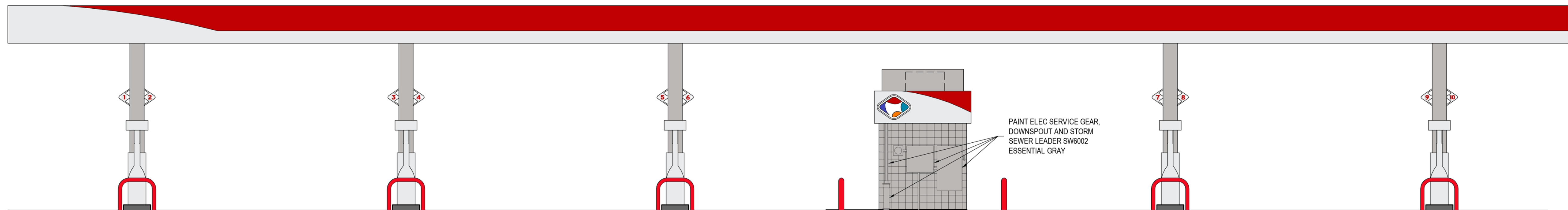
1 FRONT (NORTH) ELEVATION
SCALE: 3/16"=1'-0"



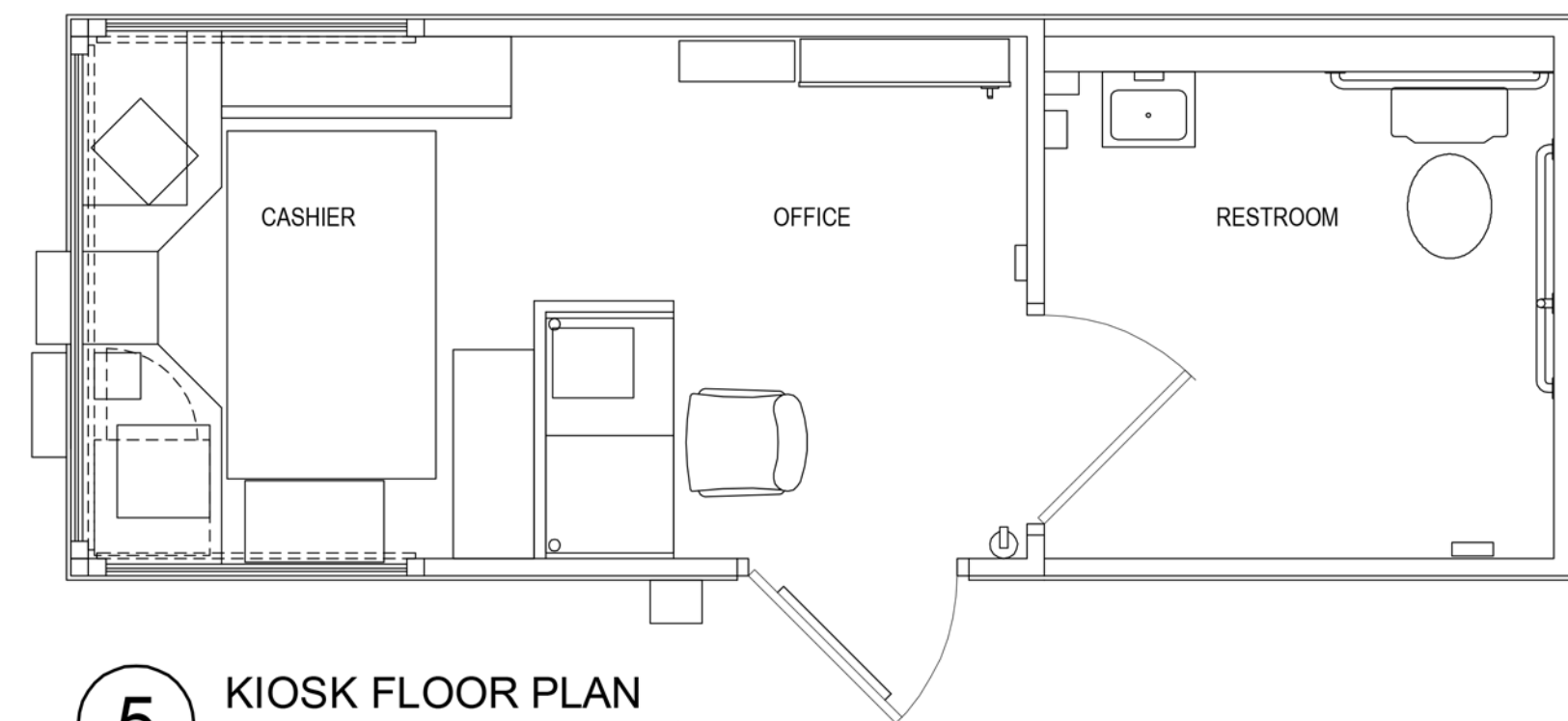
2 LEFT (EAST) ELEVATION
SCALE: 3/16"=1'-0"



3 RIGHT (WEST) ELEVATION
SCALE: 3/16"=1'-0"



4 REAR (SOUTH) ELEVATION
SCALE: 3/16"=1'-0"



5 KIOSK FLOOR PLAN
SCALE: 3/8"=1'-0"

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NOTE TO CONTRACTOR:
THIS SET OF DRAWINGS AND DOCUMENTS IS INTENDED AS A SET OF GUIDELINES FOR THE PROJECT AND ARE INTENDED TO BE USED IN CONJUNCTION WITH A SET OF CONSTRUCTION SPECIFICATIONS TO BE SUPPLIED BY OWNER. THEY MUST BE READ TO INCORPORATE ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING FEDERAL A.D.A. REQUIREMENTS. THIS SET ASSUMES THAT THERE ARE NO UNUSUAL SOIL CONDITIONS OR WIND LOADS. THE FAILURE OF THIS CONDITION MAY REQUIRE SIGNIFICANT CHANGES TO THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONFORM TO ALL APPLICABLE CODES AND TO INFORM THE OWNER'S/ARCHITECTS OF ANY QUESTIONS OR CLARIFICATIONS WHICH ARE DESIRED. CONTRACTORS SHALL ALSO VISIT THE SITE BEFORE BIDDING. CONTRACTORS ARE REQUIRED TO KNOW ALL OBSERVABLE CONDITIONS AND APPLICABLE CODES.

REVISIONS

No.	DESCRIPTION	DATE

Project #: R-390

Date: AUGUST, 2017

Scale: FULL

Disk File: KroR00390_A2.0-ELEV

Model: 5x1-1RR (GD)

Address: 1750 Hwy 51 West
Stoughton, WI 53589

EXTERIOR
ELEVATIONS

Drawing No.: A2.0

III Justification of the Proposed Conditional Use Request.

1. How is the proposed conditional use and location in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted?

The proposed fuel facility is utilizing existing developed commercial property. The station is in keeping with the future land use plan.

2. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 78-905(4)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map or ordinance adopted?

The proposed fuel facility will not result in any substantial or undue adverse impacts. The fuel station is an ancillary use to the existing grocery and will be complementary to the

existing store architecture and will be located between two existing curb-cuts. The character of the neighborhood, environmental factors, traffic factors, parking public

improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare will not be compromised.

3. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the surroundings of the subject property?

The fuel station will be constructed on a fully developed parcel resulting in no land use impacts. The fuel station will be designed to be complementary to the existing store

and is consistent with the public's expectations for a modern grocery store offering.

4. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The fuel station will not be a burden on public or private utilities.

5. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 78-905(5)(c)1-5.), after taking into consideration any proposed options to minimize such impacts?

The fuel facility will provide a public benefit for the residents. The fuel station will not any adverse impacts

which would be contrary to Section 78-905.

(a) A written description of the intended use describing in reasonable detail the following:

Existing zoning district: *Planned Business*

Planned Land Use Map designations (s): *Planned Mixed Use*

Current land uses present on the subject property: *Pick'n Save Grocery Store and adjacent tenants*

Proposed land uses for the subject property: *Pick'n Save Grocery store with new retail fuel facility, Good Will store and a Tractor Supply store*

Projected number of resident, employees, and daily customers. *No residents are expected on the commercial property. The fuel station will have 1 person per shift, for three (3) shifts.*

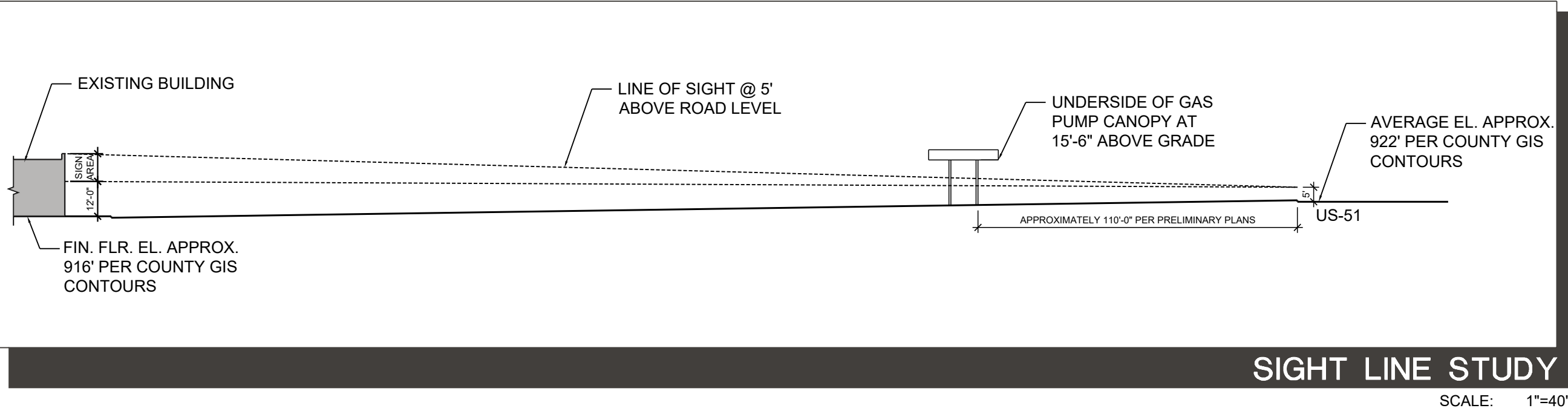
Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ration, impervious surface area ration, and landscape surface area ration. *The proposed fuel facility will be constructed within a completely paved area of the existing parking lot. The fuel facility will be a department of the existing Pick'n Save grocery store utilizing Pick'n Save employees. The fuel facility will consist of a 24' x 145' fuel canopy, a 178 square foot transaction kiosk, five multi-product fuel dispensers, and two underground storage tanks. A color elevation of the proposed fuel facility is attached. The proposed construction will maintain existing drainage patterns and not result in an increase in impervious area. The proposed construction will not have any impact on surrounding landscape. Additionally, the property owner has conducted a site line survey to verify the proposed construction will not have a negative impact on the development of the main shopping center.*

Pick'n Save will lease the fuel station premises as an amendment to their current lease with the property owner. Pick'n Save will continue to maintain their property as well as the additional fuel area.



Sto ARCHITECTURE, LLC
4417 N. MURRAY AVENUE
SHOREWOOD, WI 53211

OUT LOT DEVELOPMENT
1710 SOUTH MAIN STREET
WEST BEND, WI



PROJECT NO. 1616
DATE 07-06-17
EXHIBIT **A**



CITY OF STOUGHTON
DEPARTMENT OF
PLANNING & DEVELOPMENT
381 East Main Street, Stoughton, WI. 53589

(608) 873-6619

www.ci.stoughton.wi.us

RODNEY J. SCHEEL
DIRECTOR

September 1, 2017

Sevan Solutions
Matthew Pisko
37704 Hills Tech Drive
Farmington Hills, MI. 48331

Dear Mr. Pisko:

I have completed a final review of the proposed conditional use permit and site plan approval request for the Pick and Save Fueling Station at 1750 US Highway 51 and 138 – plans dated 8-10-17.

1. The property at 1750 US Highway 51 & 138 is zoned PB – Planned Business. A public hearing has been scheduled for September 11, 2017 for the conditional use permit request. The Common Council will likely review your request on September 26, 2017. The site plan will be reviewed and potentially approved by the Planning Commission on September 11th contingent on the conditional use being approved by Council.
2. The following use is allowable as an accessory conditional use:

In-vehicle sales or service is defined as follows: In-vehicle sales and service land uses include all land uses which perform sales and/or services to persons in vehicles, or to vehicles which may or may not be occupied at the time of such activity (except vehicle repair and maintenance services, see subsection 78-206(4)(q)). Such land uses often have traffic volumes which exhibit their highest levels concurrent with peak traffic flows on adjacent roads. Examples of such land uses include drive-in, drive-up, and drive-through facilities, vehicular fuel stations, and all forms of car washes. If performed in conjunction with a principal land use (for example, a convenience store, restaurant or bank), in-vehicle sales and service land uses shall be considered an accessory use (see subsection 78-206(8)(g)).

3. The following regulations apply to in-vehicle sales or service:
 - a. Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access to the facility adjacent to the drive-through lane(s). **The kiosk will not be a walk-in facility.**
 - b. The drive-through facility shall be designed so as to not impede or impair vehicular and pedestrian traffic movement, or exacerbate the potential for pedestrian/vehicular conflicts. **This design is typical of most fuel stations.**
 - c. In no instance shall a drive-through facility be permitted to operate which endangers the public safety, even if such land use has been permitted under the provisions of this section. **Expected.**
 - d. The setback of any overhead canopy or similar structure shall be a minimum of ten feet from all street rights-of-way lines, a minimum of 20 feet from all residentially-zoned property lines, and shall be a minimum of five feet from all other property lines. The total height of any overhead canopy or similar structure shall not exceed 20 feet per the measurement of roof height. **The canopy meets this requirement.**
 - e. All vehicular areas of the facility shall provide a surface paved with concrete or bituminous material which is designed to meet the requirements of a minimum four ton axle load. **The plan meets this requirement.**
 - f. Facility shall provide a bufferyard with a minimum opacity of .60 along all property borders abutting residentially zoned property (section 78-610). **There are no abutting residentially zoned properties.**
 - g. Interior curbs shall be used to separate driving areas from exterior fixtures such as fuel pumps, vacuums, menu boards, canopy supports and landscaped islands. Said curbs shall be a minimum of six inches high and be of a non-mountable design. No curb protecting an exterior fixture shall be located closer than 25 feet to all property lines. **The pumps sit on raised concrete and bollards are used to protect the pumps which is typical of most fuel stations.**

4. The following use is an allowable accessory use:

Outdoor display incidental to indoor sales include all land uses which conduct sales, display sales or rental merchandise or equipment outside of an enclosed building. The area of outdoor sales shall be calculated as the area which would be enclosed by a required physical separation installed and continually maintained in the most efficient manner which completely encloses all materials displayed outdoors. Outdoor display incidental to indoor sales and service is allowable as an accessory conditional use as long as the display area does not exceed 25% of the gross floor area of the principal structure including the following conditions: **Outdoor display of product is proposed. The Pick n Save main building is the principal structure.**

5. The following regulations apply to an outdoor display use:

- a. The display of items shall not be permitted in permanently protected green space areas, required landscaped areas, or required bufferyards. **N/A**
 - b. The display of items shall not be permitted within five feet of a property line. **N/A**
 - c. In no event shall the display of items reduce or inhibit the use or number of parking stalls provided on the property below the requirement established by the provisions of section 78-704. If the number of provided parking stalls on the property is already less than the requirement, such display area shall not further reduce the number of parking stalls already present. **N/A**
 - d. Display areas shall be separated from any circulation area by a minimum of five feet. This separation shall be clearly delimited by a physical separation such as a greenway, curb, fence, or line of planters, or by a clearly marked paved area.
Outdoor display is proposed adjacent to the kiosk and at the end of the dispenser islands. There will likely not be 5 feet of separation at the dispenser island but that area is protected by a nesting cage per plan.
 - e. Signs, screening, enclosures, landscaping, or materials being displayed shall not interfere in any manner with either on-site or off-site traffic visibility, including potential traffic/traffic and traffic/pedestrian conflicts. **Expected.**
 - f. Outdoor display shall be permitted during the entire calendar year, however, if goods are removed from the display area all support fixtures used to display the goods shall be removed within ten calendar days of the goods' removal. **Expected.**
 - g. Inoperative vehicles or equipment, or other items typically stored or displayed in a junkyard or salvage yard, shall not be displayed for this land use. **Expected.**
 - h. Facility shall provide a bufferyard with a minimum opacity of .60 along all borders of the display area abutting residentially zoned property, except per subsection e., above (See section 78-610.). **N/A**
6. The parking requirement for indoor sales and in-vehicle sales uses are one space per 300 square feet of gross floor area. **Currently, the whole campus of Pick n Save, Tractor Supply and Goodwill combined require 311 parking stalls. There are 379 stalls proposed.**
 7. Handicapped parking spaces shall be provided at a size, number, location and with signage as specified by state and federal regulations. **This is expected.**
 8. Required off-street parking and traffic circulation areas shall not be used for snow storage. **Snow storage areas are shown on the plan.**
 9. The minimum landscape surface ratio (LSR) is 25 percent. **The proposed gas station will not increase impervious surfaces. The plan indicates this requirement is met.**
 10. The required aisle width for 60 degree parking is 16 feet. **The plan meets this requirement.**

11. Parking stalls shall be 9 feet wide and 18 feet in depth. **Expected.**
12. The Comprehensive Plan, planned land use map designates this property as Planned Mixed-Use. **This designation meets the proposed use and zoning.**
13. Per section 78-704 (13)(a), bicycle parking is required equal to 5% of the automobile parking space requirement. **The whole campus would need 16 bike stalls.**
14. There are minimal landscaping requirements for this proposal. **A landscaping plan has been submitted for along the front or US Highway 51-138 side as previously discussed at a prior Planning meeting.**
15. Article VII of the city zoning code provides the following requirements related to lighting: “Parking and traffic circulation areas serving 6 or more vehicles shall be lit so as to ensure the safe and efficient use of said areas during the hours of use. An illumination level of between 0.4 and 1.0 footcandles is recommended for said areas, and said illumination shall not exceed 0.5 footcandles measured at the property lines.” Section 78-707, Exterior lighting standards, requires a maximum average on-site lighting of 2.4 footcandles. The maximum lighting requirement as measured at the property line is 0.5 footcandles. Exterior lighting shall be oriented so that the lighting element is not visible from a property located within a residential district. **A photometric plan has been provided. The lighting element shall be oriented so that it is not visible from a residential district.**
16. A 10' x 50' loading stall shall be delineated on the plan for fuel trucks. **There is ample room to meet this requirement.**
17. Traffic generated by any use shall be channelized and controlled in a manner which avoids congestion on public streets and other safety hazards. Traffic control devices shall be required as determined by the director of planning and development. **As determined by the director of planning and development.**
18. Site circulation shall be designed to provide for the safe and efficient movement of all traffic entering, exiting, and on the site. Circulation shall be provided to meet the individual needs of the site with specific mixing of access and through movements. **The applicant will provide details related to other similar sites. The fuel pumps are primarily used by Pick n Save customers.**
19. All proposed signage must meet the requirements of Article VIII. **Details will be necessary for any proposed new signage.**
20. The kiosk is required to employ only high quality, decorative exterior construction materials on the visible exterior. Architectural and design elements shall be compatible with the surrounding area and community standards and shall minimize user-specific design elements as determined appropriate by the plan commission. **Exterior sample materials have been provided for review.**

21. A stormwater management and erosion control plan are necessary when more than 4,000 square feet of area is excavated for redevelopment. **The plans, applications and fees shall be submitted to the Department of Planning & Development office at City Hall.**
22. Electric, water and wastewater services are shown on the utility plan. **A street opening permit from the Stoughton Street Department (608-873-6303) will be necessary for any work in the street right-of-way. Contact Stoughton Utilities regarding electric, wastewater and water services at 608-873-3379.**
23. Terrace trees may be required per section 10-2(d). Contact Public Works Director Brett Hebert regarding terrace trees at 608-873-6303. **Terrace trees need to be addressed prior to permit issuance.**
24. State of Wisconsin approved building plans may be necessary prior to issuance of a building permit but are not necessary to begin the City review process.

If you have any questions, please contact me at 608-646-0421

Sincerely,

City of Stoughton

Michael P. Stacey

Michael P. Stacey
Zoning Administrator/Assistant Planner