



# OFFICIAL NOTICE AND AGENDA

Notice is hereby given that Business Park North Committee of the City of Stoughton, Wisconsin, will hold a regular or special meeting as indicated on the date and at the time and location given below.

Meeting of: **BUSINESS PARK NORTH COMMITTEE**

Date//Time: Monday, July 12, 2021 @ 5:30 – 5:45 p.m.

Please join my meeting from your computer, tablet or smartphone.

Location:



<https://global.gotomeeting.com/join/143371021>

**You can also dial in using your phone.**

United States: [+1 \(872\) 240-3212](tel:+18722403212)

**Access Code:** 143-371-021

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## AGENDA

1. Call to Order
2. Elect Chair
3. Elect Vice-Chair
4. Request by Scott Truehl for approval of a building addition at 540 Business Park Circle.
  - Recommendation to Plan Commission
5. Future agenda items.
6. Adjournment.

## COMMITTEE MEMBERS

Phil Caravello, Council member  
 Brett Schumacher, Council member  
 Sarah Ebert, Chamber of Commerce Director  
 Tricia Suess Charleston, Chamber Board President  
 Rodney Scheel, Planning Director  
 Jamin Friedl, Finance Director  
 Vacant, Chamber member

## E-MAIL NOTICES:

All Department Heads  
 City Attorney Matt Dregne  
 Peter Sveum  
 Area Townships  
[mackenzie.krumme@wcinet.com](mailto:mackenzie.krumme@wcinet.com)  
[stoughtoneditor@wcinet.com](mailto:stoughtoneditor@wcinet.com)

Council members  
 Stoughton Hub  
 Michael Stacey  
[smonette@stolib.org](mailto:smonette@stolib.org)  
[stoughtonreporter@wcinet.com](mailto:stoughtonreporter@wcinet.com)  
[Kevin Whitford](mailto:Kevin Whitford)

Steve Kittelson  
 Derek Westby  
 BPN Committee  
 Chamber of Commerce  
[Scott Truehl](mailto:Scott Truehl)

**Any person wishing to attend the meeting, whom because of a disability, requires special accommodation, should contact the City Clerk's Office at (608) 873-6692 at least 24 hours before the scheduled meeting time so appropriate arrangements can be made. In addition, any person wishing to speak or have their comments heard but does not have access to the internet should also contact the City Clerk's Office at the number above at least 24 hours before the scheduled meeting so appropriate arrangements can be made.**



*The Excitement Is Building!*®

**Design/Build | Construction Management**

P.O. Box 248 | 500 Utility Court  
Reedsburg, Wisconsin 53959  
t 608-524-4383 | f 608-524-8393  
[www.friede.com](http://www.friede.com)

June 28, 2021

Mr. Mike Stacey  
Stoughton Plan Department  
207 S. Forrest Street  
Stoughton, WI 53589

Mike,

Attached please find the application for Site Plan Review and Approval for the planned expansion of The Printing House/Madison Powder Coating located at 540 Business Park Circle, Stoughton, WI.

The planned expansion will now add approximately 8,500 square feet to the existing 12,700 square foot facility and will be used to expand the existing powder coating operation. As part of the expansion, a new 6" water line will be installed so that the entire facility will be sprinkled. As you are aware, last spring the Plan Commission and Business Park North committees approved an addition of approximately 13,425 square feet, but due to Covid and other business conditions, this addition did not go forward.

The expansion will result in an increase of 2-4 new employees, bringing the overall employment at the facility to 6-8.

The new addition will be similar in look to the existing facility and will include painting of the existing building grey to match the addition. The addition will also include a 3' brick wainscot along the south/street elevation. As part of this addition, we will also be adding on wall pack light fixture adjacent to the walk door on the south/street elevation.

Sincerely,

A handwritten signature in black ink that reads "Scott Truehl".

**Scott Truehl**

Executive Vice President  
Direct (608) 768-9802 / Cell (608) 963-7060  
[sctruehl@friede.com](mailto:sctruehl@friede.com)

**Friede & Associates**

500 Utility Court, P.O. Box 248  
Reedsburg, WI 53959  
Office (608) 524-4383 / Fax (608) 524-8393  
[www.friede.com](http://www.friede.com)

***The Excitement is Building!***



**City of Stoughton Application for Site Plan Review and Approval (Requirements per Section 78-908)**

Applicant Name: SCOTT TRUEHL, FRIEDE & ASSOCIATES

Applicant Address: 500 UTILITY COURT REEDSBURG WI

Applicant Phone and Email: 608 768 9802, SGTRUEHL@FRIEDE.COM

Property Owner Name (if different than applicant): KEVIN WHITFORD

Property Owner Phone: 608 721 6494

Subject Property Address: 540 BUSINESS PARK CIRCLE, STOUGHTON

This form is designed to be used by the Applicant as a guide to submitting a complete application for a site plan review *and* by the City to process said application. Part II is to be used by the Applicant to submit a complete application; Parts I - III are to be used by the City when processing said application.

**I. Record of Administrative Procedures for City Use**

Application form filed with Zoning Administrator

Date: 6/28/2021

**II Application Submittal Packet Requirements for Applicants Use**

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application packet for staff review followed by one revised final application packet based upon staff review and comments. The application shall include the following:

- (a) **A written description of the intended use describing in reasonable detail the following:**
  - Existing zoning district(s) (and proposed zoning district(s) if different).
  - Comprehensive Plan Future Land Use Map designation(s).
  - Current land uses present on the subject property.
  - Proposed land uses for the subject property (per Section 78-206).
  - Projected number of residents, employees, and daily customers.
  - Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio.
  - Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation.
  - Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 78-701 through 721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials.
  - If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII".
  - Exterior building and fencing materials (Sections 78-716 and 78-718).

- Possible future expansion and related implications for points above.
- Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
- (c) **A *Property Site Plan* drawing which includes the following:**
  - A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer or planner) for project.
  - The date of the original plan and the latest date of revision to the plan.
  - A north arrow and a graphic scale (not smaller than one inch equals 100 feet).
  - A reduction of the drawing provided electronically at 11" x 17".
  - A legal description of the subject property.
  - All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
  - All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
  - All required building setback lines.
  - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, utilities and walls.
  - The location and dimension (cross-section and entry throat) of all access points onto public streets.
  - The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance.
  - The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
  - The location of all outdoor storage areas and the design of all screening devices.
  - The location, type, height, size and lighting of all signage on the subject property.
  - The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property—including the clear demonstration of compliance with Section 78-707.
  - The location and type of any permanently protected green space areas.
  - The location of existing and proposed drainage facilities.
  - In the legend, data for the subject property on the following
    - a. Lot Area
    - b. Floor Area
    - c. Floor Area Ratio (b/a)
    - d. Impervious Surface Area
    - e. Impervious Surface Ratio (d/a)
    - f. Building height

- (d) **A Detailed Landscaping Plan of the subject property:**
  - Scale same as main plan (> or equal to 1" equals 100').
  - Electronic Map at 11" x 17".
  - Showing the location of all required bufferyard and landscaping areas.
  - Showing existing and proposed Landscape Points including fencing.
  - Showing berm options for meeting said requirements.
  - Demonstrating complete compliance with the requirements of Article VI.
  - Providing individual plant locations and species, fencing types and heights, and berm heights.
- (e) **A Grading and Erosion Control Plan:**
  - Scale same as main plan (> or equal to 1" equals 100').
  - Electronic map at 11" x 17"
  - Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
  - Showing finished exterior treatment.
  - With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance.
  - Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

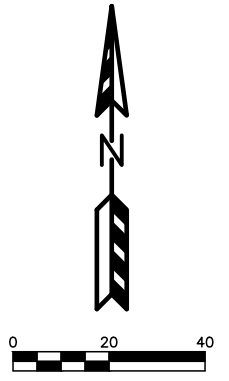
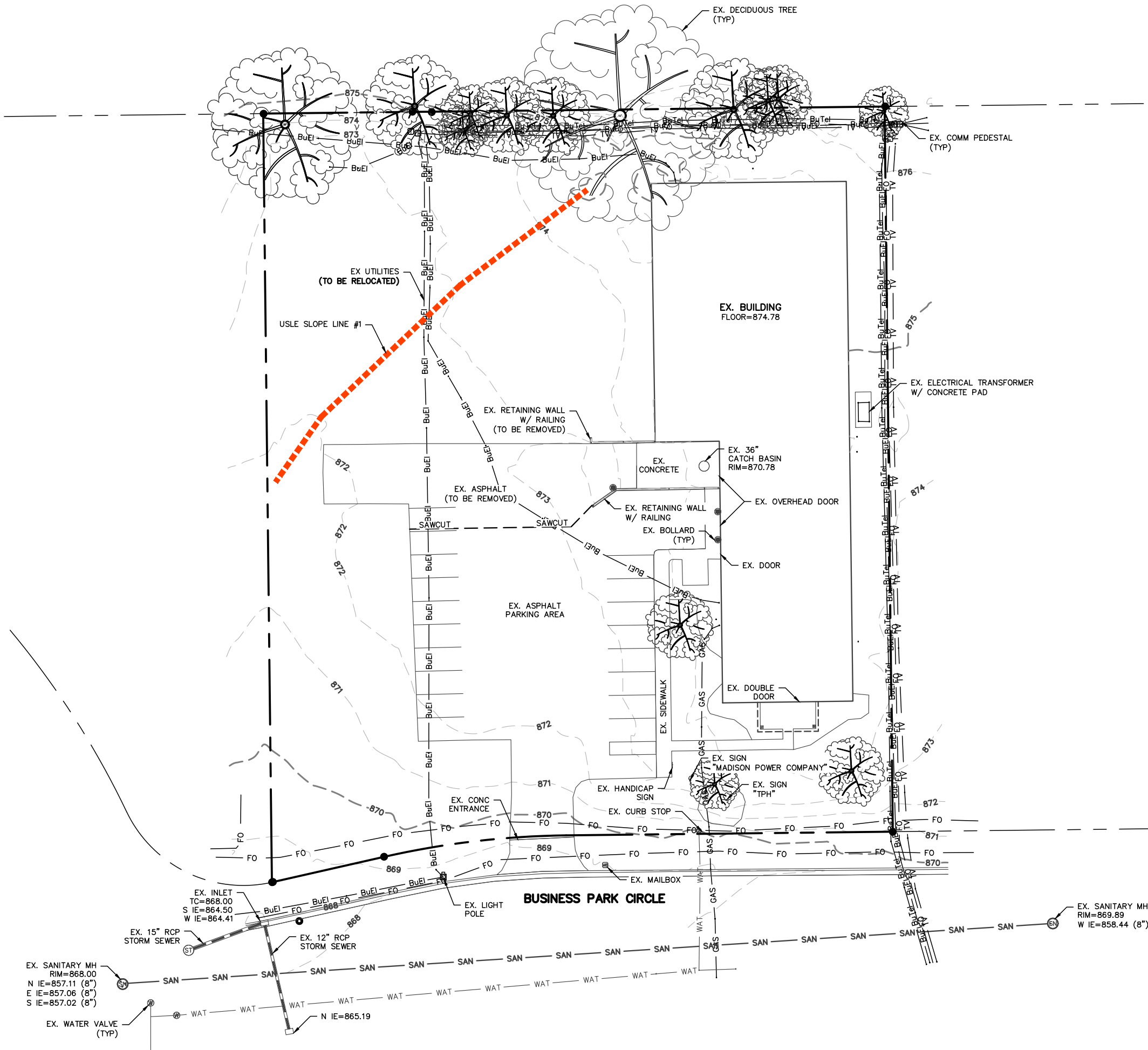
**NOTE:** Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE:** Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 78-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

### III. Final Application Packet Information for City Use

Receipt of (8.5" by 11" text and 11" by 17" graphics electronically)  
copies of complete final application packet by Zoning Administrator

Date: \_\_\_\_\_



\*NO MARKINGS WERE FOUND FOR THE WATERMAIN, SANITARY SEWER, OR STORM SEWER. THE LOCATION SHOWN IS BASED ON CITY DRAWINGS AND THE LOCATION IS APPROXIMATE. THIS INFORMATION HAS NOT BEEN FIELD VERIFIED

**540 BUSINESS PARK CIRCLE - STOUGHTON**  
 EXISTING SITE AND REMOVALS PLAN  
 SHEET: C-1  
 DATE: JUNE 3, 2021

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

EX. SANITARY MH  
 RIM=868.00  
 N IE=857.11 (8")  
 E IE=857.06 (8")  
 S IE=857.02 (8")

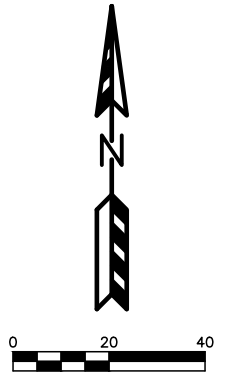
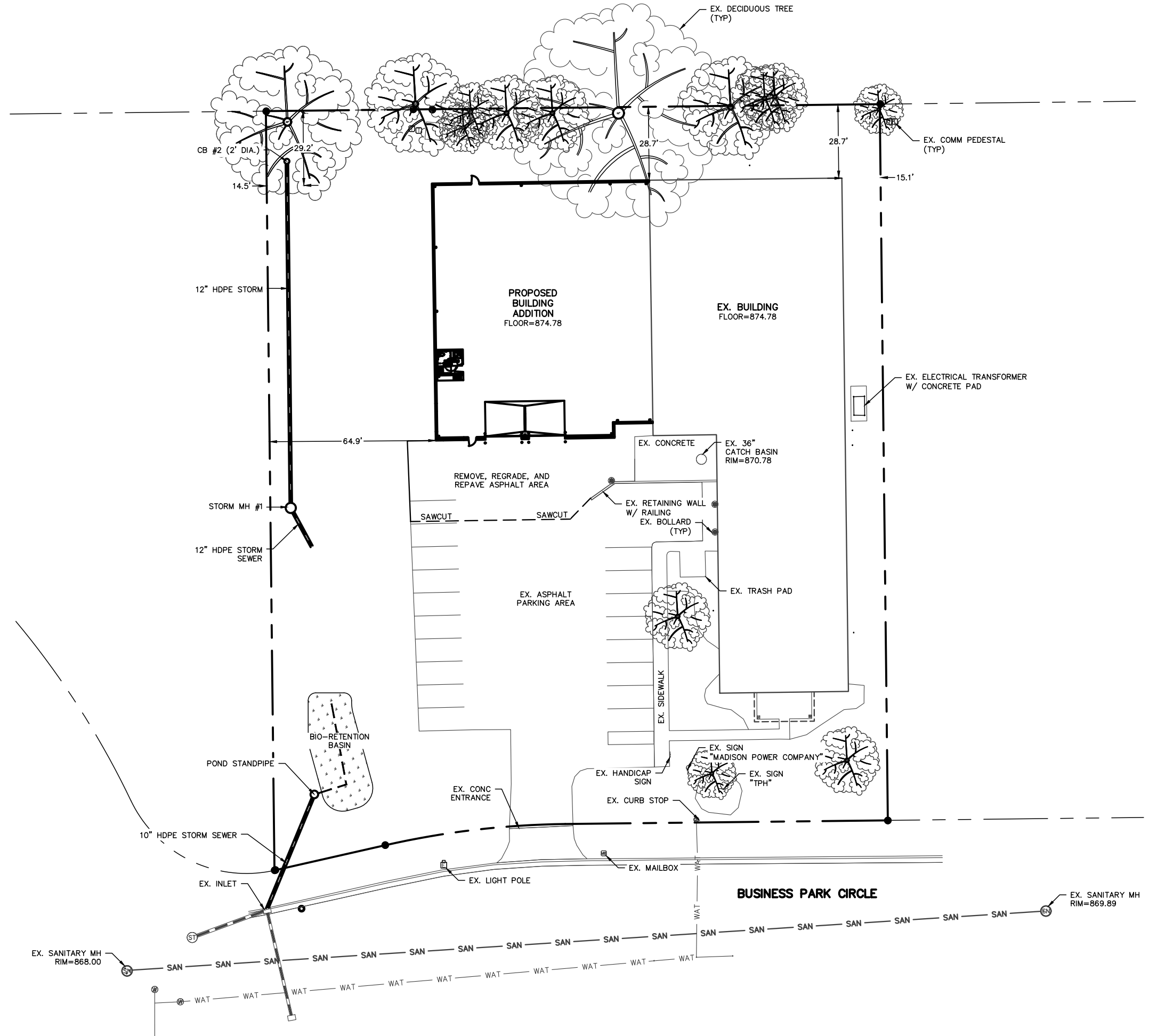
EX. 15" RCP  
 STORM SEWER

EX. INLET  
 TC=868.00  
 S IE=864.50  
 W IE=864.41

EX. 12" RCP  
 STORM SEWER

**BUSINESS PARK CIRCLE**

EX. SANITARY MH  
 RIM=869.89  
 W IE=858.44 (8")



LOT COVERAGE INFORMATION BLOCK	
Site acreage (total)	.67,901 s.f. or 1.56 Acres
Total square footage of buildings	21,031 s.f.
Proposed total impervious area on site	35,400 s.f. (52%)
Proposed green/pervious area on site	32,501 s.f.

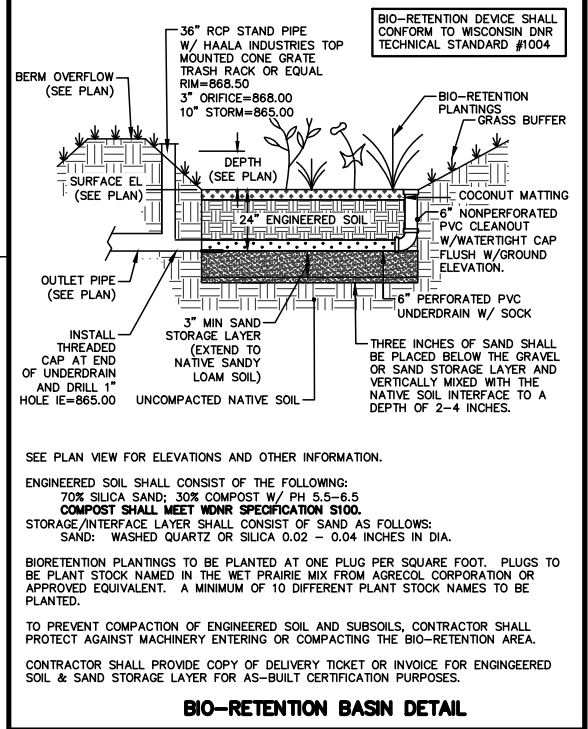
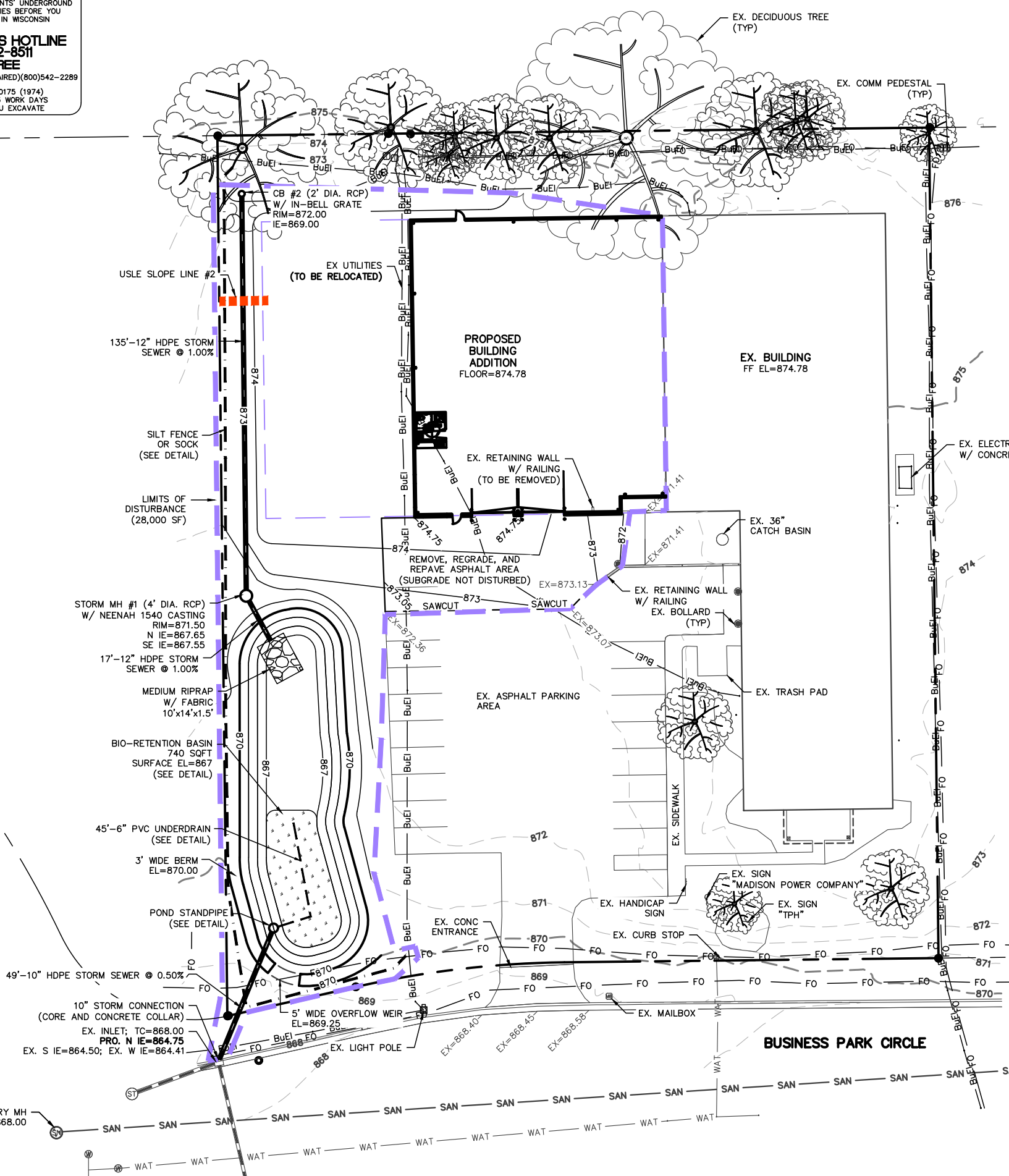
**540 BUSINESS PARK CIRCLE - STOUGHTON**  
**SITE PLAN**  
 SHEET: C-2  
 DATE: JUNE 3, 2021

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 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



**CALL DIGGERS HOTLINE**  
 1-800-242-8511  
 TOLL FREE  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS  
 NOTICE BEFORE YOU EXCAVATE



**EROSION NOTES:**  
 THE EXISTING PAVEMENT ENTRANCE SHALL BE MONITORED THROUGHOUT CONSTRUCTION FOR EXCESS SEDIMENT. THE EXISTING PARKING LOT IS TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION, WHICH WILL PREVENT THE TRACK OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS. SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.

EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED. ALL EROSION CONTROL MEASURES AND STRUCTURES SERVING THE SITE MUST BE INSPECTED AT LEAST WEEKLY OR WITHIN 24 HOURS OF A 0.5 INCH RAIN EVENT. ALL MAINTENANCE WILL FOLLOW AN INSPECTION WITHIN 24 HOURS. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST

CUT AND FILL SLOPES SHALL BE NO GREATER THAN 2:1.

EROSION CONTROL IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTANCE OF THIS PROJECT. EROSION CONTROL MEASURES AS SHOWN SHALL BE THE MINIMUM PRECAUTIONS THAT WILL BE ALLOWED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECOGNIZING AND CORRECTING ALL EROSION CONTROL PROBLEMS THAT ARE A RESULT OF CONSTRUCTION ACTIVITIES. ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED IN WRITING BY THE STATE OR LOCAL INSPECTORS, OR THE DEVELOPER'S ENGINEER, SHALL BE INSTALLED WITHIN 24 HOURS.

IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.

PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.

**TIME SCHEDULE:**

JULY 1-3, 2021	INSTALL INITIAL EROSION CONTROL DEVICES, CONSTRUCT BUILDING FOUNDATION.
JULY 3, 2021 - NOVEMBER 30, 2021	CONSTRUCT BUILDING ADDITION, PARKING, UTILITIES AND RESTORE ALL PERVIOUS DISTURBED AREAS AND COMPLETE FINAL LANDSCAPING.
SEPTEMBER 1 - 15, 2021	APPLY MULCH OR EROSION MAT TO UNRESTORED PERVIOUS DISTURBED AREAS
MAY 1 - 15, 2022	RESTORE ALL PERVIOUS DISTURBED AREAS, REMOVE ACCUMULATED SEDIMENT FROM BIO-BASINS, AND CONSTRUCTION BIO-BASINS PER DETAILS.

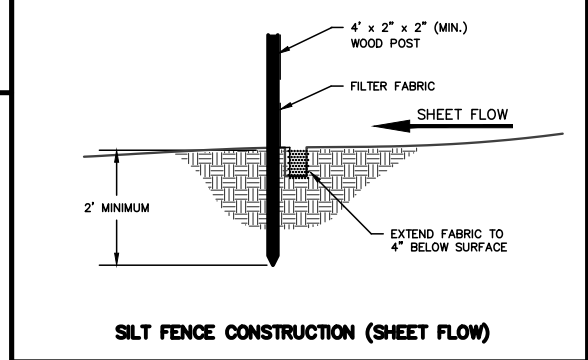
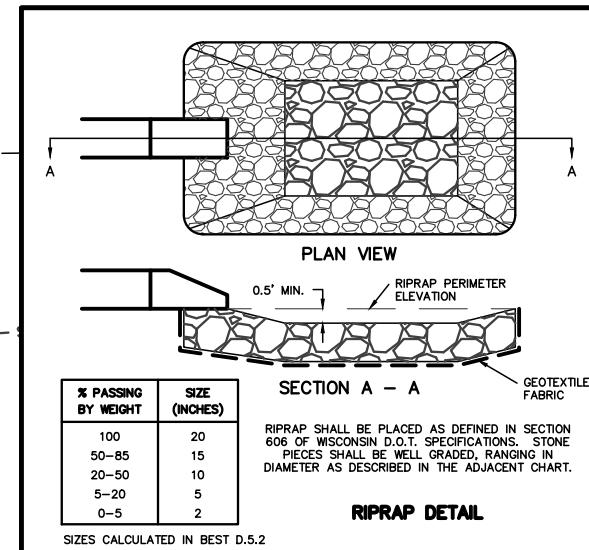
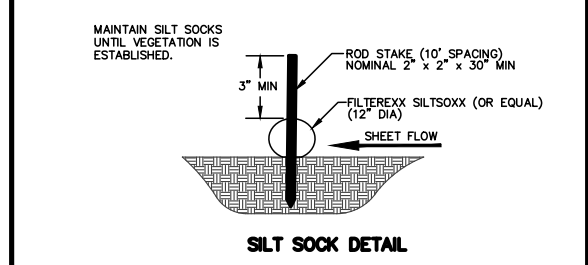
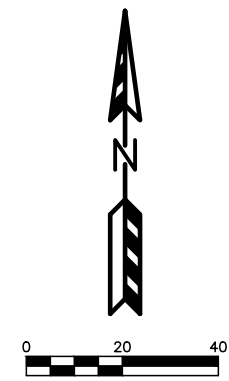
**RESTORATION NOTES:**  
 ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED AND MULCH. ALL PERVIOUS DISTURBED AREAS SHALL RECEIVE FERTILIZER EXCEPT NATIVE PLANTING AREAS. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL DISTURBED AREAS EXCEPT BIO-RETENTION BASIN. THE BIO-RETENTION BASIN SHALL BE RESTORED PER BIO-RETENTION BASIN DETAIL. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.

SEED MIXTURES SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF FOUR (4) POUNDS PER 1,000 SQUARE FEET. MULCH SHALL CONSIST OF HAY OR STRAW APPLIED AT THE RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 8%; POTASH, NOT LESS THAN 8%.

**OWNER:**  
 MADISON POWDER COATING  
 ATTN: KEVIN WHITFORD  
 540 BUSINESS PARK CIRCLE  
 STOUGHTON, WI 53589

**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558

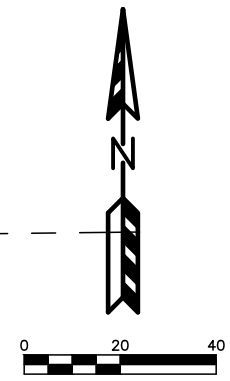
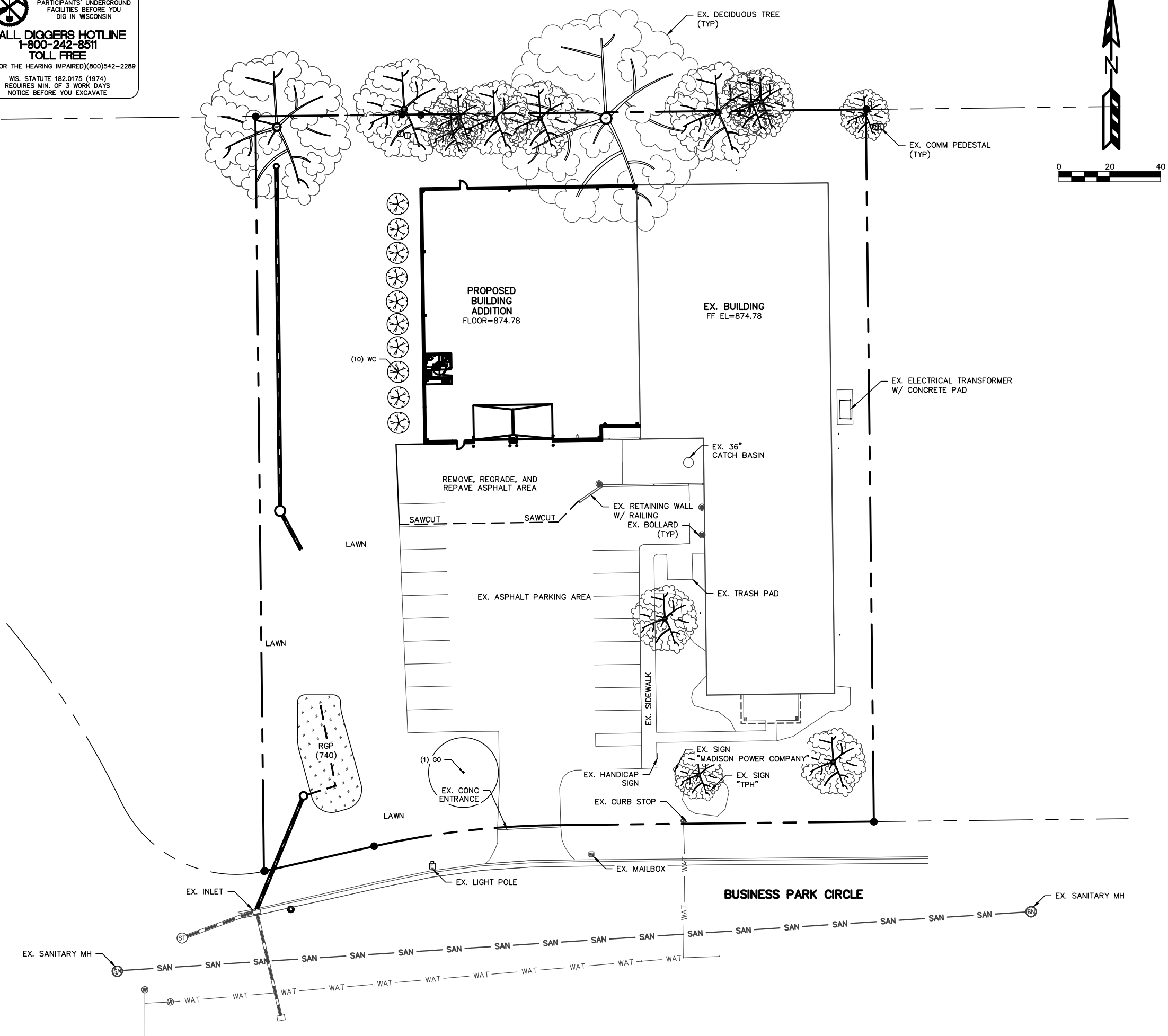


**540 BUSINESS PARK CIRCLE - STOUGHTON**  
 GRADING AND EROSION CONTROL AND UTILITY PLAN  
 SHEET: C-3  
 DATE: JUNE 3, 2021

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Sigelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752


 TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289  
WIS. STATUTE 182.0175 (1974) REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

  
**Paul Skidmore, Landscape Architect LLC**  
 Paul Skidmore, ASLA  
 Landscape Architect  
 13Red Maple Trail (608) 826-0032  
 Madison, WI 53717 (608) 335-1529 (c)  
 paulskidmore@tds.net



**PLANT LIST**


KEY	QUAN	SIZE	COMMON NAME	ROOT
GO	1	2"	<u>Climax Tree</u> Ginkgo	BB
WC	10	4'	<u>Low Evergreen Trees</u> White Cedar	BB
RGP	740	2 1/2"	<u>Bio-retention Plantings</u> (Planted 12" on center) Common Blue Star Bottle Gentine Obedient Plant Columbine Switchgrass Black Eyed Susan Wild Iris Swamp Milkweed White Turtlehead Cardinal Flower Turk's Cap Lily Little Bluestem Canada Wild Rye Nodding Onion	plug

**NOTES:**

- 1) Turf areas to receive a minimum of 4" of topsoil, no mow seed mix, starter fertilizer, and straw mat mulch.
- 2) Turf areas in drainage swales and slopes 3:1 and greater shall be mulched with straw mat fabric (installed per manufacturer's specifications).
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3"
- 4) Rain garden to receive coconut mat mulch.
- 5) Rain garden plants (RGP) to be installed 12" on center.
- 6) Rain garden to be constructed per WDNR specifications.
- 7) Owner will be responsible for landscape maintenance after completion and acceptance of the project.

**LANDSCAPE WORKSHEET**

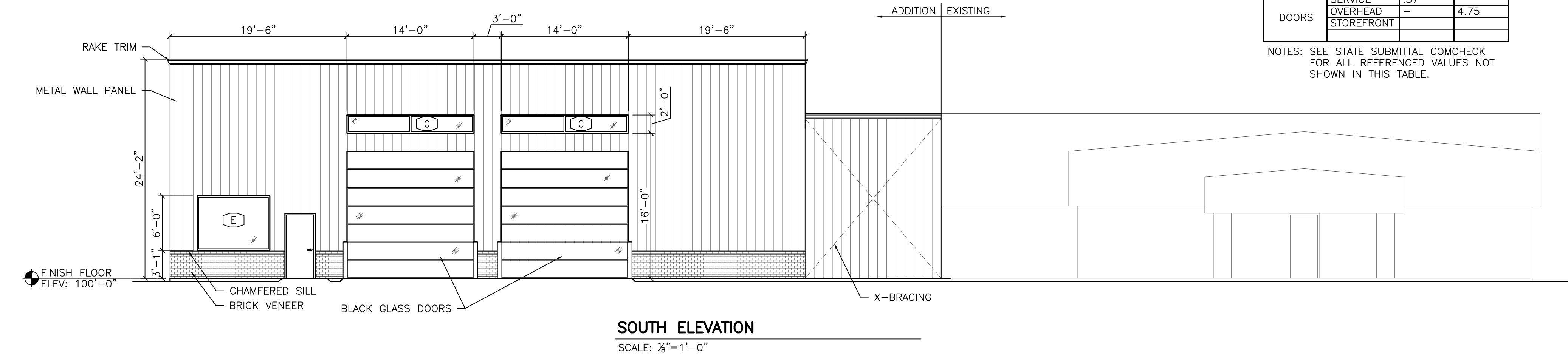
<b>Zoning Classification:</b>	Planned Industrial - PI
<b>Landscape Points Required</b>	
Building foundation Length =	470 LF
Landscape Points: 470/100 x 40 =	<b>190 points</b>
<b>Total Landscape Points Required</b>	<b>190 points</b>
<b>Landscape Points Supplied</b>	
Proposed climax tree - 1 @ 75=	75 points
Proposed low evergreen trees - 10 @ 12 =	120 points
<b>Total landscape points supplied =</b>	<b>195 points</b>

**540 BUSINESS PARK CIRCLE - STOUGHTON**  
**LANDSCAPE PLAN**  
 SHEET: C-4  
 DATE: JULY 7, 2021  
  
**QUAM ENGINEERING, LLC**  
Residential and Commercial Site Design Consultants  
 www.quamengineering.com  
 4604 Siggelkow Road, Suite A - McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752

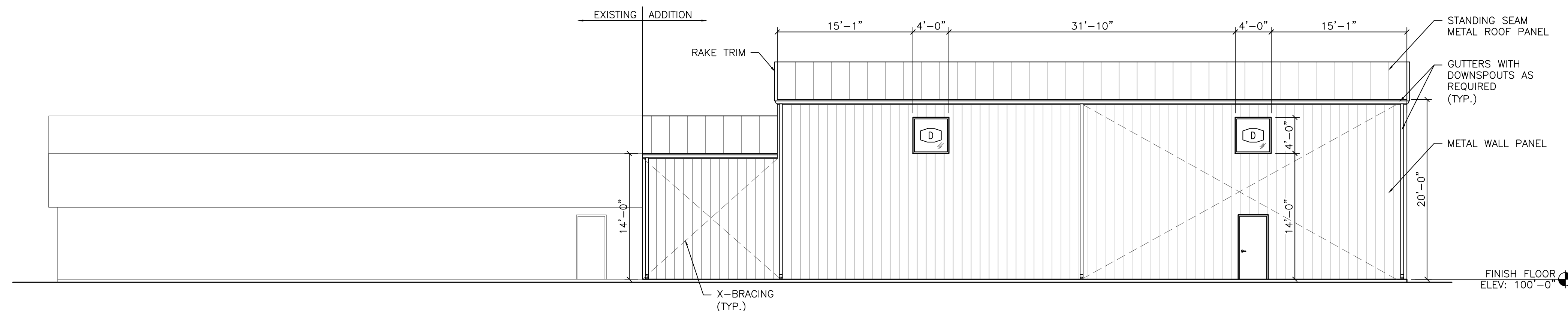
**BRICK**  
 BRICK VENEER MASONRY UNITS SHALL BE ASTM-C652 HOLLOW CLAY UNITS OF MODULAR SIZE AND Laid IN RUNNING BOND WITH 3/8" JOINTS. THE OWNER SHALL MAKE COLOR AND FINAL SELECTION OF BRICK. MORTAR SHALL BE TYPE N, 1:1:6 MIX OF REPUTABLE VENDOR WITH ASTM-C144 SAND AND POTABLE WATER. MORTAR COLOR SHALL BE ADDED ACCORDING TO THE REQUIREMENTS OF THE BRICK INSTITUTE OF AMERICA (BIA) NO AIR ENTRAINING ADMIXTURES OR ANTIFREEZE COMPOUNDS MAY BE ADDED TO THE MORTAR. BRICK TIES SHOULD BE DW 10 V-TIES AT 16" O.C. MAX. VERTICALLY AND 24" O.C. MAX. HORIZONTALLY.  
 INSTALL 40 MIL SELF ADHESIVE SHEET FLASHING AT BOTTOM COURSE OF BRICK, ABOVE LINTELS, AND ABOVE BOND BEAMS. SEAL BOTTOM OF FLASHING TO CONCRETE. INSTALL CELL VENT WEEP SYSTEM AT 32" O.C. WITH MORTAR NET 8" HIGH.  
 BRICK VENEER AND INSTALLATION SHALL MEET ALL APPLICABLE REQUIREMENTS OF IBC CHAPTER 21.

THERMAL PERFORMANCE VALUES		
COMPONENT TYPE	U-VALUE	R-VALUE
ROOF INSULATION	0.031	-
WALL INSULATION	0.052	-
WINDOWS	0.36	-
DOORS	.37	-
SERVICE OVERHEAD STOREFRONT	-	4.75

NOTES: SEE STATE SUBMITTAL COMCHECK FOR ALL REFERENCED VALUES NOT SHOWN IN THIS TABLE.



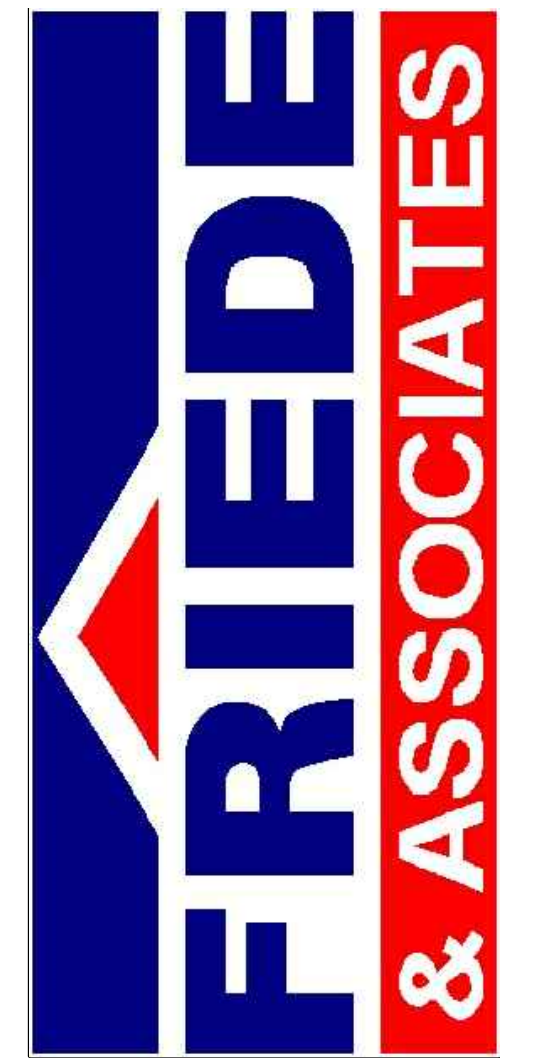
**SOUTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
 SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
 SCALE: 1/8"=1'-0"



PROPOSED ADDITION FOR:  
**MADISON POWDER COATING**  
 540 BUSINESS PARK CIRCLE  
 STOUTHTON, WI 53589

**ISSUED FOR CONSTRUCTION**

ISSUE NO	REVISIONS	ISSUE DATE
1	MISC. WINDOW UPDATES	6-30-20
2	OWNER REQUESTED CHANGES	03-16-21

JOB NUMBER  
 20058

DRAWN BY  
 A. WOLF

DATE:  
 JUNE 08, 2020

SHEET  
**A2.0**

10/16/2020 10:40AM C:\Users\awolf\OneDrive\Documents\2020\20058 - FLOOR PLAN SHEET BUILDING.dwg



CITY OF STOUGHTON  
DEPARTMENT OF PLANNING & DEVELOPMENT  
207 S. Forrest Street, Stoughton, WI. 53589  
www.cityofstoughton.com/planning

RODNEY J. SCHEEL  
DIRECTOR  
(608) 873-6619  
fax: (608) 873-5519

July 7, 2021

Friede and Associates  
Scott Truehl  
500 Utility Court  
Reedsburg, WI. 53959

Dear Mr. Truehl:

I have completed a final review of the proposed 8,500 square foot building addition for The Printing House/Madison Powder Coating at 540 Business Park Circle. As noted, additional information may be required to be provided or shown on the plans.

**Zoning Code Requirements:**

1. The property at 540 Business Park Circle is zoned PI – Planned Industrial. Light Industrial land uses are permitted outright.
2. The Comprehensive Plan, Future Land Use Map designates this property as Planned Industrial which is consistent with the zoning and existing uses.
3. Light industrial uses are described as follows:  
Light industrial land uses are industrial facilities at which all operations (with the exception of loading operations): 1) are conducted entirely within an enclosed building; 2) are not potentially associated with nuisances such as odor, noise, heat, vibration, and radiation which are detectable at the property line; 3) do not pose a significant safety hazard (such as danger of explosion); and 4) comply with all of the performance standards listed for potential nuisances in article VII. Light industrial land uses may conduct retail sales activity as an accessory use provided that the requirements of subsection (8)(h), below, are complied with.
4. Regulations applicable to light industrial land uses are as follows:
  - All activities, except loading and unloading, shall be conducted entirely within the confines of a building.
5. The parking requirement for a Light Industrial use is one space per each employee on the largest work shift. **8 parking spaces are required. There is ample existing parking stalls.**
6. The following are the minimum building setback and maximum height requirements of the Planned Industrial district: Front yard setback – 20 feet; Side yard setback – 10 feet; Rear yard setback – 20 feet; Max building height – 40 feet. **The plan meets these requirements.**
7. Accessible parking spaces shall be provided at a size, number, location and with signage as specified by state and federal regulations. **Expected.**

8. All access drives shall have a maximum width of 30 feet as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of 5 additional feet unless explicitly approved by the Plan Commission. **The existing access drive is not changing.**
9. The building shall employ only high quality, decorative construction materials on the visible exterior as required in section 78-716. Architectural and design elements shall be compatible with the surrounding area and community standards. **The addition is proposed to match the existing building.**
10. Per section 78-704 (13)(a), bicycle parking is required equal to 10% of the automobile parking space requirement. There are specific requirements related to bicycle parking in section 78-704 (13)(c). One bike stall is required and shall be delineated on the plan.
11. The maximum floor area ratio is 1. This is calculated by dividing the total floor area of all buildings by the gross site area. **The plan meets this requirement.**
12. The minimum landscape surface ratio (LSR) is 25 percent. **The plan meets this requirement.**
13. A landscaping plan for the building addition is required as follows:
  - Building foundations: 40 points of landscaping are required per 100 feet of foundation perimeter. 270 feet of foundation requires 108 points of landscaping which is required to be planted within 10 feet of the building foundations. Climax and tall trees cannot be used to meet this requirement. The plan appears to meet these requirements.
14. There are no bufferyard requirements since the adjacent properties are zoned planned industrial.
15. Article VII of the city zoning code provides the following requirements related to lighting: “Parking and traffic circulation areas serving 6 or more vehicles shall be lit so as to ensure the safe and efficient use of said areas during the hours of use. The lighting element cannot be seen from any residentially zoned property. **We’ll need details of any proposed exterior lighting.**”
16. A trash enclosure for the handling of waste is required to be screened and gated with 6-foot fencing. **We have been informed, trash is kept inside the building. We’ll need details if plans change.**
17. Outdoor storage is only allowed as an accessory conditional use. This would also trigger other requirements including screening of storage and separation from required parking and circulation areas. **We have been previously informed there will be no outdoor storage.**
18. A stormwater management and erosion control plans, application and fees are required for this project. Dane County Land & Water Resources, the City’s consultant, will review the plan and perform inspections. **Updates will be necessary for the previously approved plans.**
19. Contact Jill Weiss, Stoughton Utilities Director at 608-873-3379 for all electric, wastewater and water service questions. A street opening permit will be necessary from the Public Works Department for any work in the street right-of-way.

20. State of Wisconsin approved building plans may be necessary prior to issuance of a building permit but is not necessary to begin the City review process. **A post construction survey will need to be provided for our records and to verify setbacks.**

**Business Park Covenants:**

The following items are contained in the Business Park Covenants and will need to be addressed as noted:

1. Plan Submittal
  - a. Name and mailing address of developer/owner. **Provided.**
  - b. Utilities and utility right of way easements. **Easements need to be shown on all plans. Elevation alterations of 6-inches or more within any easement need to be approved by Stoughton Utilities.**
  - c. Exterior signs. **If applicable**
  - d. Exterior Lighting. **If applicable.**
  - e. Clearing, grading, and drainage plan showing proposed clearing limits, existing and proposed contours at two foot intervals. **A grading plan is provided.**
  - f. Site statistics, including site square footage, percent of site coverage's and percent of park or open space. **Provided.**
  - g. All exterior materials and colors, including manufacturer's name and catalogue numbers or samples of the same. **Addition is proposed to match the existing building.**
  - h. Location and dimensions of all proposed outdoor storage areas, and the location and dimensions of all fencing and screening. **Outdoor Storage is not allowed unless by accessory conditional use permit.**
2. Development Standards
  - a. "All electrical and air conditioning structures, including towers and air handling units, regardless of location and whether on the roof or otherwise, shall be concealed by landscaping or by decorative screening materials which form an integral part of the design." **The AC unit will be behind the building.**
  - b. All areas intended to be utilized for parking space and driveways shall be surfaced with bituminous asphalt or concrete." **Existing.**
  - c. "All parking stalls shall be marked with painted lines not less than 4" wide." **Expected.**
  - d. "No parking areas will be permitted within the building set back lines with the following two exceptions:
    1. Office employee and visitor parking may be permitted within the front yard setback lines subject to approval of the Committee. **Parking is existing.**
    2. Lots bounded by more than one road may have parking areas within the building set back lines along roads other than the one on which the building fronts subject to approval by the Committee." **N/A**

- e. “A scale drawing of any sign, trademark or advertising device to be used on any lot or the exterior of any building or structure will be submitted to the Committee in triplicate or the written approval by the Committee.” **None proposed.**
  - f. “The front yard setback area shall be landscaped with an effective combination of trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner. The entire area between the curb and a point 10 feet in back of the front property line shall be landscaped, except for any access driveway in said area. Notwithstanding the above, the entire area between the right-of-way and the building setback line shall be densely landscaped with a combination of effective visual screening on all use areas.” **Meeting the zoning code requirements will sufficiently meet this requirement which is consistent with previous approvals.**
  - g. “Areas used for parking shall be landscaped and/or fenced in such a manner as to interrupt or screen said areas from view of access streets, freeways, and adjacent properties. Plant materials used for this purpose shall consist of lineal or grouped masses of shrubs and/or trees.” **Meeting the zoning code requirements will sufficiently meet this requirement which is consistent with previous approvals.**
  - h. “All outdoor storage shall be visually screened from access streets and adjacent property.” **Outdoor storage is only allowed as a conditional use and is not part of this approval process.**
  - i. “Outdoor storage shall be meant to include parking of all company owned and operated vehicles, with the exception of passenger vehicles.” **N/A.**
  - j. “All outdoor refuse collection areas shall be visually screened from access streets and adjacent property by a complete opaque screen.” **Will be stored inside.**
  - k. “Architectural Review. **The Business Park North Committee will take into account the appearance of all buildings, parking areas and storage areas.**”
2. Any other information considered pertinent by the Committee.

If you have any questions, please contact me at 608-646-0421

Sincerely,  
City of Stoughton

*Michael P. Stacey*

Michael P. Stacey  
Zoning Administrator/Assistant Planner