

# **OFFICIAL MEETING NOTICE AND AGENDA**

The **City of Stoughton** will hold a **Joint** meeting of the **Planning Commission and Business Park North Committee** on **Monday, December 15, 2014 at 6:00 pm**, in the **Council Chambers**, Second Floor, **Public Safety Building**, 321 S. Fourth Street, Stoughton WI.

## **AGENDA:**

1. Call to Order.
2. Jim Anderson, Exclusively Roses, requests approval to construct an addition to the building at 221 Business Park Circle.
3. Future agenda items.
4. Adjournment.

Donna Olson, Mayor – Chair, Planning Commission  
Laurie Furseth – Chair, Business Park North Committee  
12/12/14mps

Packets sent to:

### **Planning Commission**

Mayor Donna Olson, Chair  
Ron Christianson, Council member, Vice-Chair  
Eric Hohol, Council member  
Greg Jenson, Council member  
Scott Truehl, Citizen Member  
Todd Krcma, Citizen Member  
Matt Hanna, Citizen Member

### **Business Park North Committee**

Laurie Furseth, Chamber President, Chair  
David Wendt, Business Park North Rep.  
Erica Dial, Chamber Exec. Director  
Paul Lawrence, Council member  
Greg Jenson, Council member  
Laurie Sullivan, Finance Director  
Rodney Scheel, Planning Director

**cc:** Zoning Administrator Michael Stacey (2 Packets)  
Utilities Director Bob Kardasz (Packet)  
Stoughton Newspapers (fax)  
City Attorney Matt Dregne (email)  
Department Heads & Council Members (email)  
Debbie Blaney (email)  
Area Towns (email)  
Derek Westby (email)  
Bart O'Brien (email)  
Mandy Stark (email)  
Jim Anderson (email)  
Tim Miller  
Peter Sveum  
DErickson@madison.com  
Bill Livick

“IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE, PLEASE CALL 608-873-6677 PRIOR TO THIS MEETING.”

**AN EXPANDED MEETING MAY CONSTITUTE A QUORUM OF THE COUNCIL.**



December 12, 2014

City of Stoughton  
Business Park North Committee  
381 E. Main Street  
Stoughton, WI 535889

**RE: Exclusively Roses Inc., 221 Business Park Circle – Building Addition**

To whom it may concern:

Exclusively Roses currently resides at 221 Business Park Circle. Part of the Planned Industrial District zoned for light industrial use. We are seeking approval for a 5625 square foot addition to our existing business with no other plans for future development.

Exclusively Roses is a wholesale flower company, currently supplying flowers to Walgreens and other retailers in the Chicago and Milwaukee area. The new addition will accommodate our need for more flower storage and help aid overall work flow within the space. Along with the building addition there will be some site improvements; additional landscaping, site lighting, new storm water management and additional parking.

Exclusively Roses will not be increasing their staff.

Exclusively Roses will not be installing a fence, any screening devices or a garbage enclosure. The new addition will not have any structures on the roof or surrounding area that would otherwise require screening. Currently, garbage containers are stored within the building and this will be the continued practice.

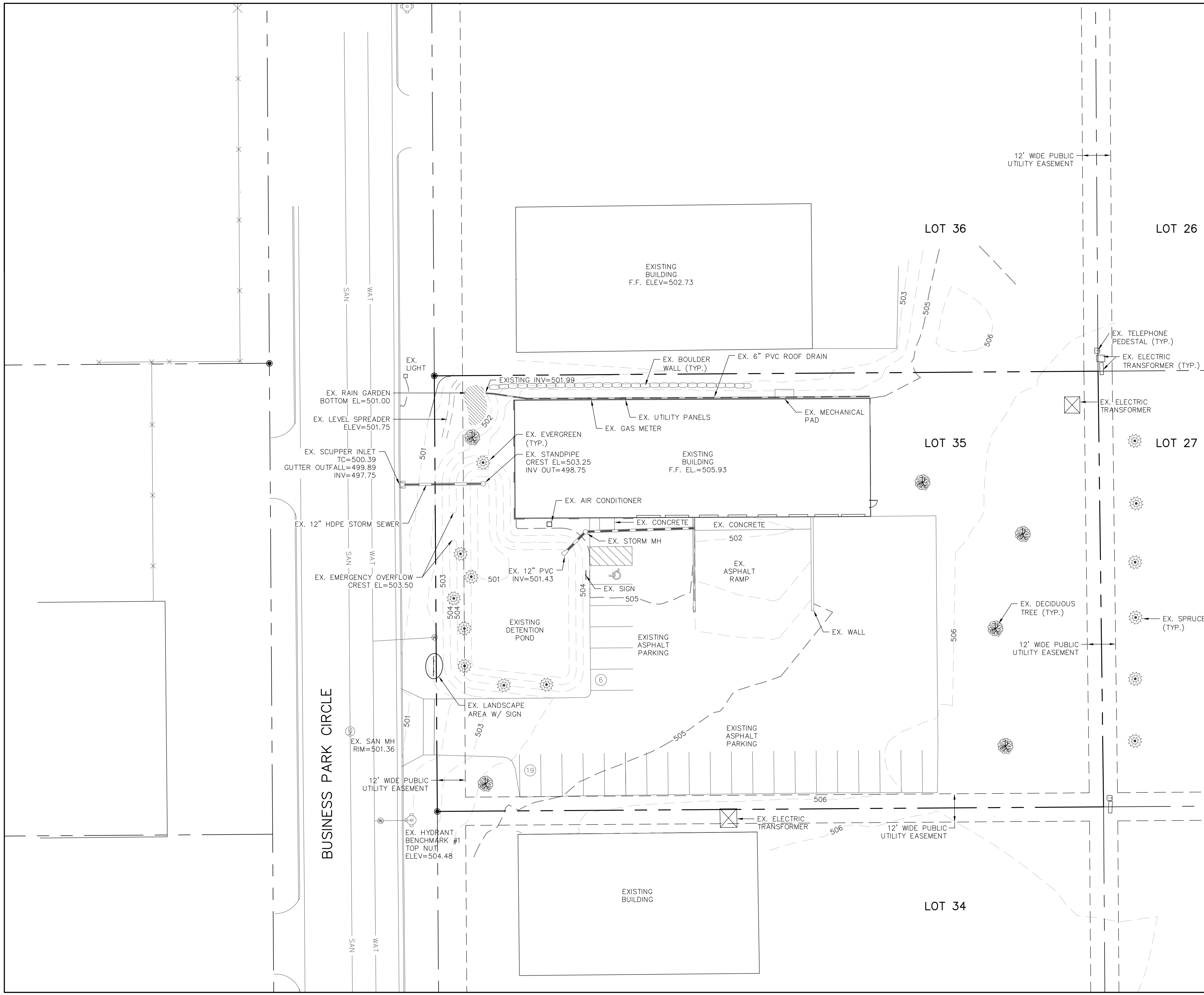
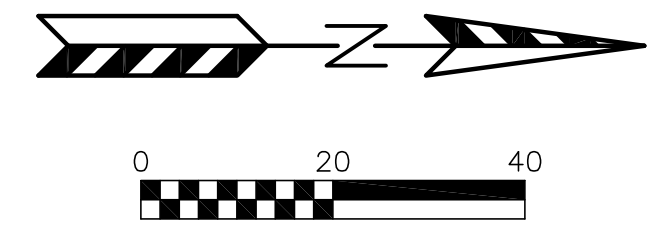
Exclusively Roses understands employee parking has been an issue in the past and wants to use this project as an opportunity to increase the onsite parking. Currently, there are 25 parking stalls and we will be increasing this number to 35. Exclusively Roses has a nontraditional work schedule. We typically have 20 employees or less, with Mondays and Tuesdays being the peak days. Due to the nature of our business Valentines and Mother's Day require additional seasonal employees. During this time we employ a total of 50 employees for 7-10 days. Exclusively Roses proposes to accommodate the additional employees by utilizing the space in front of the overhead doors on the building. Deliveries during this time are minimal, most deliveries arrive prior to seasonal employees. By utilizing this space we can accommodate an additional 15 parking stalls, for a total of 50 spaces onsite.



Exclusively Roses would like to thank you for your time and consideration on this project. We look forward to meeting with you to discuss the project further and answer any questions you may have.

Sincerely,  
**Exclusively Roses, Inc.**

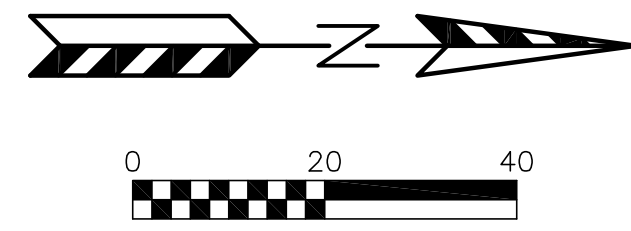
Jim Anderson  
Owner



**EXCLUSIVELY ROSES - BUILDING ADDITION**  
 EXISTING SITE PLAN  
 PAGE: 1 OF 4  
 DATED: DECEMBER 11, 2014

**QUAM ENGINEERING, LLC**  
 Residential and Commercial Site Design Consultants

[www.quamengineering.com](http://www.quamengineering.com)  
 4604 Siggelkow Road, Suite A; McFarland, Wisconsin 53558  
 Phone (608) 838-7750; Fax (608) 838-7752



**LEGEND:**

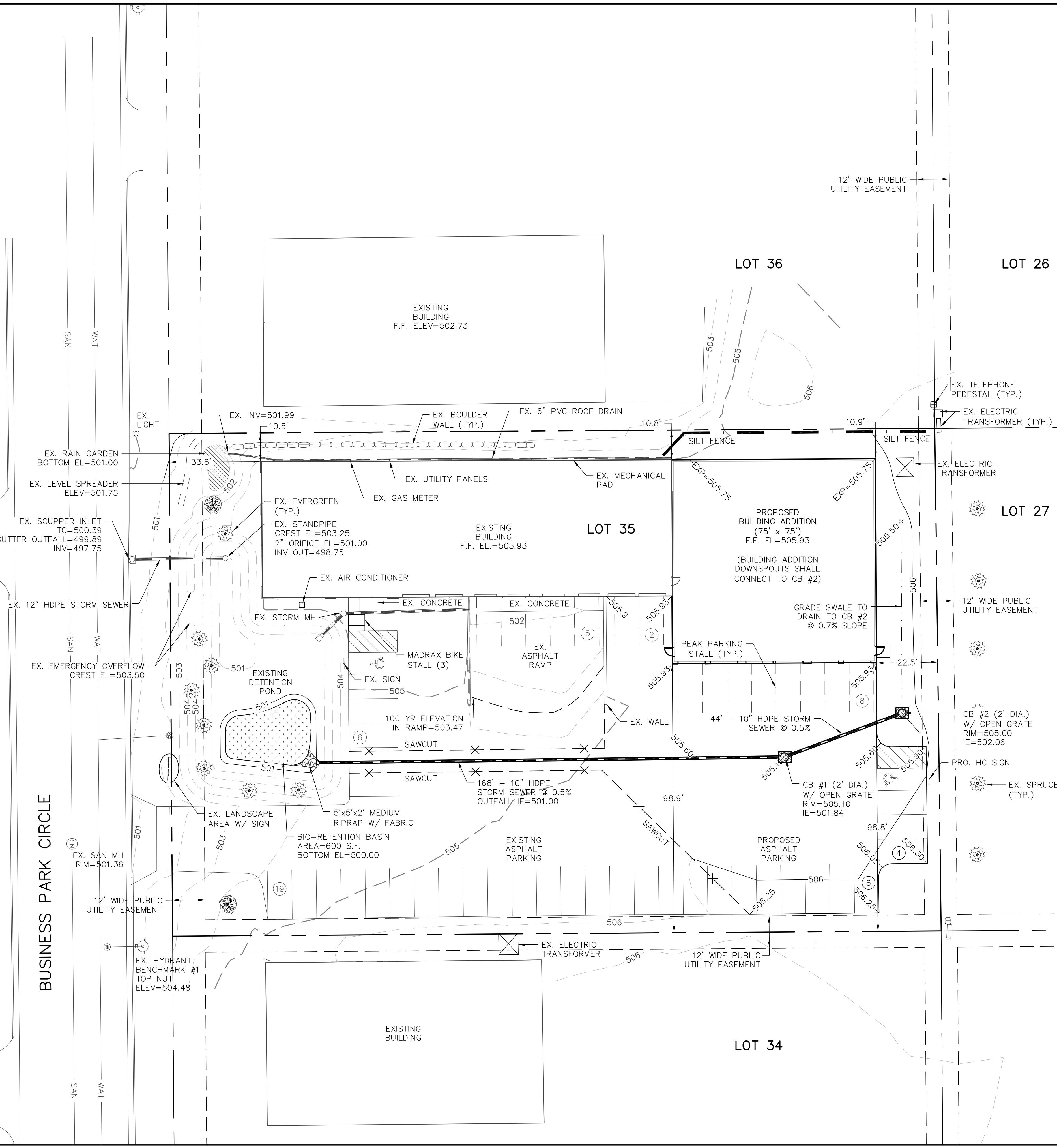
- 502 - - EXISTING MINOR CONTOUR.
- 500 - - EXISTING MAJOR CONTOUR.
- 506 - - PROPOSED MINOR CONTOUR.
- 505 - - PROPOSED MAJOR CONTOUR.
- ▣ - INSTALL WDOT TYPE D INLET PROTECTION.

**SITE INFORMATION:**

LOT AREA=52,250 SQ.FT.  
 IMPERVIOUS AREA=37,161 SQ.FT. (71%)  
 GREENSPACE AREA=15,089 SQ.FT. (29%)

**PARKING INFORMATION:**

25 EXISTING PARKING STALLS  
 10 PROPOSED PARKING STALLS  
 15 PEAK PARKING STALLS  
 50 TOTAL PARKING STALLS



**EROSION NOTES:**  
 SEDIMENT REACHING THE PUBLIC ROAD SHALL BE REMOVED BY STREET CLEANING (NOT HYDRAULIC FLUSHING) BEFORE THE END OF EACH WORKDAY.  
 EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO GRADING OPERATIONS AND SHALL BE PROPERLY MAINTAINED FOR MAXIMUM EFFECTIVENESS UNTIL VEGETATION IS ESTABLISHED.  
 SILT FENCE AND STOCKPILES SHALL BE FIELD LOCATED BY THE ENGINEER.  
 CUT AND FILL SLOPES SHALL BE NO GREATER THAN 4:1.  
 ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED AS NEEDED.

**TIME SCHEDULE:**  
 DECEMBER 1, 2014 INSTALL INITIAL EROSION CONTROL DEVICES.  
 DEC. 1, 2014 - MAY 31, 2015 CONSTRUCT BUILDING AND PARKING LOT ADDITIONS AND RESTORE DISTURBED AREAS.  
 JUNE 1 - 15, 2015 CONSTRUCT BIO-RETENTION BASIN.

**RESTORATION NOTES:**  
 ALL DISTURBED AREAS, EXCEPT STREET PAVEMENT AND SIDEWALK AREAS, SHALL RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, FERTILIZER, SEED AND MULCH. RESTORATION WILL OCCUR AS SOON AFTER THE DISTURBANCE AS PRACTICAL. SEED MIXTURE 40 SHALL BE USED ON ALL AREAS. MIXTURES SHALL BE IN ACCORDANCE WITH SECTION 630 OF D.O.T. SPECIFICATIONS. AN EQUAL AMOUNT OF ANNUAL RYEGRASS SHALL BE ADDED TO THE MIX.  
 SEED MIXTURES SHALL BE APPLIED AT THE RATE OF SEVEN (7) POUNDS PER 1,000 SQUARE FEET. FERTILIZER SHALL BE APPLIED AT THE RATE OF TEN (10) POUNDS PER 1,000 SQUARE FEET.  
 FERTILIZER SHALL MEET THE MINIMUM REQUIREMENTS THAT FOLLOW: NITROGEN, NOT LESS THAN 16%; PHOSPHORIC ACID, NOT LESS THAN 6%; POTASH, NOT LESS THAN 6%.

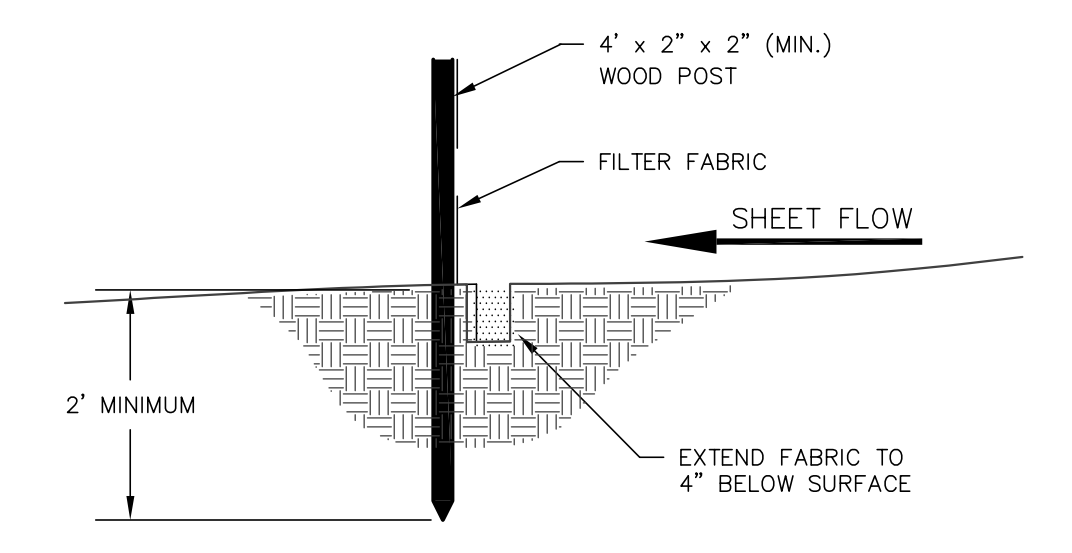
**OWNER:**  
 EXCLUSIVELY ROSES, INC  
 ATTN: JIM ANDERSON  
 221 BUSINESS PARK CIRCLE  
 STOUTHTON, WI 53589

**ENGINEER:**  
 QUAM ENGINEERING, LLC  
 ATTN: RYAN QUAM  
 4604 SIGGELKOW ROAD, SUITE A  
 MCFARLAND, WI 53558

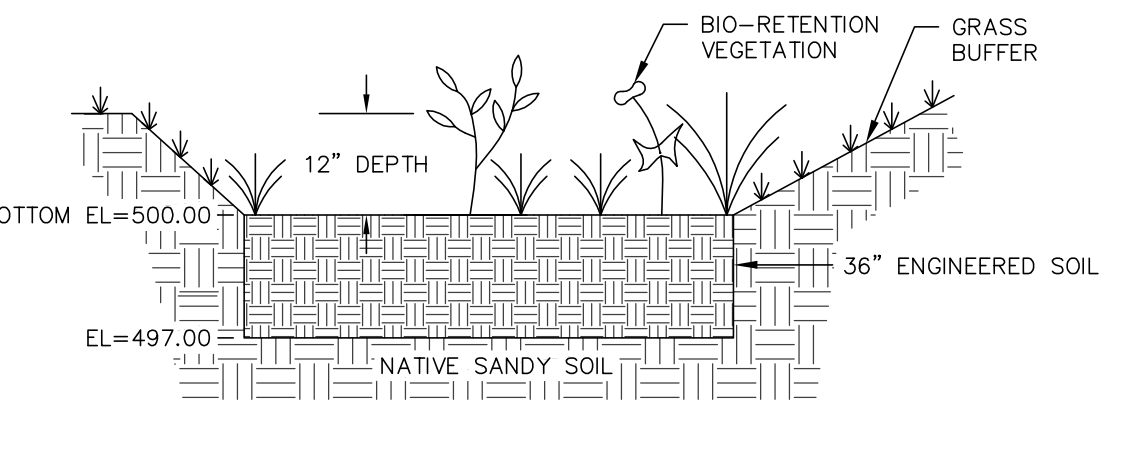
TO OBTAIN LOCATION OF PARTICIPANTS' UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN

**CALL DIGGERS HOTLINE**  
**1-800-242-8511**  
**TOLL FREE**  
 TDD(FOR THE HEARING IMPAIRED)(800)542-2289

WIS. STATUTE 182.0175 (1974)  
 REQUIRES MIN. OF 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE



**SILT FENCE CONSTRUCTION (SHEET FLOW)**



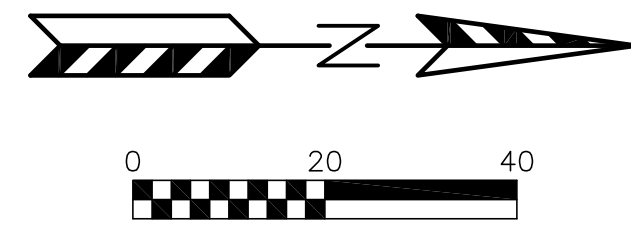
ENGINEERED SOIL SHALL CONSIST OF THE FOLLOWING:  
 70% SILICA SAND; 30% COMPOST W/ PH 5.5-6.5  
 COMPOST SHALL MEET WDNR SPECIFICATION S100.  
 STORAGE/INTERFACE LAYER SHALL CONSIST OF SAND AS FOLLOWS:  
 SAND: WASHED QUARTZ OR SILICA 0.02 - 0.04 INCHES IN DIA.  
 THE SEED MIXTURE FOR THE BIO-RETENTION BASIN BOTTOM SHALL BE "WET MEADOW" AS SUPPLIED BY PRAIRIE NURSERY OR EQUIVALENT. SEE THE GRADING AND EROSION CONTROL PLAN FOR APPLICATION DETAILS.  
 TO PREVENT COMPACTION OF ENGINEERED SOIL AND SUBSOILS, CONTRACTOR SHALL PROTECT AGAINST MACHINERY ENTERING OR COMPACTING THE BIO-RETENTION BASIN AREA.

**BIO-RETENTION BASIN DETAIL**

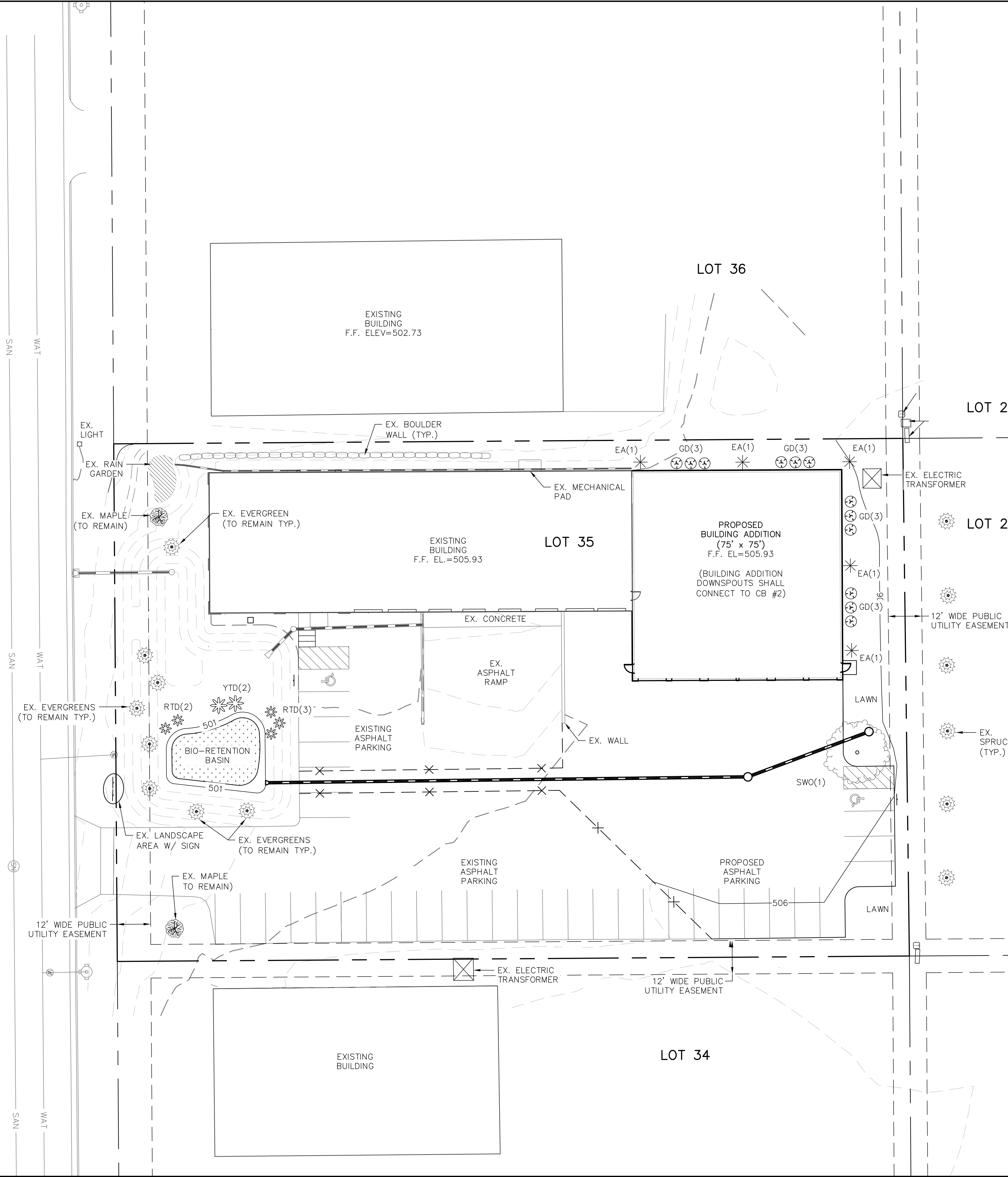
**EXCLUSIVELY ROSES - BUILDING ADDITION**  
 GRADING AND EROSION CONTROL PLAN  
 PAGE: 2 OF 4  
 DATED: DECEMBER 11, 2014

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BUSINESS PARK CIRCLE



**PLANT LIST**

KEY	SIZE	COMMON NAME	ROOT	QUAN:
<u>Canopy Trees</u>				
SWO	2 1/2'	Swamp White Oak	BB	1
<u>Evergreen Shrubs</u>				
EA	4'	Emerald Arborvitae	BB	5
<u>Ornamental Shrubs</u>				
GD	24"	Grey Dogwood	Pot	12
RTD	18"	Red Twig Dogwood	Pot	5
YTD	18"	Yellow Twig Dogwood	Pot	2

**NOTES:**

- 1) Turf areas to receive a minimum of 4" of topsoil, seed (no-mow mix), starter fertilizer, and straw mulch.
- 2) Turf areas in drainage swales and slopes 3:1 and greater shall be mulched with Curlex erosion control fabric (installed per manufacturer's specifications).
- 3) Individual trees and shrub groupings in lawn areas to receive shredded hardwood bark mulch plant rings (4' diameter) spread to a depth of 3".
- 4) Contractor will be responsible for landscape maintenance until completion and acceptance of the project.
- 5) Owner will be responsible for landscape maintenance after completion and acceptance of the project.

**LANDSCAPE WORKSHEET**

**Landscape Points Required**

Lot zoning: **Light Industrial**

Foundation Points Required: 100 points

Parking Lot Points Required: (60 points/20 stalls)

10 new stalls = 30 points

**Total Landscape Points Required 130 points**

**Landscape Points Supplied**

Foundation:

5 Emerald Arborvitae @ 12pts = 60 points

12 Grey Dogwood @ 5pts = 60 points

Foundation subtotal: 120 points

Parking Lot:

1 Swamp White Oak @ 75 = 75 points

Foundation subtotal: 75 points

Total landscape points supplied = **195 points**

**S.P.S**

Paul Skidmore, Landscape Architect LLC

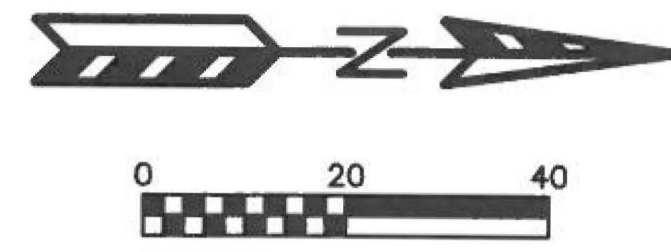
Paul Skidmore, ASLA  
Landscape Architect

13 Red Maple Trail (608) 826-0032  
Madison, WI 53717 (608) 335-1529 (c)  
paulskidmore@tds.net

**EXCLUSIVELY ROSES – BUILDING ADDITION**  
LANDSCAPE PLAN  
PAGE: 3 OF 4  
DATED: DECEMBER 11, 2014

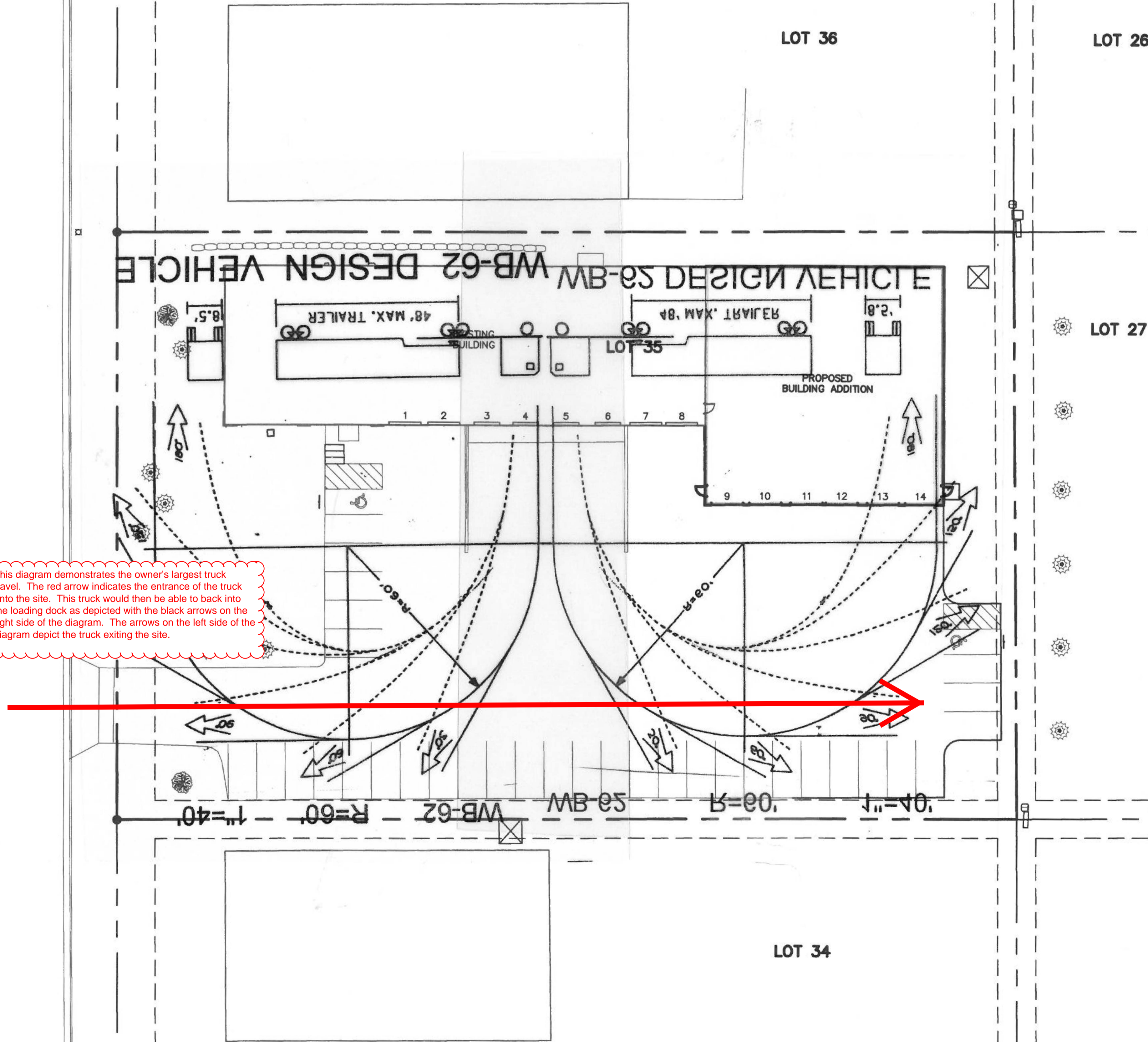
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BUSINESS PARK CIRCLE

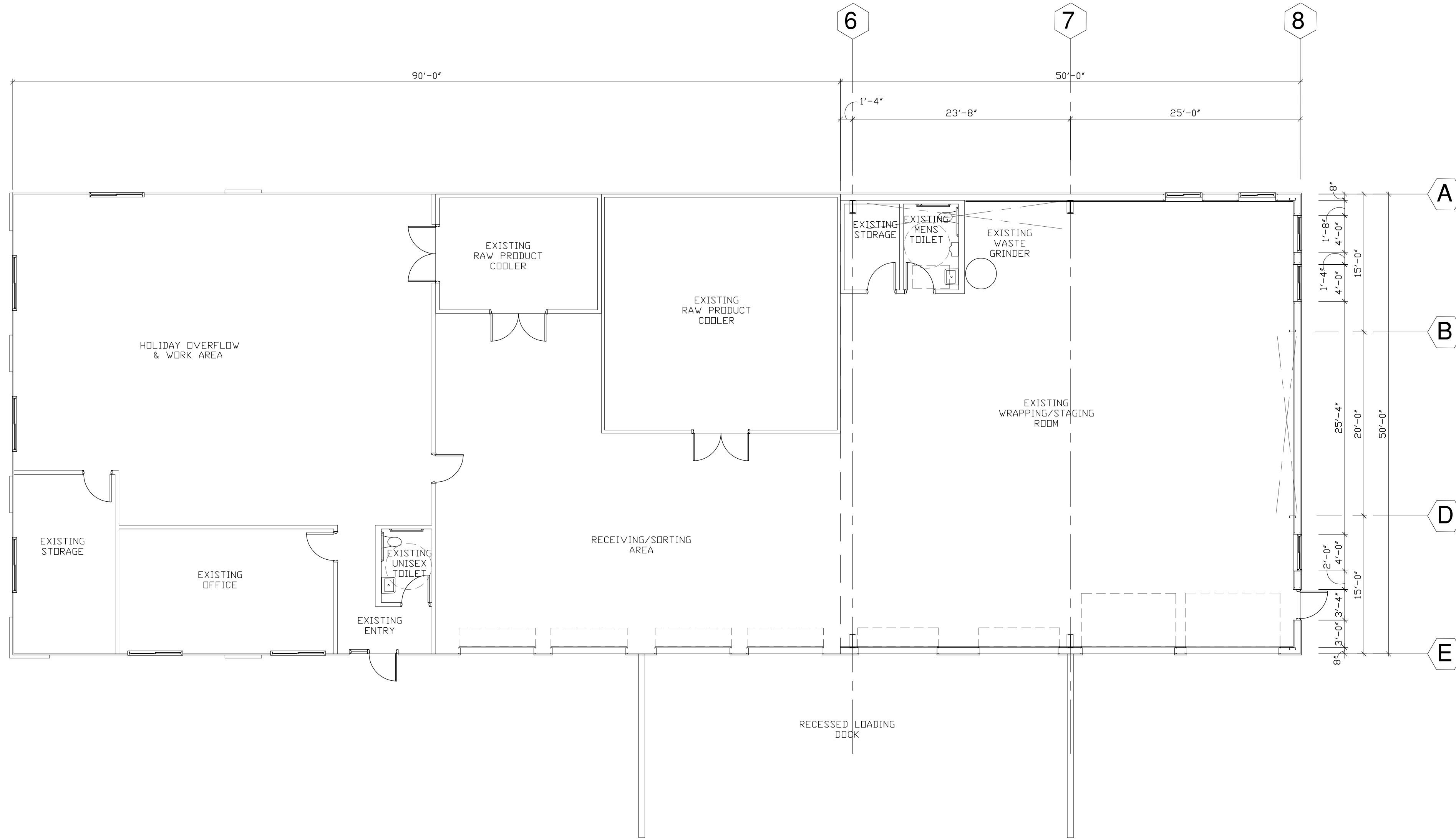
This diagram demonstrates the owner's largest truck travel. The red arrow indicates the entrance of the truck onto the site. This truck would then be able to back into the loading dock as depicted with the black arrows on the right side of the diagram. The arrows on the left side of the diagram depict the truck exiting the site.



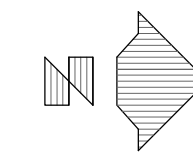
**EXCLUSIVELY ROSES - BUILDING ADDITION**  
 TURNING TEMPLATE PLAN  
 PAGE: 4 OF 4  
 DATED: DECEMBER 11, 2014

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EXISTING FLOOR PLAN  
 1/8" = 1'-0"



SHOP & WAREHOUSE ADDITION for  
**Exclusively Roses**  
 221 Business Park Circle  
 Stoughton, Wisconsin 53589

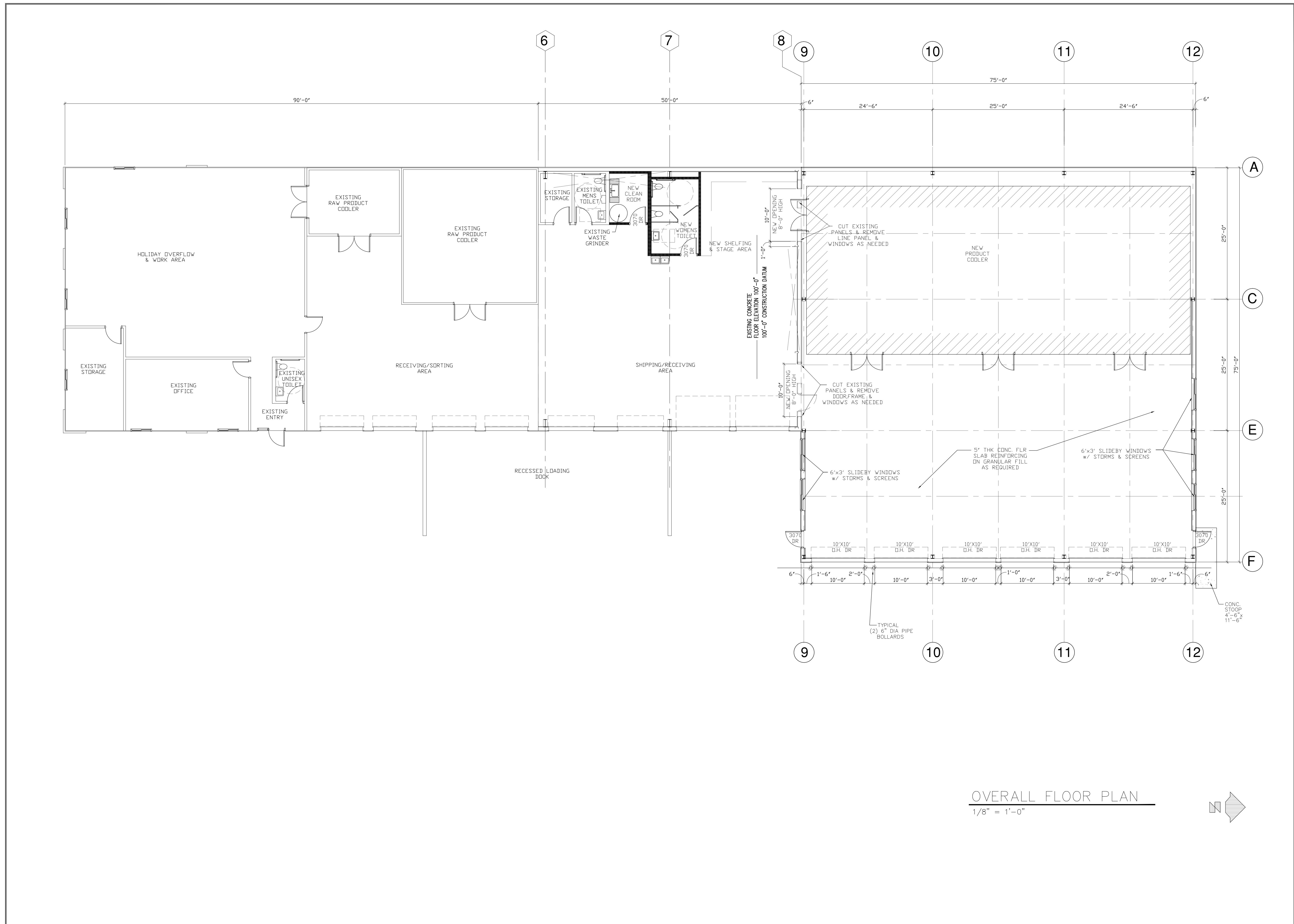


Plan submittal Date	Permit issued Date
Revision Schedule	

DRAWING NAME  
 EXISTING FLOOR PLAN  
 DRAWN BY: SCHU  
 DATE: NOV. 14 2014

SHEET  
**A-1.0**  
 PROJ. # 214-127





OVERALL FLOOR PLAN  
1/8" = 1'-0"

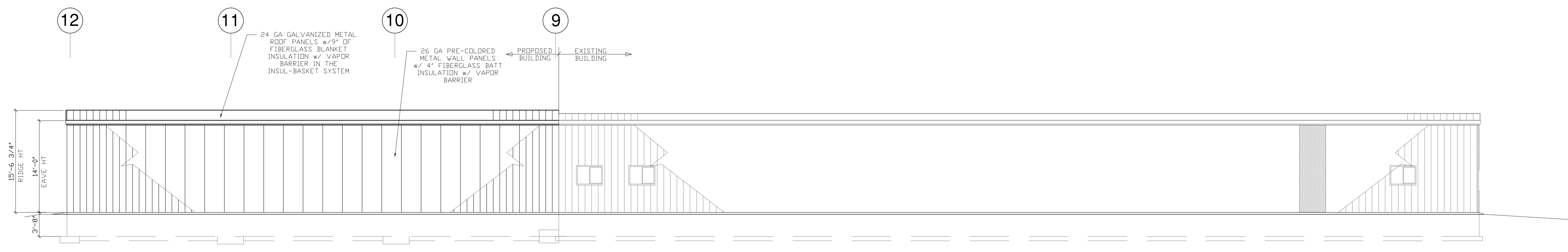
SHOP & WAREHOUSE ADDITION for  
**Exclusively Roses**  
221 Business Park Circle  
Stoughton, Wisconsin 53589



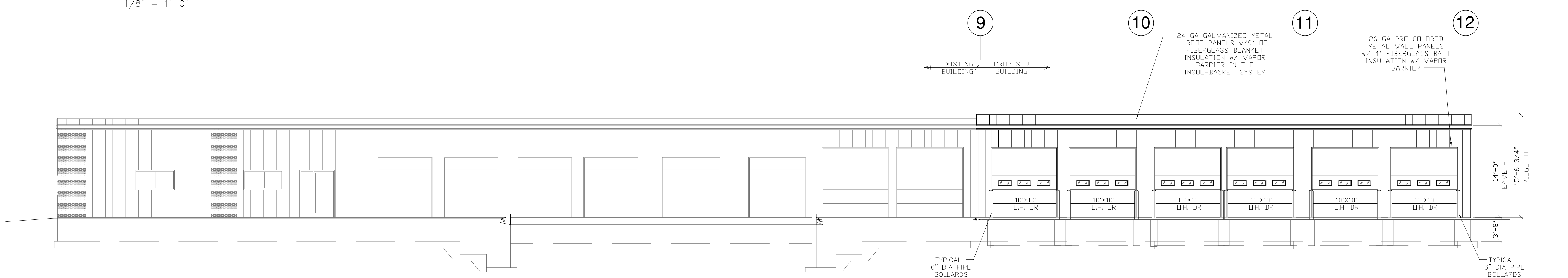
Plan Submittal Date	Permit Issued Date
Revision Schedule	

DRAWING NAME  
OVERALL FLOOR PLAN  
DRAWN BY: SCHU  
DATE: 12/22/2014

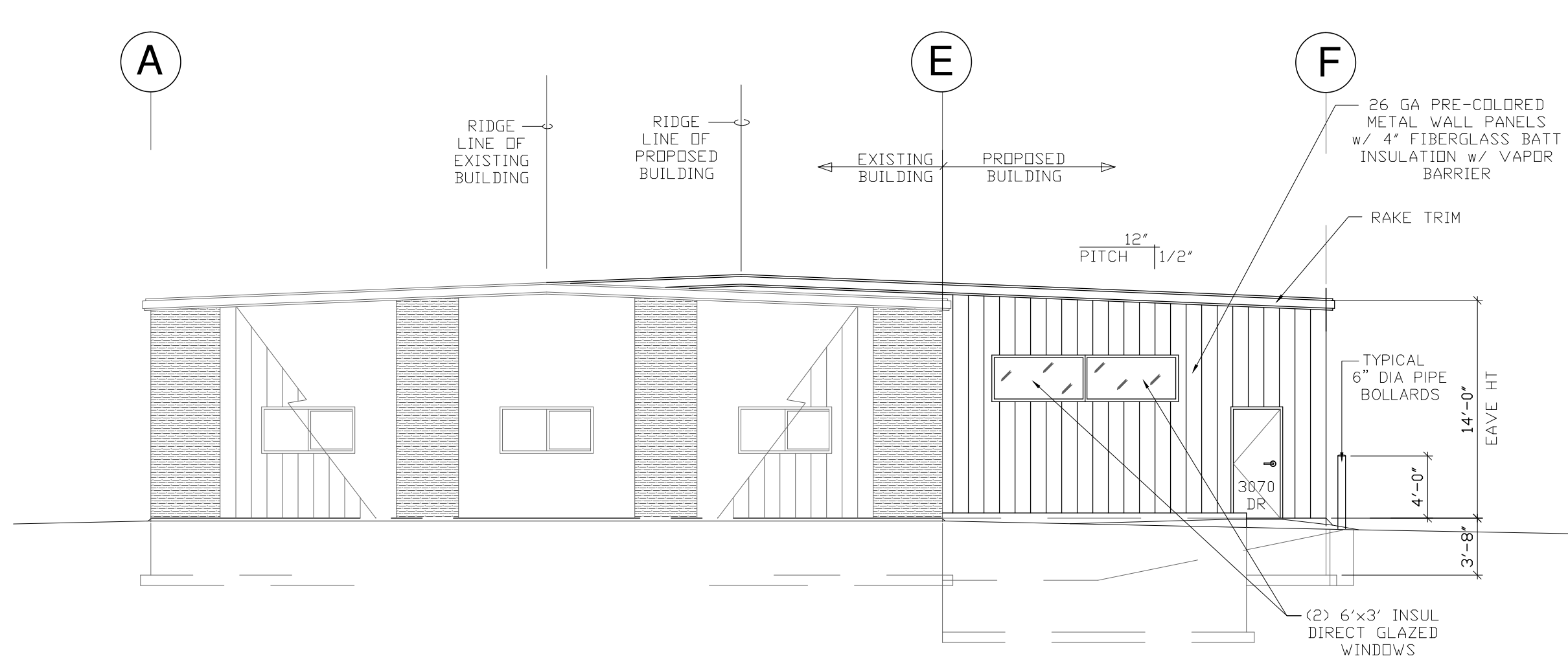
SHEET  
**A-2.0**  
PRJ # 214-127



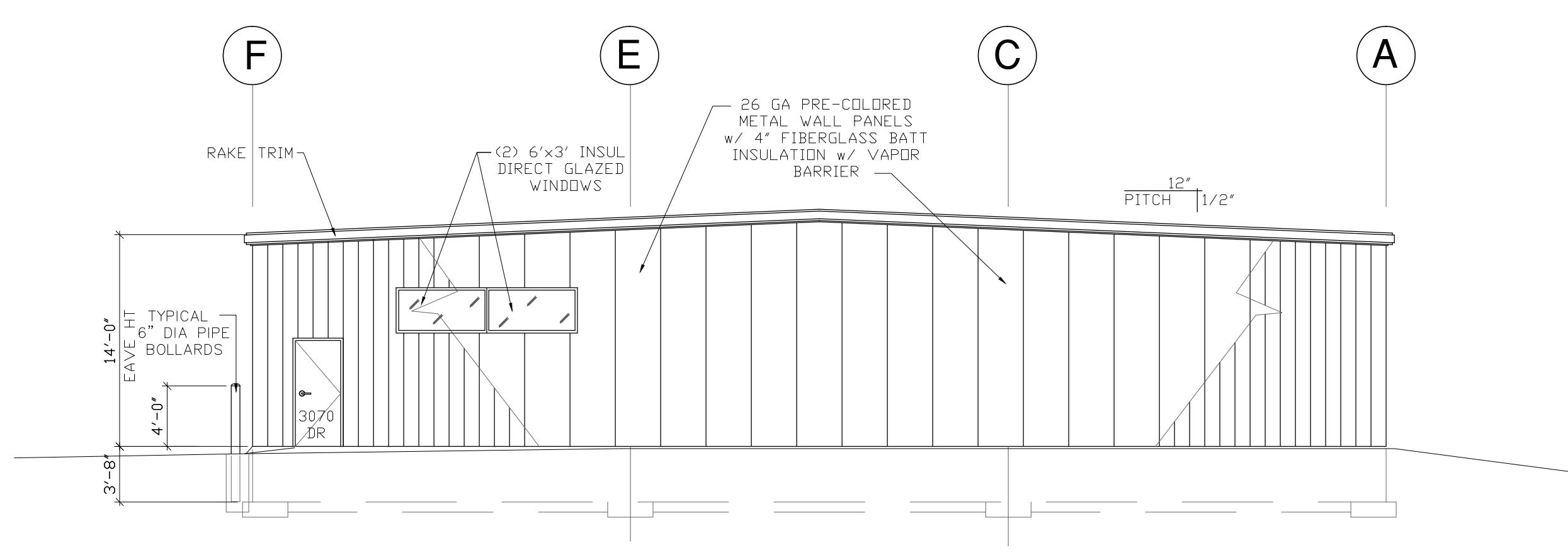
**WEST ELEVATION**  
1/8" = 1'-0"



**EAST ELEVATION**  
1/8" = 1'-0"



**SOUTH ELEVATION**  
1/8" = 1'-0"



**NORTH ELEVATION**  
1/8" = 1'-0"

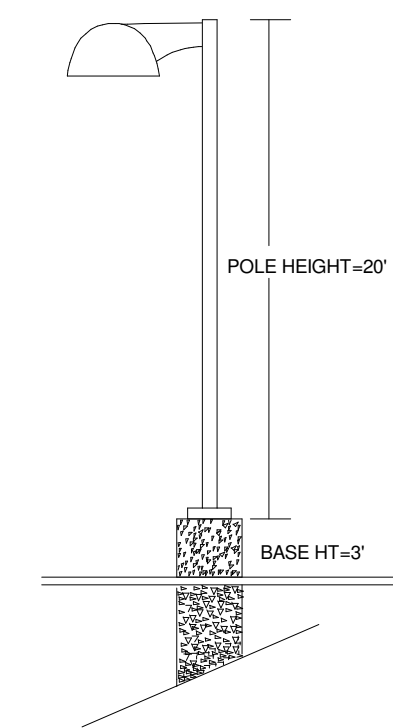
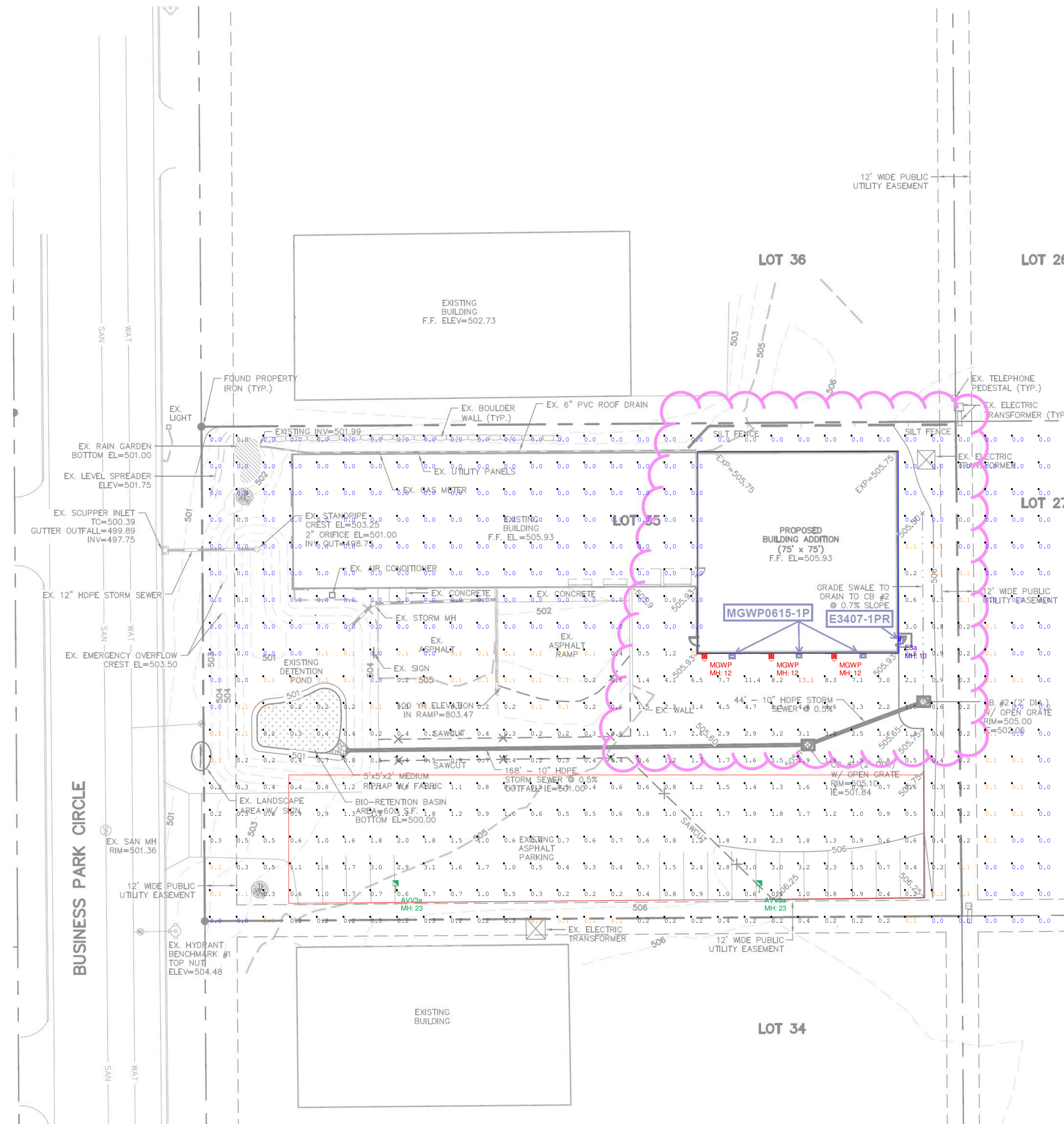
SHOP & WAREHOUSE ADDITION for  
**Exclusively Roses**  
221 Business Park Circle  
Stoughton, Wisconsin 53589



Plan Submittal Date	Permit Issued Date
Revision Schedule	

DRAWING NAME  
ELEVATION PLAN  
DRAWN BY: SCHU  
DATE: 12/3/2014

SHEET  
**A-4.0**  
PRJ # 214-127



Pole Schedule  
(2) PS4S20SC1XX (20' X 4" X .125" STEEL SQUARE POLE)  
Proposed poles meet 130 MPH sustained winds.

Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Total Watts	Description
MGWP	3	MGWP	SINGLE	14000	0.750	570	MGWP0615-1P
E3a	1	E3a	SINGLE	5000	0.650	90	E3407-1PR
AVV3a	2	AVV3a	SINGLE	25000	0.750	576	AVV30625-M SBL-AVV20CXX

Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	0.60	13.1	0.0	N.A.	N.A.
StatArea	1.11	3.2	0.2	5.55	16.00



CITY OF STOUGHTON  
DEPARTMENT OF PLANNING & DEVELOPMENT  
381 East Main Street, Stoughton, WI. 53589  
www.cityofstoughton.com/planning

RODNEY J. SCHEEL  
DIRECTOR  
(608) 873-6619  
fax: (608) 873-5519

December 12, 2014

Sullivan Design Build  
Mandy Stark  
1314 Emil Street  
Madison, WI. 53713

Dear Ms. Stark:

I have completed a final review of the proposed building addition for Exclusively Roses, 221 Business Park Circle, Stoughton, WI. 53589 – plans received 12/12/14. A joint meeting of the Planning Commission and Business Park North Committee will be on Monday December 15, 2014 of which you will receive notice.

1. The property at 221 Business Park Circle, Stoughton is zoned PI – Planned Industrial. Light Industrial uses are permitted within the Planned Industrial District. **A letter summarizing the proposed project/use expansion has been provided.**
2. Light Industrial uses are described as follows: Light industrial land uses are industrial facilities at which all operations (with the exception of loading operations):
  - 1) are conducted entirely within an enclosed building;
  - 2) are not potentially associated with nuisances such as odor, noise, heat, vibration, and radiation which are detectable at the property line;
  - 3) do not pose a significant safety hazard (such as danger of explosion); and
  - 4) comply with all of the performance standards listed for potential nuisances in article VII.

**We believe this use meets these requirements.**

3. Light Industrial Regulations are as follows:
  - a. All activities, except loading and unloading, shall be conducted entirely within the confines of a building.  
**The use meets this regulation.**
4. The property is required to meet the following zoning requirements: minimum lot area (20,000 sq. ft.); minimum lot width (100 feet); and minimum street frontage (50 feet). **The property meets these requirements.**
5. The proposed building minimum setback and maximum height requirements are as follows: Front yard setback: 20 feet; Side yard setback: 10 feet; Rear yard setback: 20 feet; Maximum building height: 40 feet; Minimum building separation: 20 feet. **The plan meets these requirements. Due to the proximity of the building to the minimum setbacks, a survey will need to be provided to confirm building location.**

6. The Comprehensive Plan, planned land use map designates this property as Planned Industrial which is consistent with the zoning and use.
7. The parking requirement for Light Industrial is one space per employee on the largest work shift. **We have been informed the typical work shift uses 20 employees or less. We have also been informed that a maximum of 50 employees are required for 7 – 10 days for each Valentine’s Day and Mother’s Day with the overage parking planned to be accommodated in front of the overhead doors. Historically, this use has required additional parking overflow into the street on specific days of the year, so this appears to be much better. 35 permanent stalls are shown and an additional 15 stalls are shown for peak periods. The pavement into the north easement will need to be approved by Stoughton Utilities. The proposed parking appears to meet the intent of the ordinance in this case.**
8. All off-street parking and traffic circulation areas shall be paved with a hard, all-weather surface and completed prior to building occupancy. All parking spaces shall be clearly marked to indicate required spaces. **This is expected.**
9. Handicap parking spaces shall be installed at a size, number, location, and with signage as specified by state and federal regulations. **This is expected.**
10. Except for handicap parking stalls, the minimum parking stall length shall be 18 feet with a minimum width of 9 feet. **This is expected.**
11. Per section 78-704 (13) (a), bicycle parking is required equal to 10% of the automobile parking space requirement. **2 bicycle parking spaces are required and 3 are shown on the plan.**
12. The parking aisle width for 90 degree parking shall be a minimum of 24 feet. **The plan meets this requirement.**
13. The minimum landscape surface ratio (LSR) is 25%. **The plan meets this requirement.**
14. The maximum floor area ratio is 1. This is calculated by dividing the total floor area of all buildings by the gross site area. **The plan meets this requirement.**
15. All curb openings for access drives shall have a maximum width of 30 feet for non-residential uses, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet and may be exceeded with explicit Plan Commission approval. **No changes proposed.**
16. The minimum paved surface setback from a side lot line is 5 feet while the minimum is 10 feet from a right-of-way line. **The plan meets this requirement.**
17. Off-street loading stall requirements per section 78-705. **A diagram has been provided detailing how trucks will be able to maneuver onsite. Backing into and from the street is not allowed. The site must also meet the loading standards as provided in Table 78-705(4) per the zoning code. The truck turning template appears to indicate trucks will need to use employee parking spaces and areas beyond pavement. It does not appear easy for a large truck to maneuver onsite and could cause a driver to back into and/or out of the site. This will need to be discussed.**

18. Except for exposed foundations not to exceed three feet in height from adjacent grade, non-single family development shall employ only high-quality, decorative exterior construction materials on the visible exterior of the following portions of all structures:
- Any portion of the structure within 50 feet of an adjacent residentially zoned property;
  - Any portion of the structure located within 50 feet of a public right-of-way;
  - Any other portion of the structure visible from a public street... The following exterior construction materials shall not be considered “high quality, decorative”: non-decorative concrete or cinder block, non-decorative concrete foundation walls or panels, non-decorative plywood, asphaltic siding, or other materials using exposed fastener systems or non-decorative surfaces as determined by the Planning Commission. However, such materials may be allowed by the Planning Commission as decorative elements.

**The exterior construction materials will be similar to the existing building.**

19. Architectural and design elements shall be compatible with the surrounding area and community standards and shall minimize user specific elements as determined by the plan commission. Metal panels with exposed exterior fasteners of the same color may be used on a maximum of 50 percent of the front side of the building. This material is not allowed within 50 feet of any customer or visitor entrance. **This will be determined by the Planning Commission.**

20. A landscaping plan which meets the requirements of Article VI of the zoning code must be provided.

**100 landscaping points are required for the building foundation and such landscaping shall be located so at maturity the plants drip line is within 10 feet of the foundation. The plan meets this requirement.**

**30 points are required for the 10 newly created parking stalls. The plan meets this requirement.**

21. Bufferyards landscaping is required where two different zoning classifications abut one another. **The adjacent properties are the same classification, so there are no bufferyard requirements.**

22. Exterior lighting standards.

All off-street parking areas shall be lit to ensure safe and efficient use. An illumination level of between 0.4 and 1.0 footcandles are recommended and said illumination shall not exceed the standards of section 78-707. The maximum lighting as measured at the property line is 0.5 footcandles. The maximum average on-site lighting shall be 2.4 footcandles. The minimum lighting standard for parking areas used after sunset shall be 0.2 foot-candles. The lighting element shall not be visible from the residentially zoned properties. **A compliant photometric plan has been provided.**

23. All exterior trash storage areas shall be located within a gated enclosure which completely screens the view a said trash. The exterior of said enclosure shall be constructed of some or all of the materials used on the main building. **No trash enclosure planned. We have been informed that trash is handled on the interior of the building.**

24. A stormwater management and erosion control plan, application and fees are required. Dane County Land Conservation, the City's consultant, will review the plan and perform inspections. **The plan, application and fees have been submitted and are under review by Dane County Land Conservation.**
25. Proposed utilities-including electrical transformers and HVAC locations shall be shown on a utility plan. **Contact Robert Kardasz, Stoughton Utilities for electric, water and wastewater services. HVAC and electric transformers shall be screened from street view. We have been informed Stoughton Utilities has been contacted and the transformer has already been moved to accommodate this addition.**
26. Required off-street parking shall not be used for snow storage. **This is expected.**
27. Any proposed signage will require a detailed plan and permit prior to installation. **Signage must meet the requirements of zoning code, articleVIII.**
28. State of Wisconsin approved building plans will be necessary prior to issuance of a building permit but are not necessary to begin the City review process.

### **Business Park Covenants:**

The following items are contained in the Business Park Covenants and will need to be addressed as noted:

1. Plan Submittal
  - a. Name and mailing address of developer/owner. **Provided.**
  - b. Utilities and utility right of way easements. **Easements are shown. Elevation alterations of 6-inches or more within any easement need to be approved by Stoughton Utilities. The grade appears to be changing within the front 12-foot easement.**
  - c. Exterior signs. **A plan shall be submitted if additional signage is planned.**
  - d. Exterior Lighting. **A compliant photometric plan has been provided.**
  - e. Clearing, grading, and drainage plan showing proposed clearing limits, existing and proposed contours at two foot intervals. **The provided grading plan with one foot contours is sufficient to meet this requirement.**
  - f. Site statistics, including site square footage, percent of site coverage's and percent of park or open space. **This is included on the site plan.**
  - g. All exterior materials and colors, including manufacturer's name and catalogue numbers or samples of the same. **A letter and/or samples shall be provided.**
  - h. Location and dimensions of all proposed outdoor storage areas, and the location and dimensions of all fencing and screening. **No outdoor storage or fencing is proposed.**
2. Development Standards

- a. “All electrical and air conditioning structures, including towers and air handling units, regardless of location and whether on the roof or otherwise, shall be concealed by landscaping or by decorative screening materials which form an integral part of the design.” **These are shown on the plan.**
  - b. All areas intended to be utilized for parking space and driveways shall be surfaced with bituminous asphalt or concrete.” **Expected to be paved.**
  - c. “All parking stalls shall be marked with painted lines not less than 4” wide.” **Expected.**
  - d. “No parking areas will be permitted within the building set back lines with the following two exceptions:
    1. Office employees and visitor parking may be permitted within the front yard setback lines subject to approval of the Committee. **The plan complies with this requirement.**
    2. Lots bounded by more than one road may have parking areas within the building set back lines along roads other than the one on which the building fronts subject to approval by the Committee.” **NA**
  - e. “A scale drawing of any sign, trademark or advertising device to be used on any lot or the exterior of any building or structure will be submitted to the Committee in triplicate or the written approval by the Committee.” **None proposed.**
  - f. “The front yard setback area shall be landscaped with an effective combination of trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner. The entire area between the curb and a point 10 feet in back of the front property line shall be landscaped, except for any access driveway in said area. Notwithstanding the above, the entire area between the right-of-way and the building setback line shall be densely landscaped with a combination of effective visual screening on all use areas.” **Expected to be consistent with existing development and previous approvals.**
  - g. “Areas used for parking shall be landscaped and/or fenced in such a manner as to interrupt or screen said areas from view of access streets, freeways, and adjacent properties. Plant materials used for this purpose shall consist of lineal or grouped masses of shrubs and/or trees.” **Expected to be consistent with existing development and previous approvals.**
  - h. “All outdoor storage shall be visually screened from access streets and adjacent property.” **No outdoor storage is allowed unless reviewed and approved as part of this process.**
  - i. “Outdoor storage shall be meant to include parking of all company owned and operated vehicles, with the exception of passenger vehicles.” **Only if applicable.**
  - j. “All outdoor refuse collection areas shall be visually screened from access streets and adjacent property by a complete opaque screen.” **N/A.**
  - k. “Architectural Review. **The Business Park North Committee will take into account the appearance of all buildings and parking areas.**”
3. Any other information considered pertinent by the Committee.



If you have any questions, please contact me at 608-646-0421

Sincerely,  
City of Stoughton

*Michael P. Stacey*

Michael P. Stacey  
Zoning Administrator/Assistant Planner