



OFFICIAL NOTICE AND AGENDA

Notice is hereby given that Business Park North Committee of the City of Stoughton, Wisconsin, will hold a regular or special meeting as indicated on the date and at the time and location given below.

Meeting of: **BUSINESS PARK NORTH COMMITTEE OF THE CITY OF STOUGHTON**

Date//Time: Monday April 13, 2020 @ 5:45 p.m.

Location: Virtual <https://global.gotomeeting.com/join/880176565>

You can also dial in using your phone.

United States: [+1 \(312\) 757-3121](tel:+13127573121)

Access Code: 880-176-565

AGENDA

1. Call to Order
2. Request by Scott Truehl for site plan approval to construct a building addition at The Printing House/Madison Powder Coating, 540 Business Park Circle.
3. Future agenda items.
4. Adjournment.

COMMITTEE MEMBERS

Matt Bartlett, Council member, Chair

Brett Schumacher, Council member

Sarah Ebert, Chamber of Commerce Director

Laura Mays, Chamber Board President, Vice-Chair

Rodney Scheel, Planning Director

Jamin Friedl, Finance Director

Vacant, Chamber member

E-MAIL NOTICES:

All Department Heads

City Attorney Matt Dregne

Peter Sveum

Area Townships

mackenzie.krumme@wcinet.com

stoughtoneditor@wcinet.com

Council members

Stoughton Hub

Michael Stacey

smonette@stolib.org

stoughtonreporter@wcinet.com

Steve Kittelson

Derek Westby

BPN Committee

Chamber of Commerce

Scott Truehl



The Excitement Is Building!®

Design/Build | Construction Management

P.O. Box 248 | 500 Utility Court
Reedsburg, Wisconsin 53959
t 608-524-4383 | f 608-524-8393
www.friede.com

March 30, 2020

Mr. Mike Stacey
Stoughton Plan Department
207 S. Forrest Street
Stoughton, WI 53589

Mike,

Attached please find the application for Site Plan Review and Approval for the planned expansion of The Printing House/Madison Powder Coating located at 540 Business Park Circle, Stoughton, WI.

The planned expansion will add approximately 13,425 square feet to the existing 12,700 square foot facility and will be used to expand the existing powder coating operation. As part of the expansion, a new 6" water line will be installed so that the entire facility will be sprinkled.

The expansion will result in an increase of 2-4 new employees, bringing the overall employment at the facility to 6-8.

The new addition will be similar in structure, look and color to the existing facility and will include the addition of a 3' brick wainscot along the south/street elevation. As part of this addition, we will also be adding on wall pack light fixture adjacent to the walk door on the south/street elevation.

Sincerely,

Scott Truehl

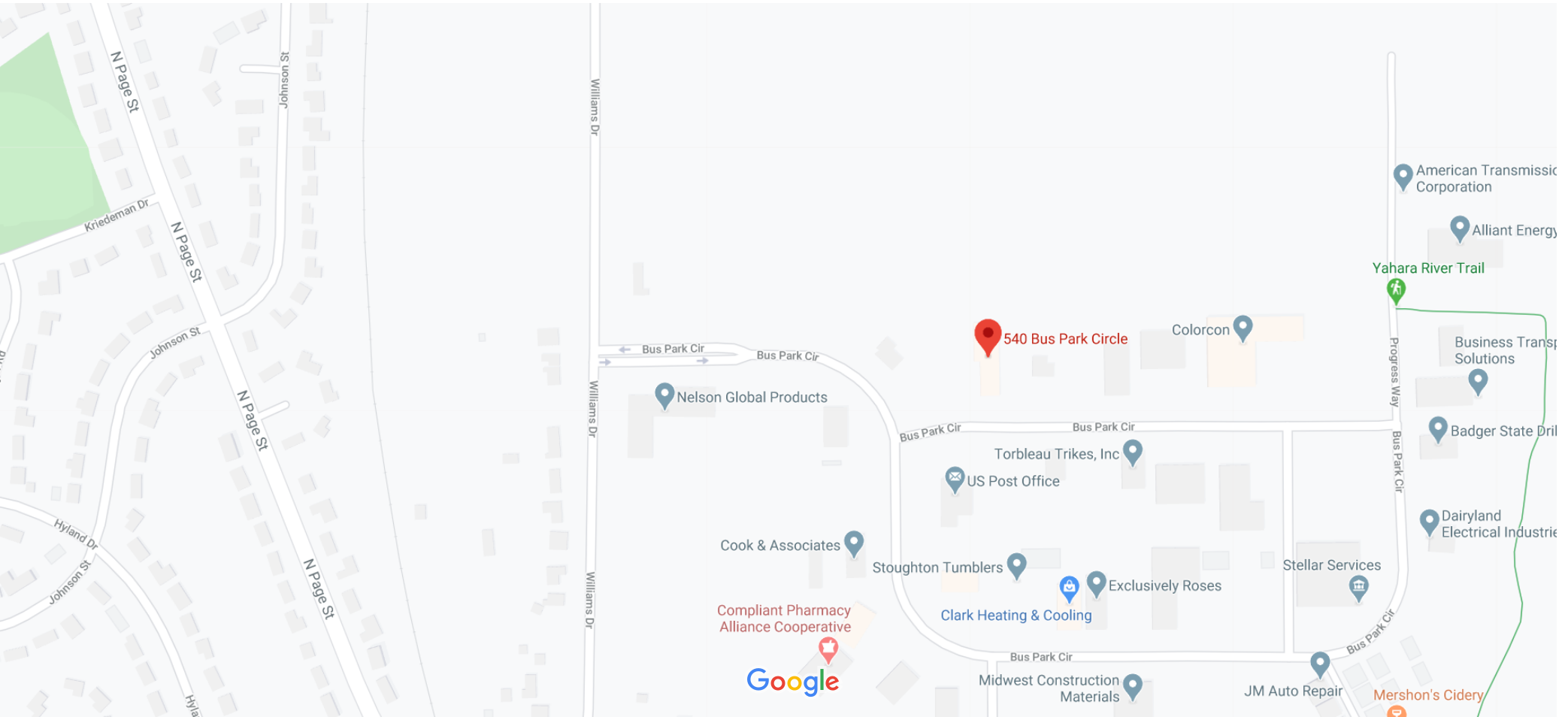
Executive Vice President
Direct (608) 768-9802 / Cell (608) 963-7060
sgtruehl@friede.com

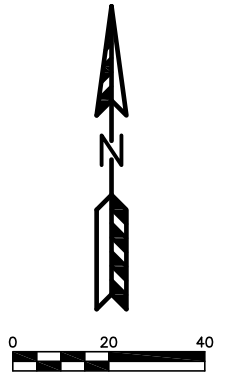
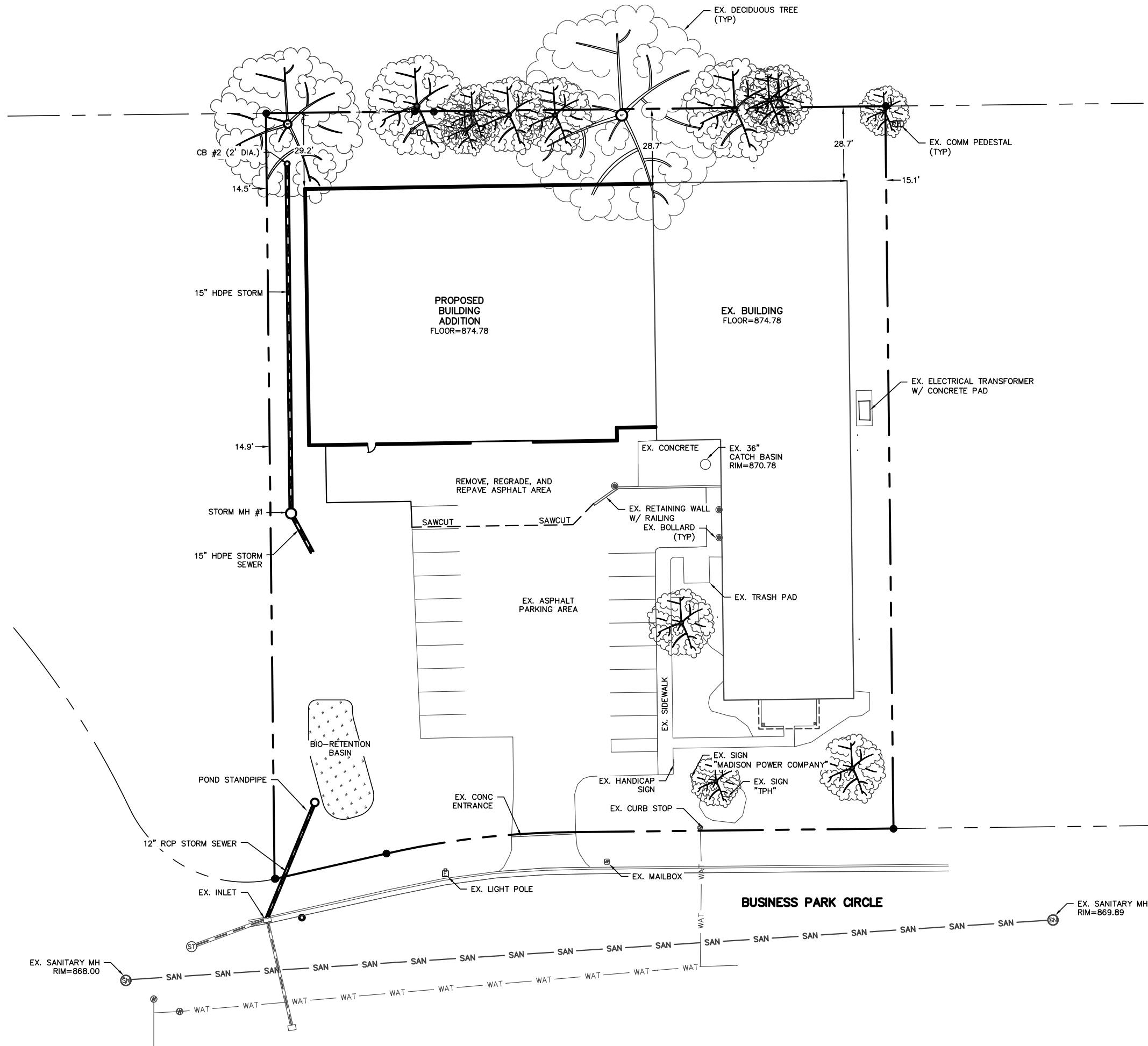
Friede & Associates

500 Utility Court, P.O. Box 248
Reedsburg, WI 53959
Office (608) 524-4383 / Fax (608) 524-8393
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The Excitement is Building!





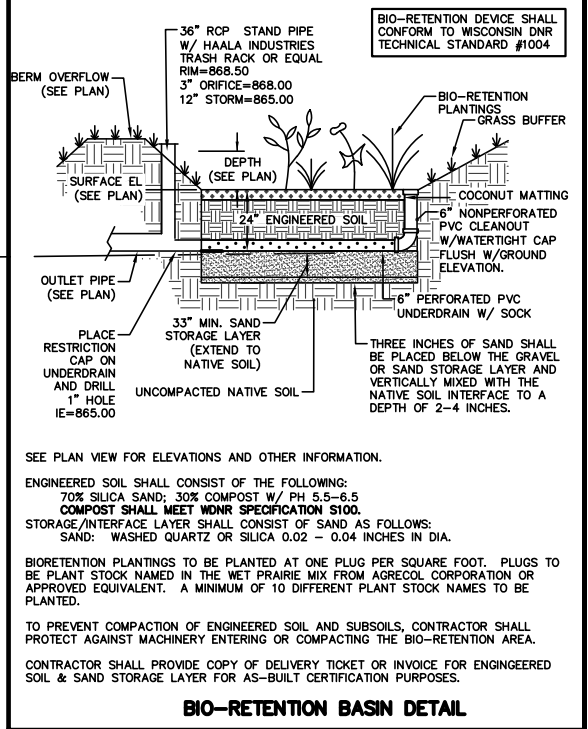
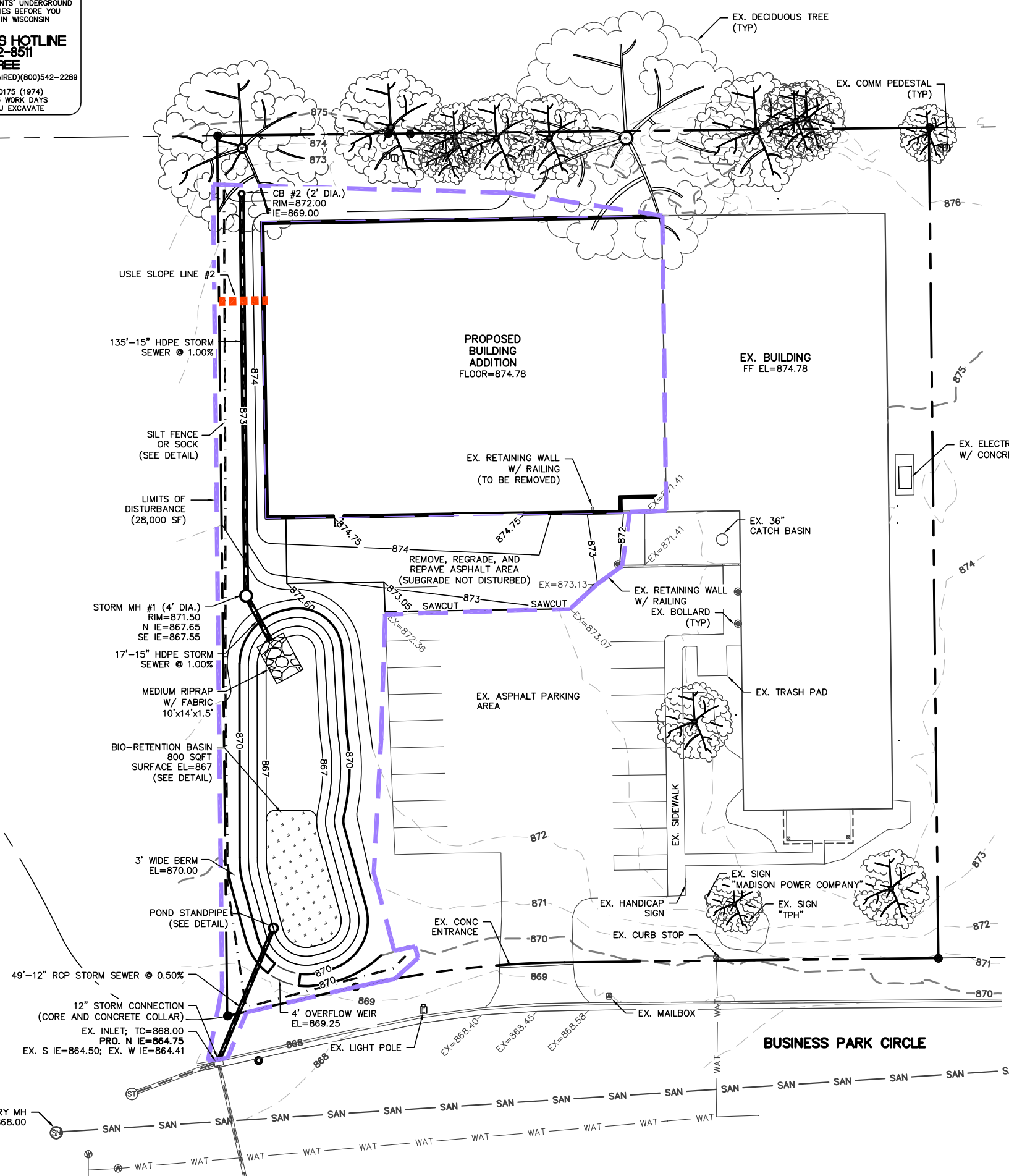


LOT COVERAGE INFORMATION BLOCK	
Site acreage (total)	.67,901 s.f. or 1.56 Acres
Total square footage of buildings	25,993 s.f.
Proposed total impervious area on site	41,100 s.f. (61%)
Proposed green/pervious area on site	26,801 s.f.

540 BUSINESS PARK CIRCLE - STOUGHTON
SITE PLAN
 SHEET: C-2
 DATE: APRIL 3, 2020

QUAM ENGINEERING, LLC
 Residential and Commercial Site Design Consultants
www.quamengineering.com
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558
 Phone (608) 838-7750; Fax (608) 838-7752

TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN
CALL DIGGERS HOTLINE
 1-800-242-8511
 TOLL FREE
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289
 WIS. STATUTE 182.0175 (1974)
 REQUIRES MIN. OF 3 WORK DAYS
 NOTICE BEFORE YOU EXCAVATE



EROSION NOTES:
 THE EXISTING PAVEMENT ENTRANCE SHALL BE MONITORED THROUGHOUT CONSTRUCTION FOR EXCESS SEDIMENT. THE EXISTING PARKING LOT IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, EXHAUSTING MATERIALS, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.

TIME SCHEDULE:

MAY 11, 2020 - MAY 13, 2020	INSTALL INITIAL EROSION CONTROL DEVICES, CONSTRUCT BUILDING FOUNDATION.
MAY 13, 2020 - SEPTEMBER 1, 2020	CONSTRUCT BUILDING ADDITION, PARKING, UTILITIES AND RESTORE ALL PERVIOUSLY DISTURBED AREAS AND COMPLETE FINAL LANDSCAPING.
SEPTEMBER 1, 2020	RESTORE ALL PERVIOUSLY DISTURBED AREAS, REMOVE ACCUMULATED SEDIMENT FROM BIO-BASINS, AND CONSTRUCTION BIO-BASINS PER DETAILS.

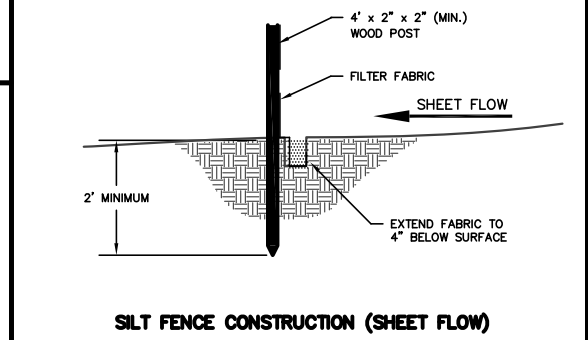
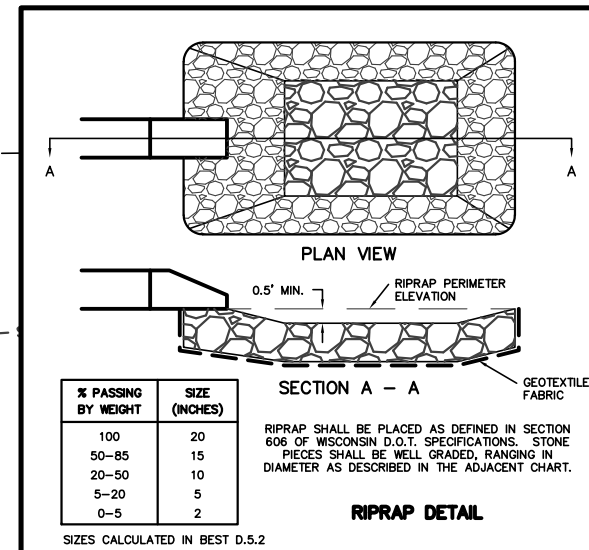
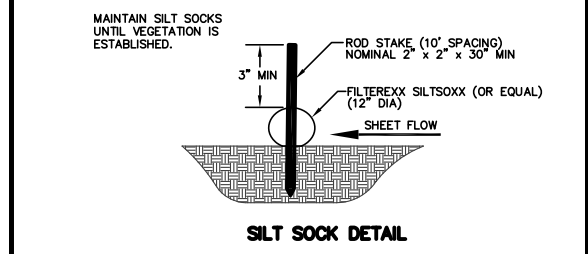
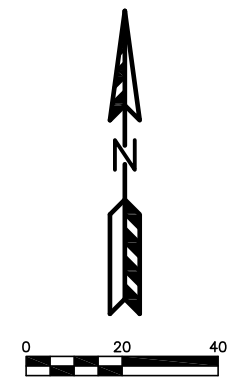
RESTORATION NOTES:
 ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUSLY DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS EXCEPT BIO-RETENTION BASIN. THE BIO-RETENTION BASIN SHALL BE RESTORED PER BIO-RETENTION BASIN DETAIL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

OWNER:
 MADISON POWDER COATING
 ATTN: KEVIN WHITFORD
 540 BUSINESS PARK CIRCLE
 STOUTHTON, WI 53589

ENGINEER:
 QUAM ENGINEERING, LLC
 ATTN: RYAN QUAM
 4604 SIGGELKOW ROAD, SUITE A
 MCFARLAND, WI 53558

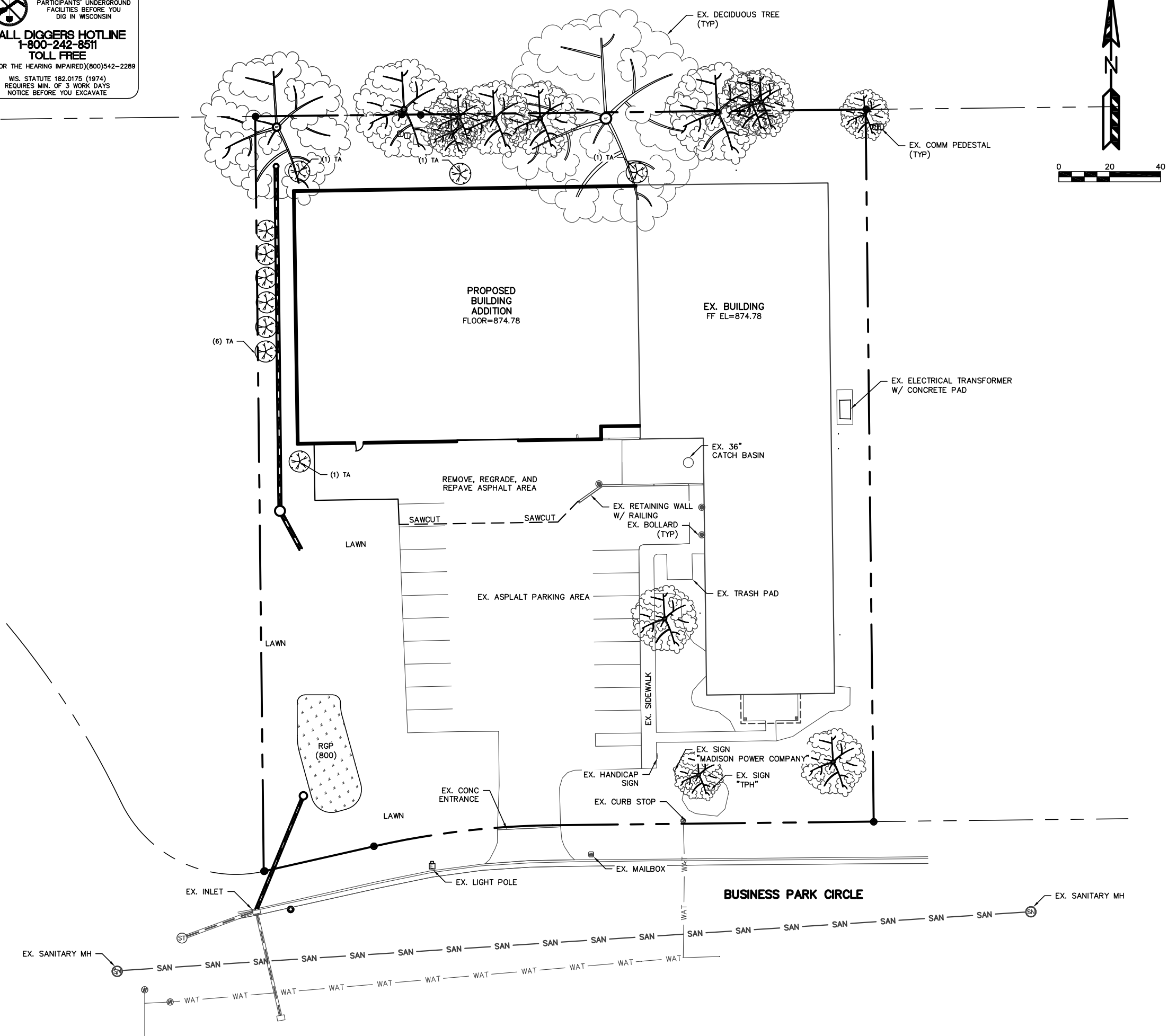


540 BUSINESS PARK CIRCLE - STOUTHTON
 GRADING AND EROSION CONTROL AND UTILITY PLAN
 SHEET: C-3
 DATE: APRIL 3, 2020

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 NOTICE BEFORE YOU EXCAVATE

S·P·S
 Paul Skidmore, Landscape Architect LLC
 Paul Skidmore, ASLA
 Landscape Architect
 13Red Maple Trail (608) 826-0032
 Madison, WI 53717 (608) 335-1529 (c)
 paulskidmore@tds.net



PLANT LIST

KEY	QUAN	SIZE	COMMON NAME	ROOT
TA	10	4'	<u>Small Evergreen Trees</u> Techny Arborvitae	BB
RGP	800	2 1/2"	<u>Bio-retention Plantings</u> (Planted 12" on center) Common Blue Star Bottle Gentian Obedient Plant Columbine Switchgrass Black Eyed Susan Wild Iris Swamp Milkweed White Turtlehead Cardinal Flower Turk's Cap Lily Little Bluestem Canada Wild Rye Nodding Onion	plug

NOTES:

- 1) Turf areas to receive a minimum of 4" of topsoil, no mow seed mix, starter fertilizer, and straw mat mulch.
- 2) Turf areas in drainage swales and slopes 3:1 and greater shall be mulched with straw mat fabric (installed per manufacturer's specifications).
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3"
- 4) Rain garden to receive coconut mat mulch.
- 5) Rain garden plants (RGP) to be installed 12" on center.
- 6) Rain garden to be constructed per WDNR specifications.
- 7) Owner will be responsible for landscape maintenance after completion and acceptance of the project.

LANDSCAPE WORKSHEET

Zoning Classification: Planned Industrial - PI

Landscape Points Required

Building foundation Length =	470 LF
Landscape Points: 470/100 x 40 =	190 points
Total Landscape Points Required	190 points

Landscape Points Supplied

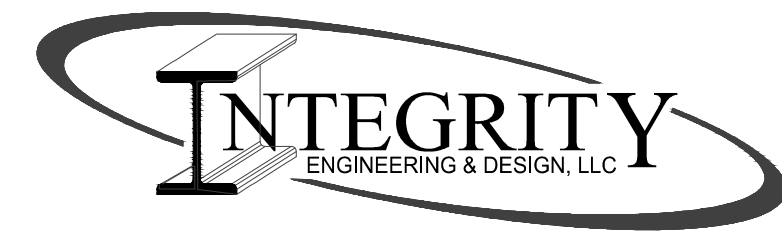
Proposed medium evergreen trees - 10 @ 20 =	200 points
Total landscape points supplied =	200 points

540 BUSINESS PARK CIRCLE - STOUGHTON
 LANDSCAPE PLAN
 SHEET: C-4
 DATE: APRIL 3, 2020

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PROPOSED ADDITION FOR: MADISON POWDER COATING

STOUGHTON, WISCONSIN



2637 Tulip Lane Green Bay, WI 54313
Phone: (920) 469-9288 Fax: (920) 469-6809
E-mail: Info@IntegrityEngineering.biz

INTEGRITY MISSION STATEMENT

WE PROVIDE HIGH QUALITY ARCHITECTURAL DESIGN AND STRUCTURAL ENGINEERING. OUR PLANS MOVE SMOOTHLY THROUGH THE STATE REVIEW PROCESS AND MAKE BUILDING CONSTRUCTION MORE ENJOYABLE. OUR SERVICE IS UNMATCHED AND OUR INTEGRITY IS IMPECCABLE.

IF YOU HAVE ANY QUESTIONS OR COMMENTS ABOUT THE CONTENT OR PRESENTATION OF MATERIAL ON THIS PLAN, PLEASE CALL (920) 469-9288

GENERAL CONDITIONS:

THESE PLANS ARE PRESENTED TO LEAD A HIGH QUALITY DESIGN/BUILD TEAM. EACH CONTRACTOR AND SUBCONTRACTOR IS RESPONSIBLE TO PROVIDE EXCELLENT DESIGN, BUILDING MATERIALS, AND CRAFTSMANSHIP WHICH WE CAN ALL BE PROUD OF. WE ENCOURAGE YOU TO PROVIDE EXPERTISE IN YOUR CHOSEN FIELD AND TO BRING IDEAS AND CONCERNS TO THE ATTENTION OF THE GENERAL CONTRACTOR.

THESE DRAWINGS COVER STRUCTURAL AND GENERAL CONSTRUCTION ONLY. ALL WORK SHALL CONFORM TO STANDARD PRACTICES AND APPLICABLE LAWS, WHETHER THEY ARE SPECIFICALLY STATED IN THESE PLANS OR NOT.

EACH CONTRACTOR SHALL:

- VISIT THE SITE TO VERIFY EXISTING CONDITIONS, ACCESS, ETC. PRIOR TO BIDDING
- MAINTAIN A CLEAN JOB SITE AT ALL TIMES
- OBTAIN AND PAY FOR PERMITS, LICENSES, FEES, ETC. AS MAY BE REQUIRED FOR COMPLETION OF HIS OWN PORTION OF THE PROJECT.
- FIELD VERIFY DIMENSIONS.
- REPORT ANY DISCREPANCY NOTED BETWEEN THESE PLANS AND APPLICABLE CODES TO THE GENERAL CONTRACTOR.
- PROVIDE ALL BARRIERS, FENCES, SAFETY EQUIPMENT AND PRECAUTIONS REQUIRED BY APPLICABLE LAWS AND STANDARD PRACTICES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS REQUIREMENTS AND RECOMMENDATIONS.

ANY HAZARDOUS MATERIALS ENCOUNTERED DURING DEMOLITION, REMODELING, OR EXCAVATION SHALL BE REMOVED AND/OR CONTAINED IN ACCORDANCE WITH GOVERNING LOCAL, STATE, AND FEDERAL REGULATIONS.

THIS DESIGN, THESE DRAWING, AND INCLUDED DETAILS ARE THE COPYRIGHTED PROPERTY OF INTEGRITY ENGINEERING & DESIGN, LLC. NO PART SHALL BE COPIED, DISTRIBUTED, OR MADE AVAILABLE TO ANYONE WITHOUT THE EXPRESS WRITTEN CONSENT OF INTEGRITY ENGINEERING & DESIGN, LLC.

QUICK SPEC

TO MAKE THIS PLAN MORE CONTRACTOR FRIENDLY, WE HAVE PREPARED IT WITH OUR QUICK SPEC SYSTEM.

THE WRITTEN SPEC IS GENERAL AND DOES NOT GO INTO DEPTH TO REITERATE STANDARD PRACTICES OR APPLICABLE LAWS. IT IS WRITTEN IN AN EASY TO READ FORMAT. THE SPECIFICATION IS SPLIT INTO APPROPRIATE SECTIONS AND LISTED ON THE PLAN WHERE IT IS NEEDED. YOU WILL FIND THESE SECTIONS QUICKLY BY THE SHADOW BOX AROUND IT (SIMILAR TO THIS ONE).

SPECIFIC CASES THAT CANNOT BE DESCRIBED IN A GENERAL SPEC ARE NOTED ON THE PLANS. IF THERE IS A DISCREPANCY BETWEEN THE PLAN AND THE GENERAL SPEC, THE PLAN NOTES WILL SUPERSEDE THE GENERAL SPEC.

KEY TO SYMBOLS AND MATERIALS

SYMBOLS		MATERIALS	
XXX ELEV: XXX'-XX"	ELEVATION		LUMBER
ROOM NAME XXX	ROOM NAME/NUMBER		BRICK
XXX	DOOR NUMBER		CONCRETE MASONRY UNIT (CMU)
(X)	COLUMN LINE		COMPACTED FILL
(X)	EXISTING COLUMN LINE		RIGID INSULATION
FE	FIRE EXTINGUISHER		BATT INSULATION
(X)	NOTE		PLYWOOD
109	WINDOW IDENTIFICATION		CONCRETE
X	WALL TYPE		
	NEW MASONRY WALL		
	NEW STUD WALL		
	EXISTING WALL TO BE REMOVED		
	EXISTING WALL TO REMAIN		
	NEW STUD WALL IN REMODELED SPACE		
	REVISION		
	SECTION NUMBER		
	BUILDING SECTION REFERENCE		
	SHEET NUMBER ON WHICH SECTION WILL BE FOUND		
XXX.X	SPOT ELEVATION		
XXX.X	EXISTING SPOT ELEVATION		
XXX	DETAIL NUMBER		
XXX	DETAIL IDENTIFICATION		
XXX	SHEET NUMBER		
XXX	DETAIL NUMBER		
XXX	SHEET NUMBER ON WHICH DETAIL WILL BE FOUND		
XXX	PLAN DETAIL REFERENCE		
	AREA INCLUDED IN DETAIL		

CALL 3 WORK DAYS BEFORE YOU DIG

DIGGERS HOTLINE

(800) 242-8511
FAX (800) 388-3860
WEBSITE: www.diggershotline.com

BUILDING DATA

BUILDING CODE: IBC 2015

BUILDING SIZE:

ADDITION AREA (SQ. FT.): 13,425
EXISTING AREA (SQ. FT.): 12,700
ALLOWABLE AREA PER FLOOR (SQ. FT.): XX
NUMBER OF STORIES: 1
EAVE HEIGHT: 20'-0", 24'-2"
MAXIMUM OVERALL HEIGHT: 24'-2"

CONSTRUCTION CLASSIFICATION:

EXISTING - TYPE IIIB
NEW - TYPE IIIB

OCCUPANCY:

B, F-1, S-1

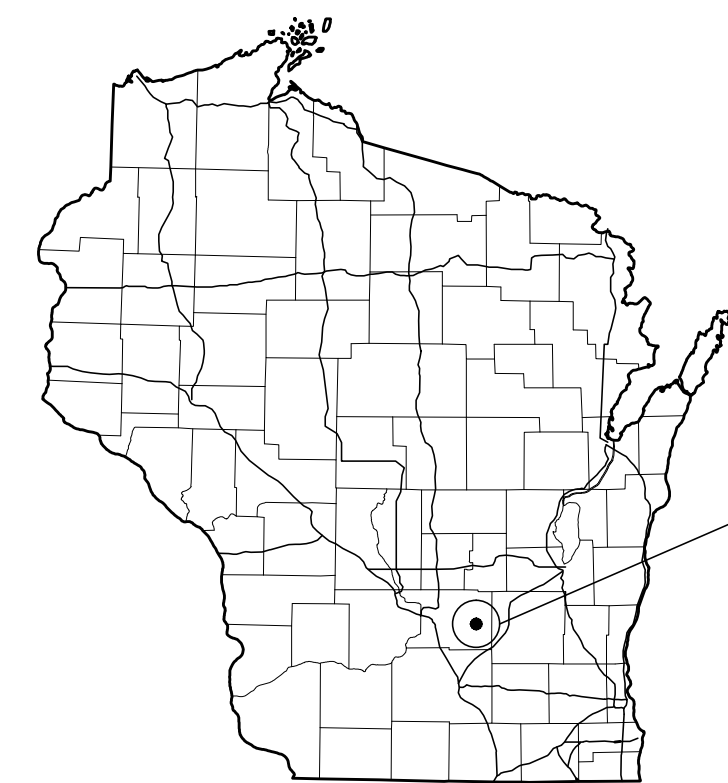
DESIGN LOADS: PER IBC 2015, CHAPTER 16

Pg = 30 PSF
ULTIMATE DESIGN WIND SPEED = 115 MPH
WIND EXPOSURE = B
SEISMIC CATEGORY = A
SOIL BEARING PRESSURE = 2000 PSF PRESUMED

FIRE PROTECTION SYSTEMS

AUTOMATIC FIRE SPRINKLER SYSTEM - REQUIRED
STANDPIPE SYSTEMS - NOT REQUIRED SEE IBC 905
FIRE ALARM SYSTEM - NOT REQUIRED SEE IBC 907
SMOKE DETECTORS - INSTALL PER APPLICABLE CODES
EXIT SIGNS - PROVIDE EXIT SIGNS PER IBC SECTION 1013
FIRE EXTINGUISHERS - INSTALL PER NFPA 1 AND APPLICABLE LOCAL CODES

SITE LOCATION MAP



SITE LOCATION
STOUGHTON



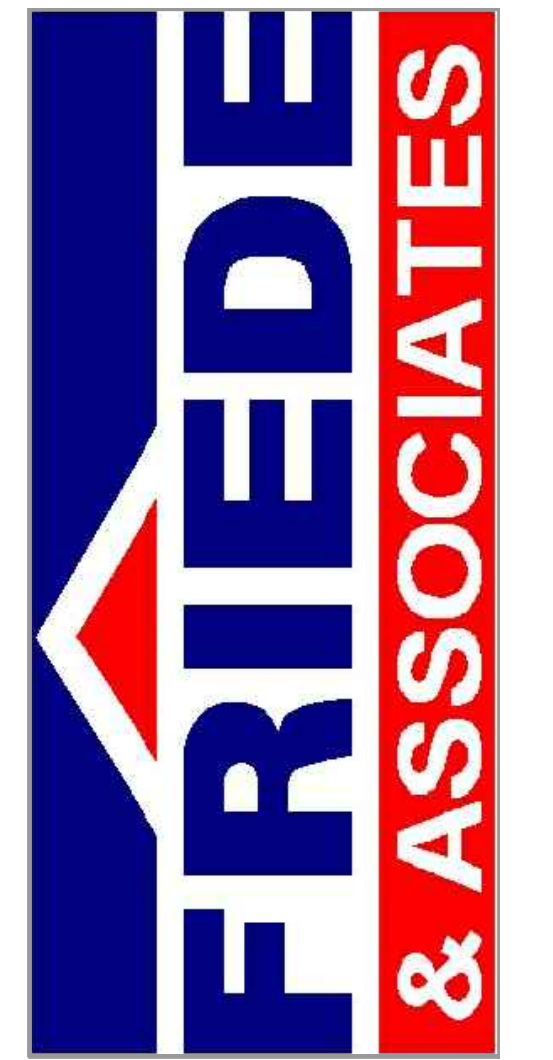
SITE LOCATION
540 BUS PARK CIRCLE

DRAWING INDEX

- T1.0 COVER SHEET
- D1.0 DEMO/EXISTING PLAN
- A1.0 OVERALL FLOOR PLAN
- A1.1 FLOOR PLAN
- A3.0 SECTIONS
- A3.1 DETAILS
- A4.0 SCHEDULES

NOTE:

THE STAMP OF INTEGRITY ENGINEERING'S SUPERVISING PROFESSIONAL ON THIS SET OF DRAWINGS IS IN NO WAY ATTESTING TO THE ACCURACY AND COMPLETENESS OF THE DRAWINGS PREPARED BY SUB-CONSULTANTS INCLUDED HEREIN. THE RESPONSIBILITY FOR THE DRAWINGS BY SUB-CONSULTANTS LIES WITH THE RESPECTIVE SUB-CONSULTANTS (CIVIL, MEPPF, ETC.) THEY ARE INCLUDED HERE FOR CONVENIENCE AND INFORMATIONAL PURPOSES ONLY.



PROPOSED ADDITION FOR:
MADISON POWDER COATING
540 BUSINESS PARK CIRCLE
STOUGHTON, WI 53589

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

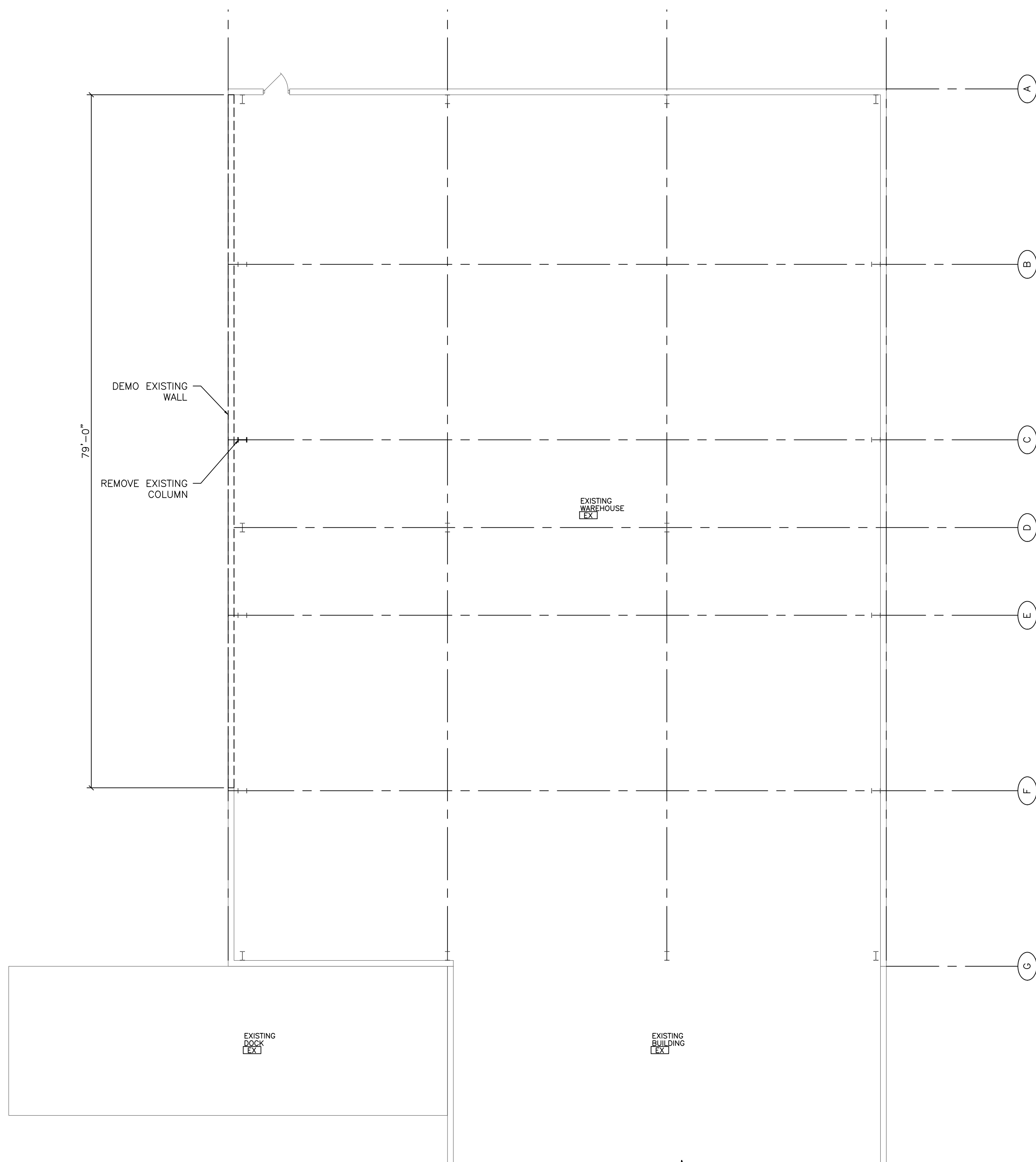
ISSUE DATE	ISSUE NO	REVISIONS

JOB NUMBER
20058

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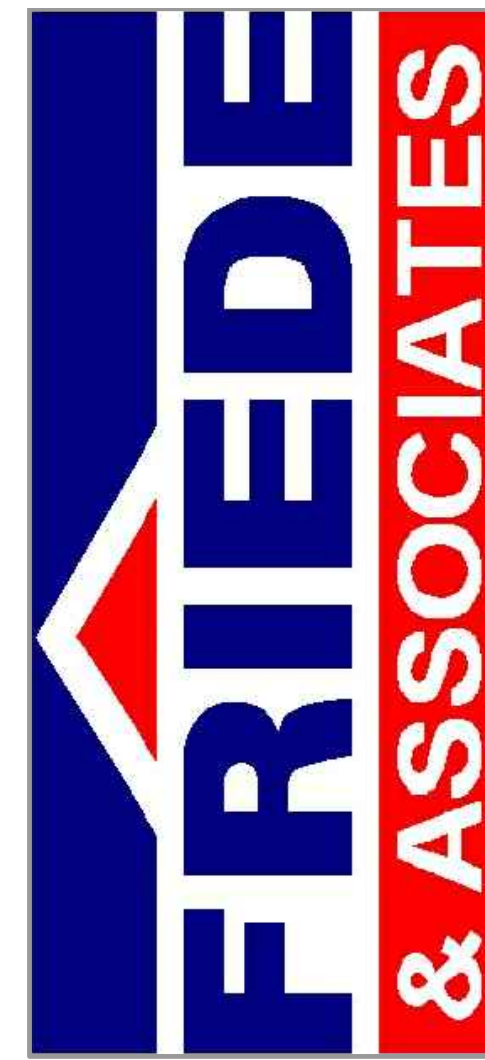
DATE:
APRIL 08, 2020

SHEET
T1.0



DEMO/EXISTING PLAN
SCALE: 1/8"=1'-0"

	WALL TYPE SYMBOL SEE WALL TYPE SCHEDULE ON SHEET A1.0
	THIS HATCH PATTERN INDICATES NEW CONSTRUCTION
	THIS LINE TYPE INDICATES EXISTING CONSTRUCTION, TO REMAIN



PROPOSED ADDITION FOR:
MADISON POWDER COATING
540 BUSINESS PARK CIRCLE
STOUGHTON, WI 53589

**PRELIMINARY
DRAWINGS
NOT FOR
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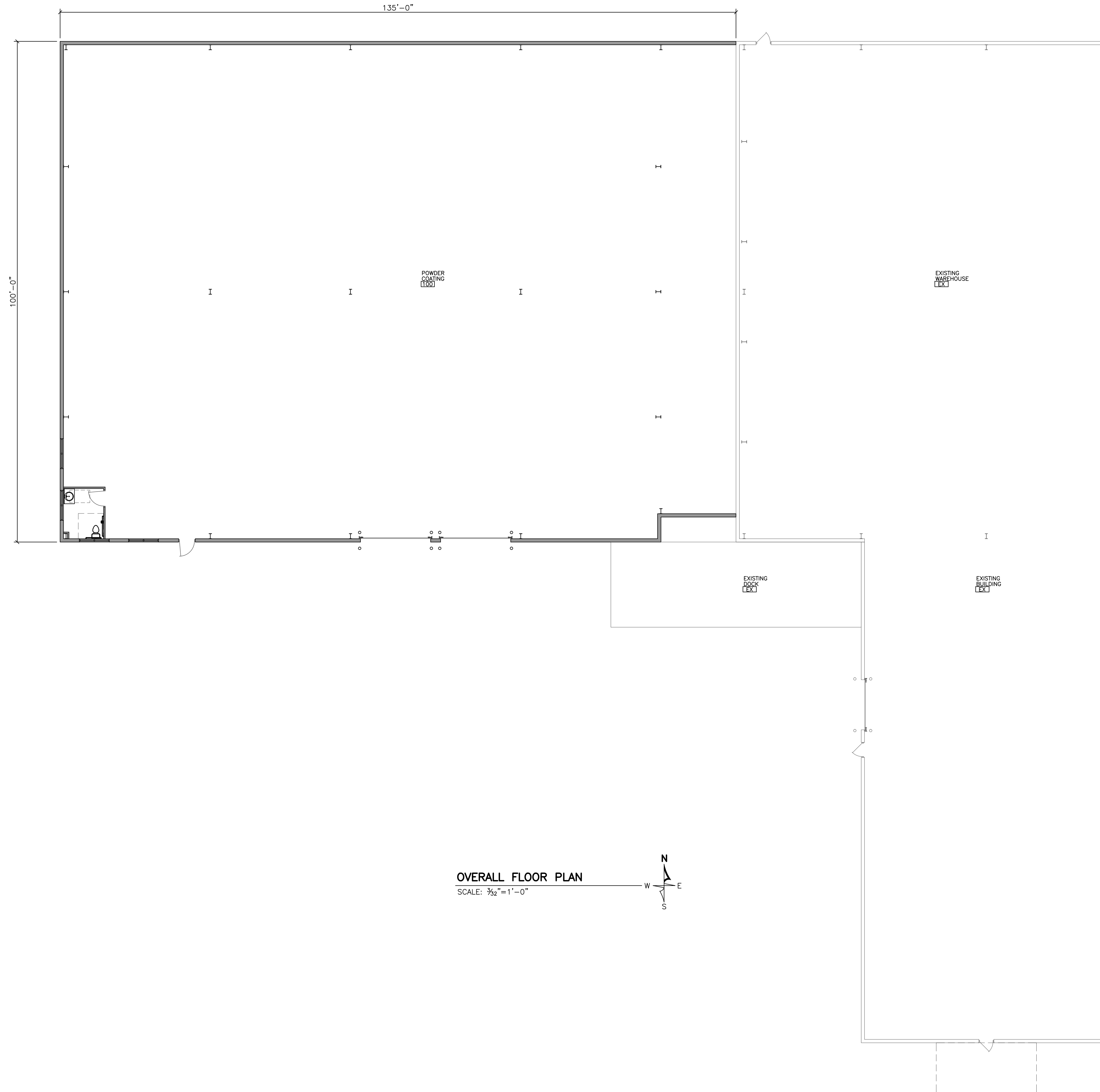
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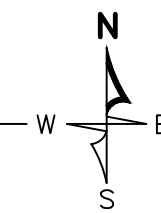
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DATE:
APRIL 08, 2020

SHEET
D1.0



OVERALL FLOOR PLAN
SCALE: 3/32"=1'-0"



	WALL TYPE SYMBOL SEE WALL TYPE SCHEDULE ON SHEET A1.0
	THIS HATCH PATTERN INDICATES NEW CONSTRUCTION
	THIS LINE TYPE INDICATES EXISTING CONSTRUCTION, TO REMAIN



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MADISON POWDER COATING
540 BUSINESS PARK CIRCLE
STOUGHTON, WI 53589

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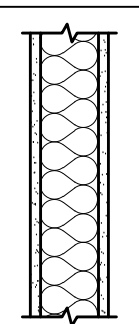
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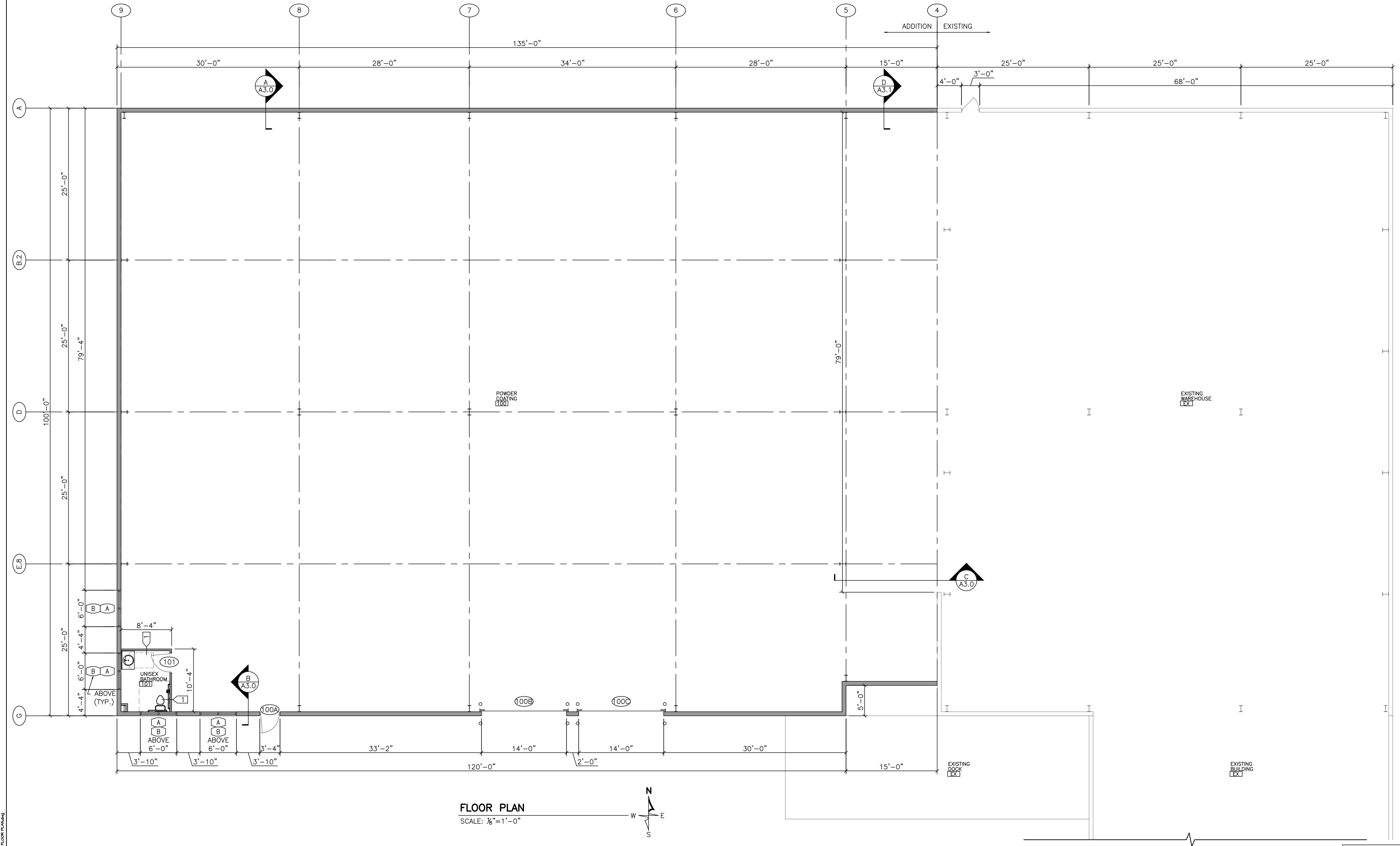
DATE:
APRIL 08, 2020

SHEET
A1.0

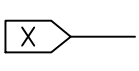


PRE-ENGINEERED METAL BUILDING
 PRE-ENGINEERED METAL BUILDING SHALL BE DESIGNED FOR LOADS AS INDICATED IN 'DESIGN LOADS' SECTION.
 THE ERECTION OF THE METAL BUILDING AND THE INSTALLATION OF ACCESSORIES SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING MANUFACTURER'S ERECTION DRAWINGS BY A QUALIFIED ERECTOR USING PROPER TOOLS AND EQUIPMENT. ERECTION PRACTICES SHALL CONFORM TO PART IV, MBMA "CODE OF STANDARD PRACTICES." THERE SHALL BE NO FIELD MODIFICATIONS TO PRIMARY STRUCTURAL MEMBERS EXCEPT AS AUTHORIZED AND SPECIFIED BY THE BUILDING MANUFACTURER.
 CONTRACTOR MUST VERIFY FINAL BUILDING DESIGN WITH THE FOLLOWING AREAS SHOWN ON THESE PLANS:
 -ANCHOR BOLT SIZE AND SPACING.
 -DEPTH OF COLUMNS.
 -DEPTH OF RAFTERS.

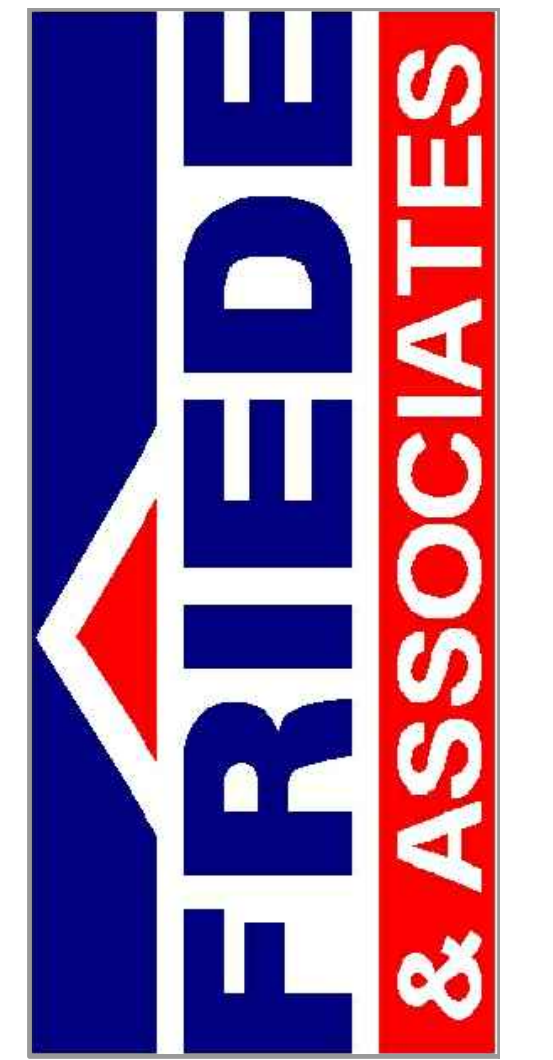
INTERIOR PARTITION WALLS
 INTERIOR PARTITION WALLS ARE DIMENSIONED FROM FACE OF STUD TO FACE OF STUD.
 INTERIOR PARTITIONS ARE 3/8" FOR WOOD STUDS AND 3/4" FOR METAL STUDS. PLUMBING WALLS ARE 5/8" FOR WOOD STUDS OR 6" FOR METAL STUDS.
 STUDS ARE SPACED AT 16" ON CENTER UNLESS NOTED OTHERWISE. USE MINIMUM 1/2" GYPSUM BOARD ON THE FINISHED SIDES OF INTERIOR PARTITIONS. PROVIDE EXPANSION JOINTS AT 30'-0" O.C. FOR LONG GYPSUM BOARD WALLS.
 PARTITION WALLS WHICH ARE NOT FULL HEIGHT MUST BE BRACED TO CROSS WALLS OR TO THE STRUCTURE ABOVE TO PROVIDE ADEQUATE STABILITY.
DRYWALL
 DRYWALL SHALL BE INSTALLED PER THE LATEST EDITIONS OF "RECOMMENDED SPECIFICATIONS FOR THE APPLICATION AND FINISHING OF GYPSUM BOARD" GA-216 AS PUBLISHED BY THE GYPSUM ASSOCIATION AND THE "GYPSUM CONSTRUCTION HANDBOOK" AS PUBLISHED BY UNITED STATES GYPSUM COMPANY. PROVIDE CONTROL JOINTS AS REQUIRED.

WALL TYPE SCHEDULE		
NO.	DESCRIPTION	WALL DIAGRAM
1	5/8" GYPSUM BOARD 3/8" 25 GA. METAL STUDS AT 16" O.C. BATT INSULATION 5/8" GYPSUM BOARD	
HEIGHT: 10'-0"		



FLOOR PLAN
 SCALE: 1/8"=1'-0"

 WALL TYPE SYMBOL SEE WALL TYPE SCHEDULE ON SHEET A1.0
 THIS HATCH PATTERN INDICATES NEW CONSTRUCTION
 THIS LINE TYPE INDICATES EXISTING CONSTRUCTION, TO REMAIN



PROPOSED ADDITION FOR:
MADISON POWDER COATING
 540 BUSINESS PARK CIRCLE
 STOUTINGTON, WI 53589

PRELIMINARY DRAWINGS NOT FOR CONSTRUCTION

ISSUE DATE	REVISIONS	ISSUE NO

JOB NUMBER
20058

DRAWN BY
-

DATE:
APRIL 08, 2020

SHEET
A1.1

20 APR 2020 10:37 AM Project: Madison Powder Coating - Floor Plan.dwg

PROPOSED ADDITION FOR:
MADISON POWDER COATING
 540 BUSINESS PARK CIRCLE
 STOUGHTON, WI 53589

**PRELIMINARY
 DRAWINGS
 NOT FOR
 CONSTRUCTION**

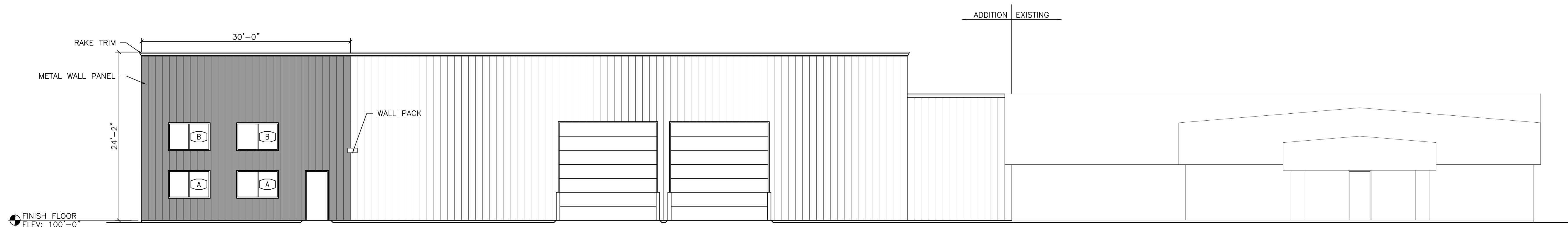
ISSUE NO	ISSUE DATE	REVISIONS

JOB NUMBER
20058

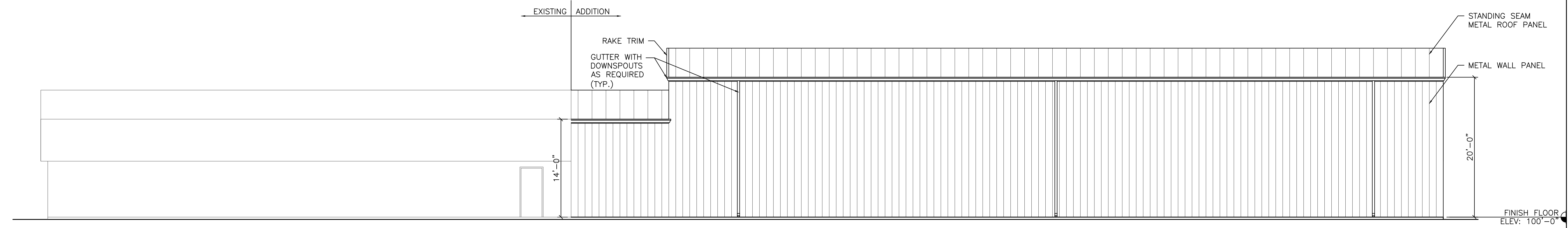
DRAWN BY
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DATE:
APRIL 08, 2020

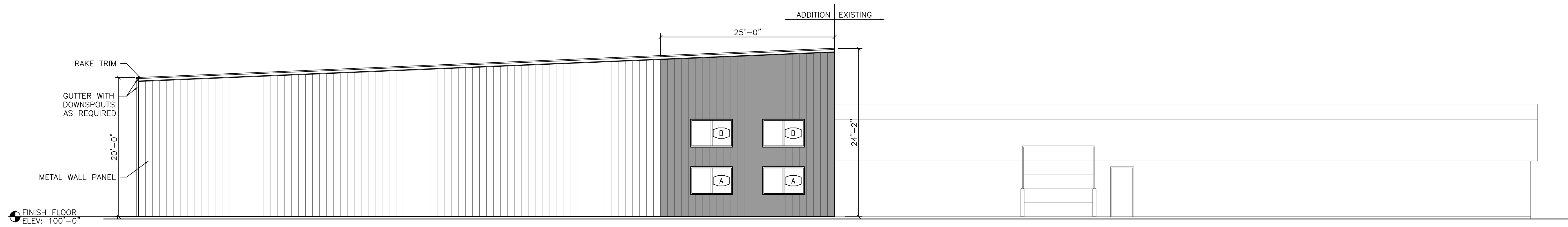
SHEET
A2.0



SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

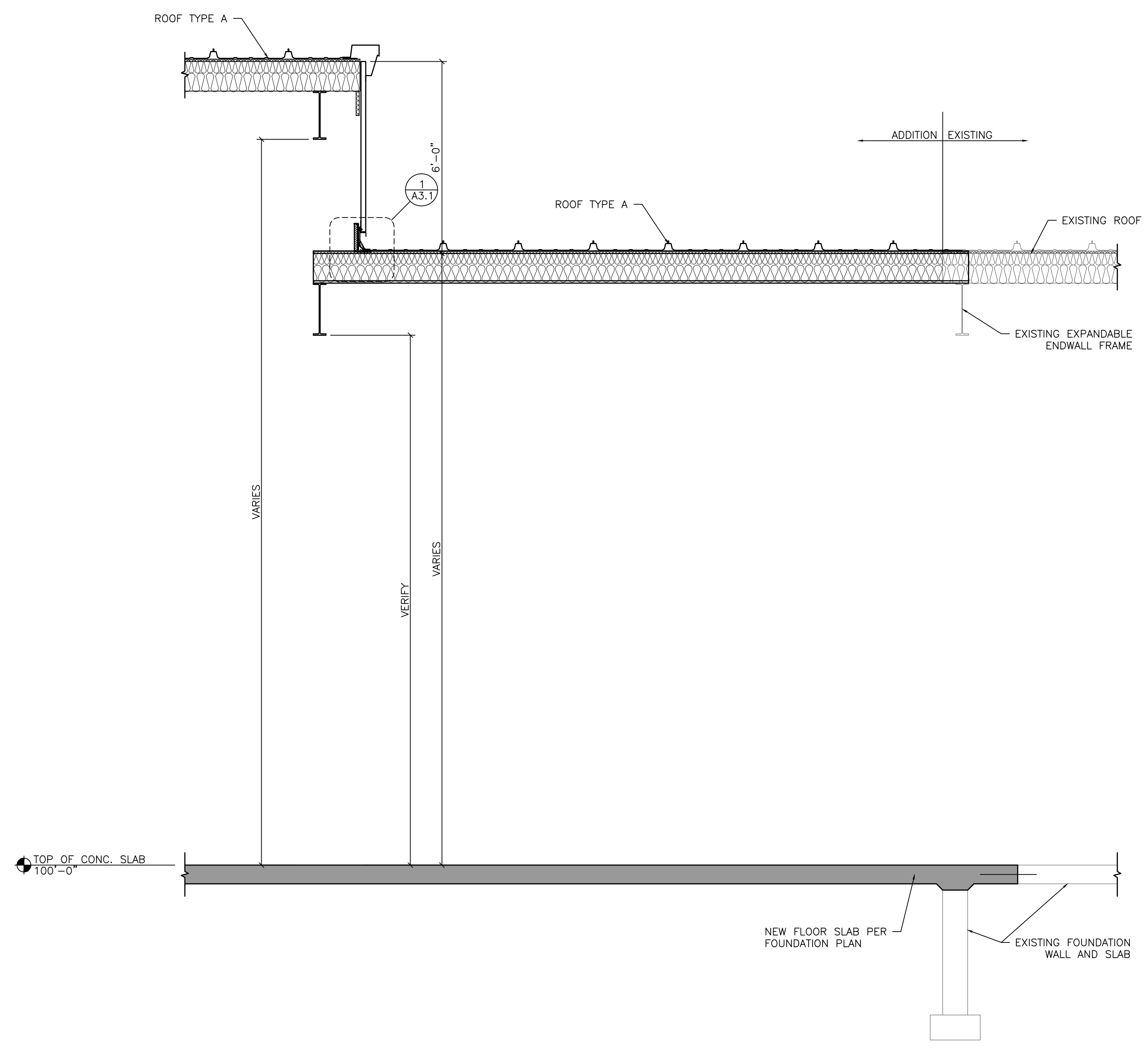


NORTH ELEVATION
 SCALE: 1/8"=1'-0"

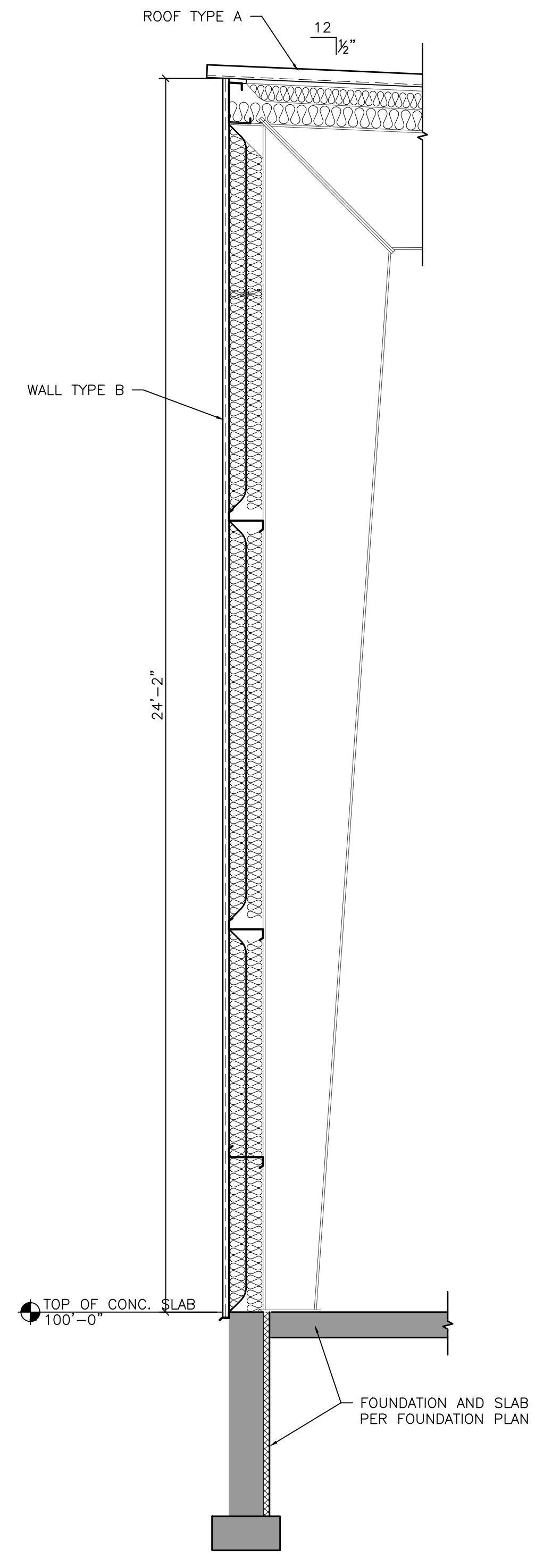


WEST ELEVATION
 SCALE: 1/8"=1'-0"

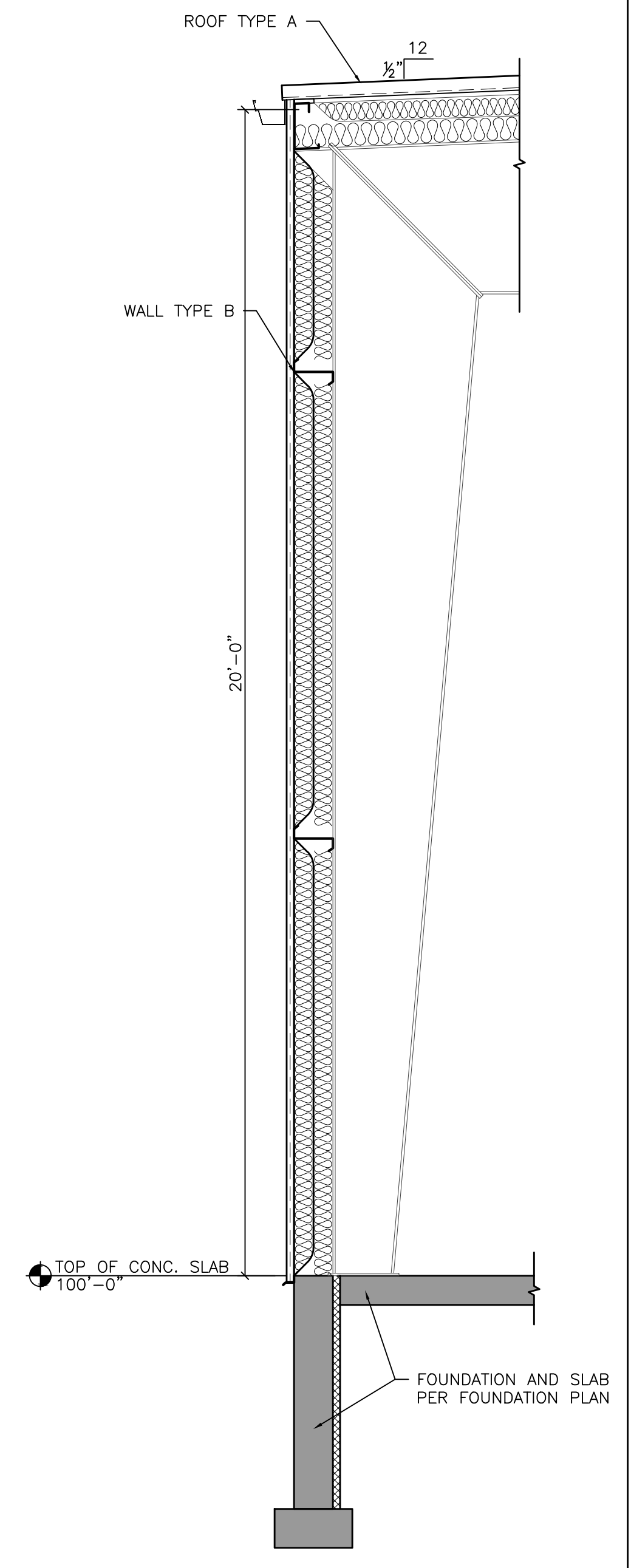
EXTERIOR WALL AND ROOF TYPE SCHEDULE	
LETTER	DESCRIPTION
A	(2) LAYER INSULATION SYSTEM 24 GA. STANDING SEAM METAL ROOF PANELS- WITH THERMAL BLOCKS. INSULATION SYSTEM PER DETAIL 2/A3.1 (R-X AND R-X U=X) REINFORCED POLY VAPOR BARRIER.
B	26 GA. METAL PANEL. INSULATION SYSTEM PER DETAIL 3/A3.1 (R-X AND U=X) GIRTS



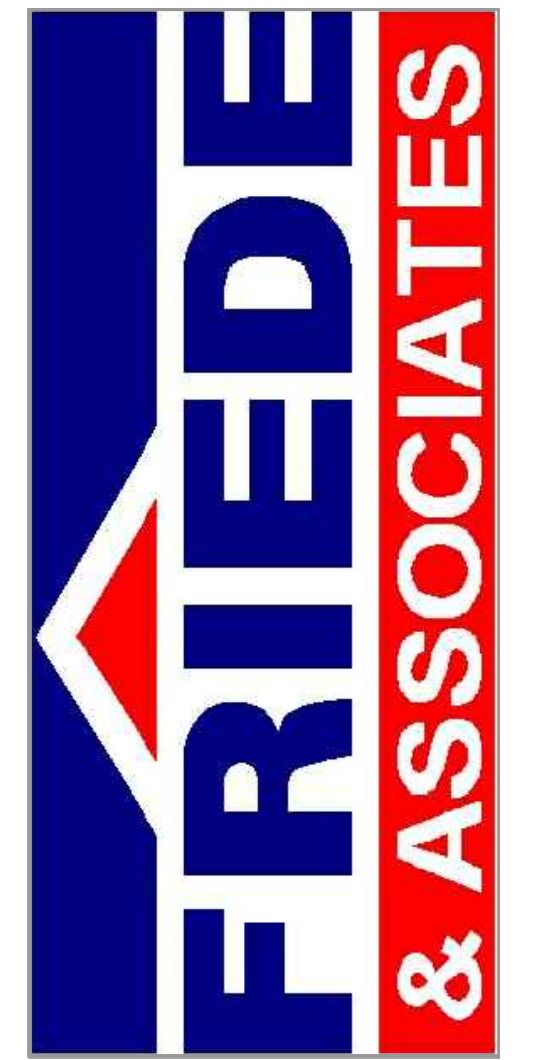
WALL SECTION C
SCALE: 1/2"=1'-0"



WALL SECTION B
SCALE: 1/2"=1'-0"



WALL SECTION A
SCALE: 1/2"=1'-0"



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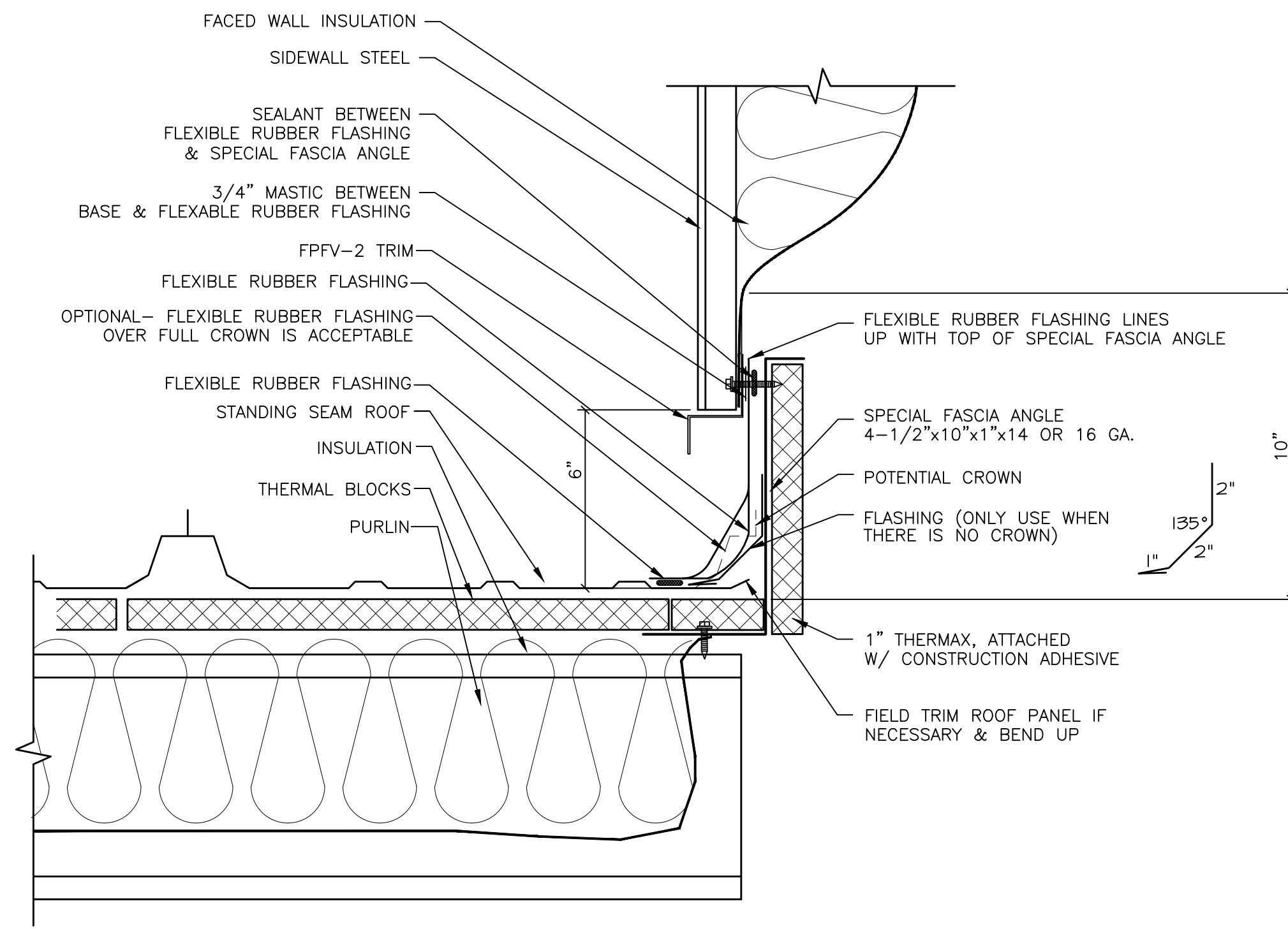
JOB NUMBER
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APRIL 08, 2020

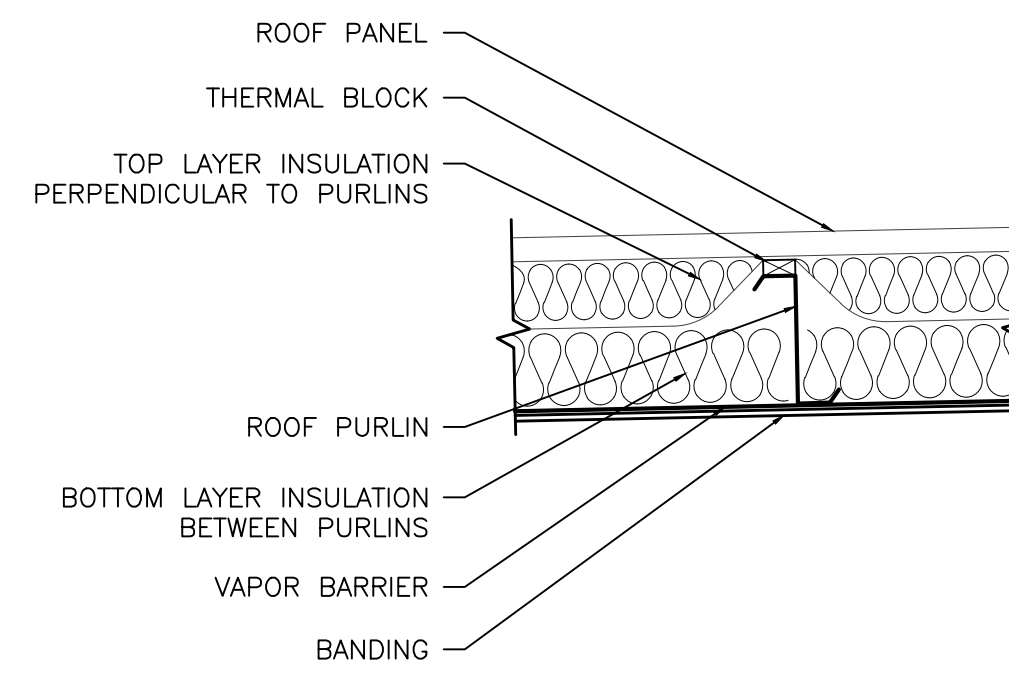
SHEET
A3.0

20 APR 2020 10:27 AM Madison Powder Coating - Floor Plan.dwg



STANDING SEAM – ROOF TO WALL WITH RUBBER FLASHING
SCALE: 3"=1'-0"

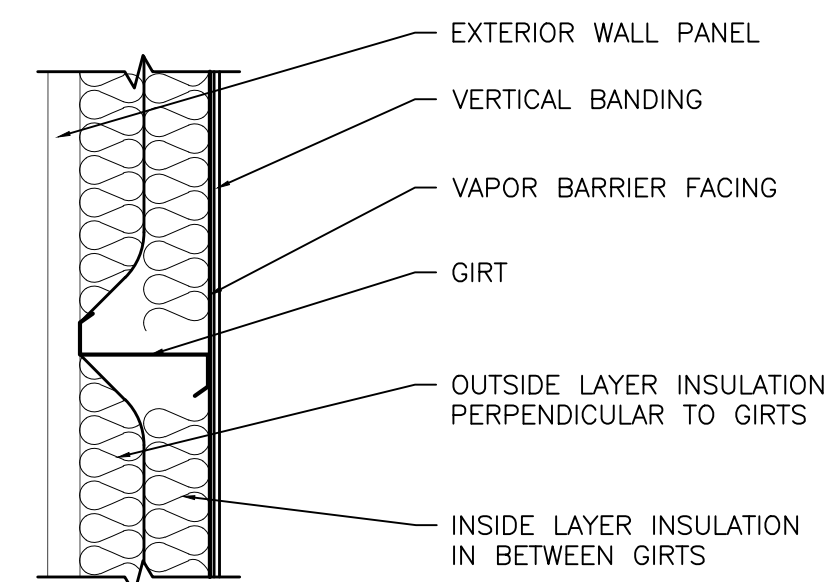
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A3.1



STANDING SEAM ROOF ASSEMBLY WITH THERMAL BLOCK DETAIL

SCALE: 1"=1'-0"

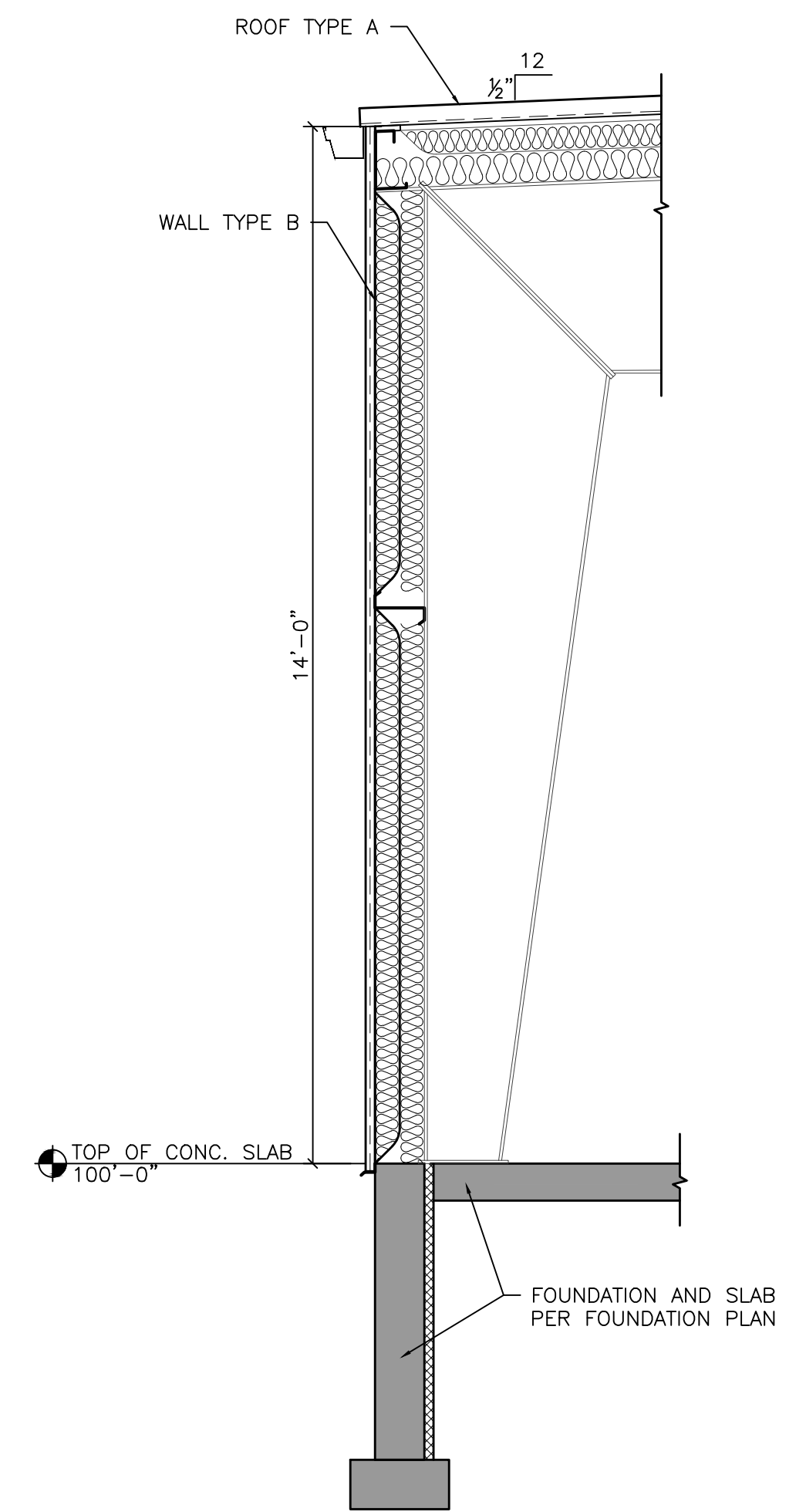
2
A3.1



DOUBLE LAYER (NO GIRT TAPE) WALL ASSEMBLY DETAIL

SCALE: 1"=1'-0"

3
A3.1



WALL SECTION
SCALE: 1/2"=1'-0"

D
A3.1



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SHEET
A3.1





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CITY OF STOUGHTON
DEPARTMENT OF PLANNING & DEVELOPMENT
207 S. Forrest Street, Stoughton, WI. 53589
www.cityofstoughton.com/planning

RODNEY J. SCHEEL
DIRECTOR
(608) 873-6619
fax: (608) 873-5519

April 8, 2020

Friede and Associates
Scott Truehl
500 Utility Court
Reedsburg, WI. 53959

Dear Mr. Truehl:

I have completed a review of the proposed 13,425 square foot building addition for The Printing House/Madison Powder Coating at 540 Business Park Circle. As noted, additional information may be required to be provided or shown on the plans.

Zoning Code Requirements:

1. The property at 540 Business Park Circle is zoned PI – Planned Industrial. Light Industrial land uses are permitted outright..
2. The Comprehensive Plan, Future Land Use Map designates this property as Planned Industrial which is consistent with the zoning and existing uses.
3. Light industrial uses are described as follows:
Light industrial land uses are industrial facilities at which all operations (with the exception of loading operations): 1) are conducted entirely within an enclosed building; 2) are not potentially associated with nuisances such as odor, noise, heat, vibration, and radiation which are detectable at the property line; 3) do not pose a significant safety hazard (such as danger of explosion); and 4) comply with all of the performance standards listed for potential nuisances in article VII. Light industrial land uses may conduct retail sales activity as an accessory use provided that the requirements of subsection (8)(h), below, are complied with.
4. Regulations applicable to light industrial land uses are as follows:
 - All activities, except loading and unloading, shall be conducted entirely within the confines of a building.
5. The parking requirement for an Light Industrial use is one space per each employee on the largest work shift. **8 parking spaces are required. There is ample existing parking stalls.**
6. The following are the minimum building setback and maximum height requirements of the Planned Industrial district: Front yard setback – 20 feet; Side yard setback – 10 feet; Rear yard setback – 20 feet; Max building height – 40 feet. **The plan meets these requirements.**
7. Accessible parking spaces shall be provided at a size, number, location and with signage as specified by state and federal regulations. **Expected.**

8. All access drives shall have a maximum width of 30 feet as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of 5 additional feet unless explicitly approved by the Plan Commission. **The existing access drive is not changing.**
9. The building shall employ only high quality, decorative construction materials on the visible exterior as required in section 78-716. Architectural and design elements shall be compatible with the surrounding area and community standards. **The addition is proposed to match the existing building.**
10. Per section 78-704 (13)(a), bicycle parking is required equal to 10% of the automobile parking space requirement. There are specific requirements related to bicycle parking in section 78-704 (13)(c). One bike stall is required and shall be delineated on the final plan.
11. The maximum floor area ratio is 1. This is calculated by dividing the total floor area of all buildings by the gross site area. **The plan meets this requirement.**
12. The minimum landscape surface ratio (LSR) is 25 percent. **The plan meets this requirement.**
13. A landscaping plan for the building addition is required as follows:
 - Building foundations: 40 points of landscaping are required per 100 feet of foundation perimeter. 372 feet of foundation requires 149 points of landscaping which is required to be planted within 10 feet of the building foundations. Climax and tall trees cannot be used to meet this requirement. **The plan meets this requirement though the calculation uses 4 sides of the building addition. The attached side is not counted since there is no way to install foundation landscaping there. Landscaping is not recommended to be placed within any recorded easement.**
14. There are no bufferyard requirements since the adjacent properties are zoned planned industrial.
15. Article VII of the city zoning code provides the following requirements related to lighting:
“Parking and traffic circulation areas serving 6 or more vehicles shall be lit so as to ensure the safe and efficient use of said areas during the hours of use. The lighting element cannot be seen from any residentially zoned property. **One building wall pack is proposed with no changes to the parking lot lighting.**”
16. A trash enclosure for the handling of waste is required to be screened and gated with 6-foot fencing. **We have been informed, the dumpster is kept inside the building.**
17. Outdoor storage is only allowed as an accessory conditional use. This would also trigger other requirements including screening of storage and separation from required parking and circulation areas. **We have been informed there will be no outdoor storage.**
18. A stormwater management and erosion control plans, application and fees are required for this project. Dane County Land & Water Resources, the City’s consultant, will review the plan and perform inspections. **The plan, application and fees shall be submitted electronically to the Department of Planning & Development office.**

19. Contact Jill Weiss, Stoughton Utilities Director at 608-873-3379 for all electric, wastewater and water service questions. A street opening permit will be necessary from the Public Works Department for any work in the street right-of-way.
20. State of Wisconsin approved building plans may be necessary prior to issuance of a building permit but is not necessary to begin the City review process. **A post construction survey will need to be provided for our records and to verify setbacks.**

Business Park Covenants:

The following items are contained in the Business Park Covenants and will need to be addressed as noted:

1. Plan Submittal
 - a. Name and mailing address of developer/owner. **Provided.**
 - b. Utilities and utility right of way easements. Easements need to be shown on all plans. Elevation alterations of 6-inches or more within any easement need to be approved by Stoughton Utilities.
 - c. Exterior signs. **No signage proposed.**
 - d. Exterior Lighting. **One building wall pack proposed.**
 - e. Clearing, grading, and drainage plan showing proposed clearing limits, existing and proposed contours at two foot intervals. **A grading plan is provided.**
 - f. Site statistics, including site square footage, percent of site coverage's and percent of park or open space. **Provided.**
 - g. All exterior materials and colors, including manufacturer's name and catalogue numbers or samples of the same. **Addition is proposed to match the existing building.**
 - h. Location and dimensions of all proposed outdoor storage areas, and the location and dimensions of all fencing and screening. **Outdoor Storage is not allowed unless by accessory conditional use permit.**
2. Development Standards
 - a. "All electrical and air conditioning structures, including towers and air handling units, regardless of location and whether on the roof or otherwise, shall be concealed by landscaping or by decorative screening materials which form an integral part of the design." **The AC unit will be behind the building.**
 - b. All areas intended to be utilized for parking space and driveways shall be surfaced with bituminous asphalt or concrete." **Existing.**
 - c. "All parking stalls shall be marked with painted lines not less than 4" wide." **Expected.**
 - d. "No parking areas will be permitted within the building set back lines with the following two exceptions:
 1. Office employee and visitor parking may be permitted within the front yard setback lines subject to approval of the Committee. **Parking is existing.**

2. Lots bounded by more than one road may have parking areas within the building set back lines along roads other than the one on which the building fronts subject to approval by the Committee.” N/A
- e. “A scale drawing of any sign, trademark or advertising device to be used on any lot or the exterior of any building or structure will be submitted to the Committee in triplicate or the written approval by the Committee.” **None proposed.**
- f. “The front yard setback area shall be landscaped with an effective combination of trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner. The entire area between the curb and a point 10 feet in back of the front property line shall be landscaped, except for any access driveway in said area. Notwithstanding the above, the entire area between the right-of-way and the building setback line shall be densely landscaped with a combination of effective visual screening on all use areas.” **Meeting the zoning code requirements will sufficiently meet this requirement which is consistent with previous approvals.**
- g. “Areas used for parking shall be landscaped and/or fenced in such a manner as to interrupt or screen said areas from view of access streets, freeways, and adjacent properties. Plant materials used for this purpose shall consist of lineal or grouped masses of shrubs and/or trees.” **Meeting the zoning code requirements will sufficiently meet this requirement which is consistent with previous approvals.**
- h. “All outdoor storage shall be visually screened from access streets and adjacent property.” **Outdoor storage is only allowed as a conditional use and is not part of this approval process.**
- i. “Outdoor storage shall be meant to include parking of all company owned and operated vehicles, with the exception of passenger vehicles.” **Only if applicable.**
- j. “All outdoor refuse collection areas shall be visually screened from access streets and adjacent property by a complete opaque screen.” **Will be stored inside.**
- k. “Architectural Review. **The Business Park North Committee will take into account the appearance of all buildings, parking areas and storage areas.**”
2. Any other information considered pertinent by the Committee.

If you have any questions, please contact me at 608-646-0421

Sincerely,
City of Stoughton

Michael P. Stacey

Michael P. Stacey
Zoning Administrator/Assistant Planner