

**City of Stoughton Application for Conditional Use Review and Approval  
(Requirements per Section 78-905)**

Applicant Name: Luke Campion  
Applicant Address: 208 N. Forrest St Stoughton, WI 53589  
Applicant Phone and Email: (608) 205 7518  
Property Owner Name (if different than applicant): JPS Holdings  
Property Owner Phone: (608) 206 7270 Bryan Earleywine  
Subject Property Address: 177 W MAIN ST

This form is designed to be used by the Applicant as a guide to submitting a complete application for a conditional use review *and* by the City to process said application. Parts II and III are to be used by the Applicant to submit a complete application. (See conditional use review and approval procedures attached)

**I. Record of Administrative Procedures for City Use**

Application form filed with Zoning Administrator Date: 10/4/21  
Application fee of \$ 455 received by Zoning Administrator Date: 10/4/21

**II Application Submittal Packet Requirements**

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application for staff review at least 30 days prior to a Planning Commission meeting, followed by one revised draft final application packet based upon staff review and comments. The final application materials are required to be submitted at least 2 weeks prior to the Planning Commission meeting.

**Initial Packet**

(1 electronic 11 x 17 copy of plans to Zoning Administrator) Date: \_\_\_\_\_

**Final Packet**

(1 electronic 11 x 17 copy of plans  
and if necessary one large scalable copy of plans to Zoning Administrator) Date: 10/4/21

**(a) A map of the proposed conditional use:**

- Showing all lands under conditional use consideration.
- All lot dimensions of the subject property provided.
- Graphic scale and north arrow provided.

- (b) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations.**
- (c) A site plan (conforming to the requirements of Section 78-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a large development (per Sections 78-205(11)). A proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 78-908.**
- (d) Written justification for the proposed conditional use indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Stoughton Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 78-905(5)(c)1.-6, as follows.**

**III Justification of the Proposed Conditional Use Request.**

1. How is the proposed conditional use and location in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted?

The proposed Luca's Pizza/Italian Kitchen significantly fulfills the vision of the community. After reading the document, I realized this opportunity checks an abundance of the purposes, goals, objectives, policies and standards outlined in the City of Stoughton Comprehensive Plan. A redevelopment and enhancement plan for a vacant distressed downtown property to promote private business and investment into downtown. All the while, providing restaurant services and hospitality to the community and contributing to the arts and entertainment industry in historic Stoughton.

2. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 78-905(4)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map or ordinance adopted?

No

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3. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the surroundings of the subject property?

Luca's Pizza will enhance and improve the property. Most recently used as a food/beverage space, Luca's will upgrade into a commercial kitchen. The downtown district has many restaurants, eateries and community activities. We will compliment and contribute to the arts and entertainment district.

4. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Yes

5. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 78-905(5)(c)1-5.), after taking into consideration any proposed options to minimize such impacts?

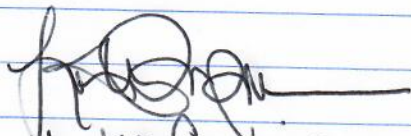
Yes

# Luca's Pizza

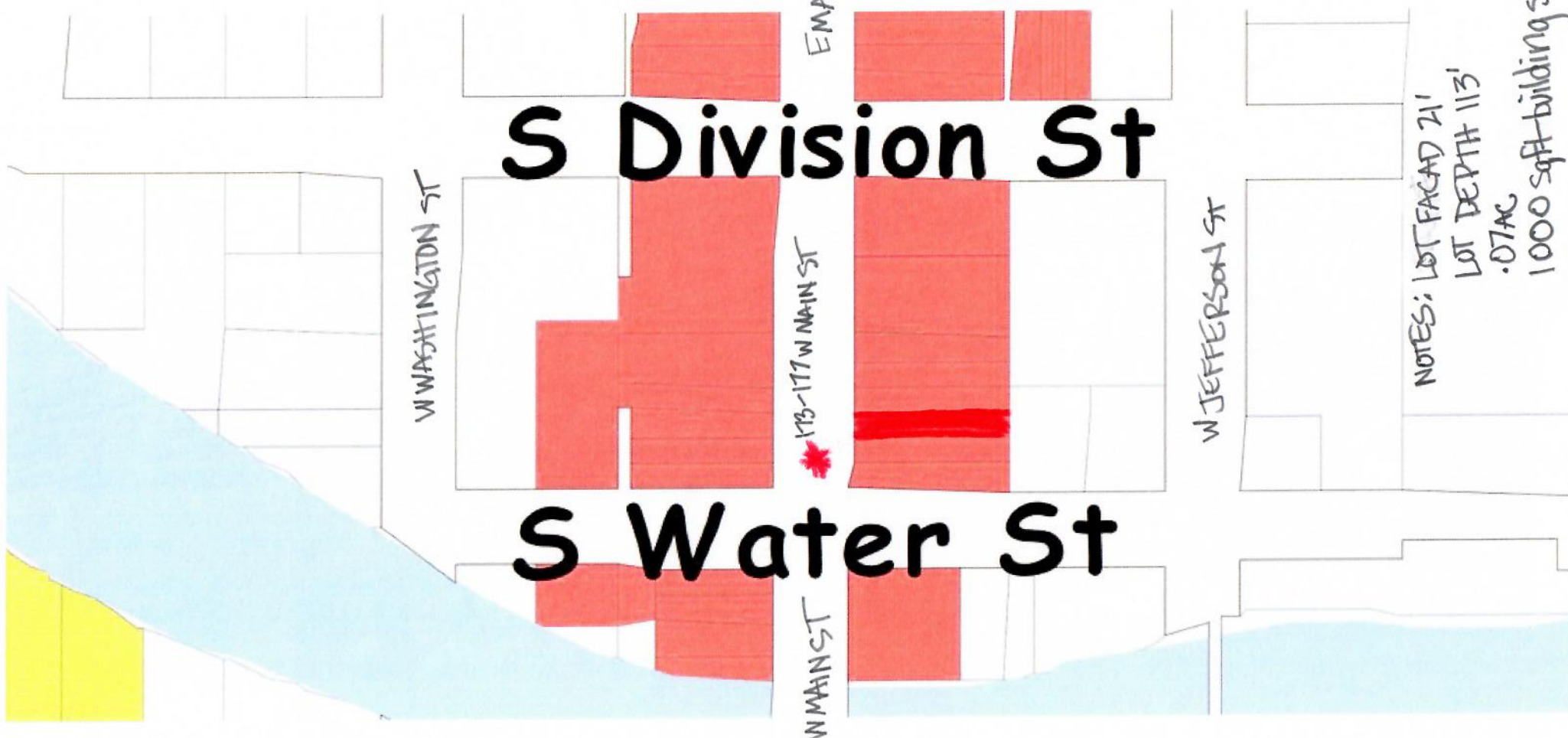
## - Description and Justification

The proposed Luca's Pizza is a family owned and operated take out/delivery Pizzeria and Italian kitchen. Located at 177 W. Main St. Stoughton WI, Luca's Pizza vision is to renovate and upgrade a downtown district property that has been neglected for years. Transforming this former food and beverage establishment into a fully functioning and approved commercial kitchen. This undertaking is fully funded by applicant who also has negotiated an option to buy in hopes of owning said property and upgrades in the future. (Luke Campion) I have 25 years experience in the restaurant/hospitality industry, many of those in pizzerias. After years of growth, planning and perseverance the opportunity to pursue my dreams and goals can be reached and obstacles overcome.

Luca's Pizza mission is to provide pizza and Italian kitchen services. Stoughton, at this time does not have an Italian restaurant or a pizzeria that creates a 'Chicago Style' pizza. Luca's will also prepare pasta, sandwiches and salads. We are pursuing this opportunity as a long term project and will take pride in becoming a Stoughton favorite for many years to come.

  
Luke Campion

9.26.2021



**S Division St**

**S Water St**

W WASHINGTON ST

W MAIN ST

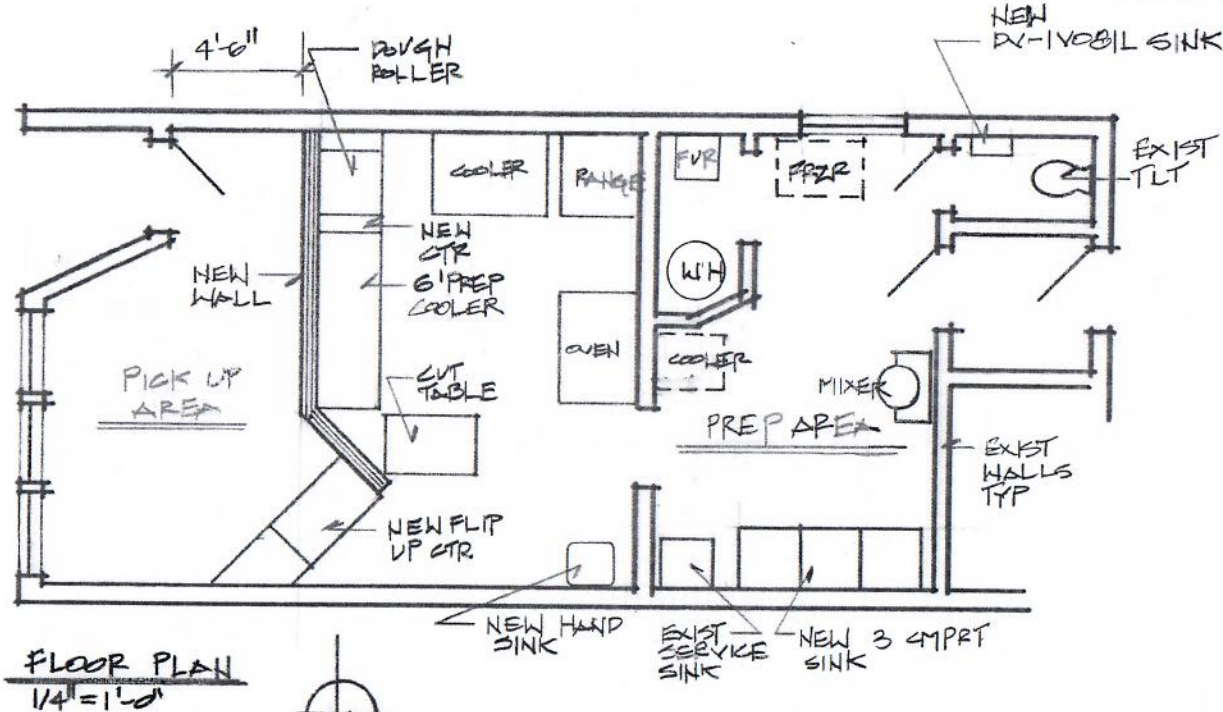
W JEFFERSON ST

113-117 W MAIN ST

NOTES: LOT FACAD 21'  
LOT DEPTH 113'  
.07AC  
1000 sqft building split 50ea level.

**Notes:**

Business Occupancy  
 Square Footage – 500 SF  
 Per 2015 IBC – 500/100 = 5 Occupants  
 Per 2015 IBC - (P) 2902.2 Exception 2 – 1 toilet required  
 Per 2015 IBC – (P) 2902.3 Exception 3 – No public toilet required



**FLOOR PLAN**  
 1/4" = 1'-0"



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LUCAS PIZZA LLC 177N MAIN STREET STAUGHTON, WI. 53589		
SCALE: AS NOTED	APPROVED BY:	DRAWN BY NES
DATE: 9.28.21		REVISED
JSS CONSULTING LLC 9814 HAWKS NEST DR VERONA, WI. 53593		
		DRAWING NUMBER 1 OF 1

5:26



68%




# Parcel Number - 281/0511-082-1651-0

Current

[← Parcel Parents](#)

[Summary Report](#)

Parcel Detail		Less —
Municipality Name	CITY OF STOUGHTON	
State Municipality Code	281	
<b>Township &amp; Range</b>	<b>Section</b>	<b>Quarter/Quarter &amp; Quarter</b>
T05NR11E	08	NE of the NW
Plat Name	STOUGHTON	
Block/Building	22	
Lot/Unit	4	
Plat Name	STOUGHTON (Click link above to access images for Plat)	
Restrictive Covenants	Show Restrictions for this Plat, CSM, or Quarter	
Parcel Description	ORIGINAL PLAT E 22 FT LOT 4 BLOCK 22 <b>This property description is for tax purposes. It may be abbreviated. For the complete legal description please refer to the deed.</b>	
Current Owner	BEJS INVESTMENTS LLC 	
Primary Address	173 W MAIN ST <a href="#">Edit</a> <a href="#">Delete</a>	
Additional Address	<a href="#">Add Additional</a>	
Billing Address	4211 W BELTLINE HWY <a href="#">Edit</a> MADISON WI 53711	

Assessment Summary	More +
<b>Assessment Year</b>	<b>2021</b>
Valuation Classification	G2
Assessment Acres	0.067
Land Value	\$19,500.00
Improved Value	\$44,800.00
Total Value	\$64,300.00