

# **OFFICIAL MEETING NOTICE**

The **City of Stoughton** will hold a **Joint** meeting of the **Planning Commission and Business Park North Committee** on **Monday, June 9 at 5:30 pm**, in the **Council Chambers**, Second Floor, **Public Safety Building**, 321 S. Fourth Street, Stoughton WI.

## **AGENDA:**

1. Call to Order
2. Elect Business Park North Chair and Vice-Chair
3. CHC Properties LLC requests site plan approval to construct a building at 201 Business Park Circle.
4. Future agenda items.
5. Adjournment.

Donna Olson, Mayor – Chair, Planning Commission  
Randy Olson – Chair, Business Park North Committee

6/4/14mps

Packets sent to:

### **Planning Commission**

Mayor Donna Olson, Chair  
Ron Christianson, Council member, Vice-Chair  
Eric Hohol, Council member  
Greg Jenson, Council member  
Scott Truehl, Citizen Member  
Todd Krcma, Citizen Member  
Matt Hanna, Citizen Member

### **Business Park North Committee**

Randy Olson, Chamber President, Chair  
David Wendt, Business Park North Rep.  
Erica Dial, Chamber Executive Director  
Paul Lawrence, Council member  
Greg Jenson, Council member  
Laurie Sullivan, Finance Director  
Rodney Scheel, Planning Director

**cc:** Zoning Administrator Michael Stacey (2 Packets)  
Utilities Director Bob Kardasz (Packet)  
Stoughton Newspapers (fax)  
City Attorney Matt Dregne (email)  
Department Heads & Council Members (email)  
Debbie Blaney (email)  
Area Towns (email)  
Derek Westby (email)  
Keith Comstock (email)  
Jeff Groenier (email)

“IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE, PLEASE CALL 608-873-6677 PRIOR TO THIS MEETING.”

**AN EXPANDED MEETING MAY CONSTITUTE A QUORUM OF THE COUNCIL.**

S:\Planning\MPS\Planning Commission Notices-Memos\Commission Notices\Joint Agendas 2014\Joint Planning & BPN 6-9-14.docx



CITY OF STOUGHTON  
DEPARTMENT OF  
PLANNING & DEVELOPMENT  
381 East Main Street, Stoughton, WI. 53589

RODNEY J. SCHEEL  
DIRECTOR

(608) 873-6619      [www.cityofstoughton.com/planning](http://www.cityofstoughton.com/planning)

Date:            June 4, 2014

To:              Planning Commission Members

From:          Rodney J. Scheel  
                  Director of Planning & Development

                  Michael Stacey  
                  Zoning Administrator/Assistant Planner

Subject:        June 9, 2014 Joint Planning Commission and BPN Committee Meeting Summary.

**Meeting Summary:**

**Item #3 – CHC Properties LLC requests site plan approval to construct a building at 201 Business Park Circle.**

This site plan approval request is for the construction of a second building at 201 Business Park Circle which is proposed to be used for a gymnastics training studio and for storage. There are a few items that we are still waiting for which are addressed in the staff review letter. A photometric plan, updated landscaping plan and (2) bike parking designation on the plan is still pending. The access drive is proposed to be widened to 37 feet at the right-of-way line and 42 feet at the curb which requires Planning Commission approval since it is over the maximum 30-foot and 35-foot requirements, respectively. At this point, we have not yet heard from Stoughton Utilities regarding services to the site. The Stoughton Fire Department has no issues with the site plan. The site plan, staff review letter and related materials are provided. Staff recommends approval contingent on the staff review letter dated June 3, 2014.

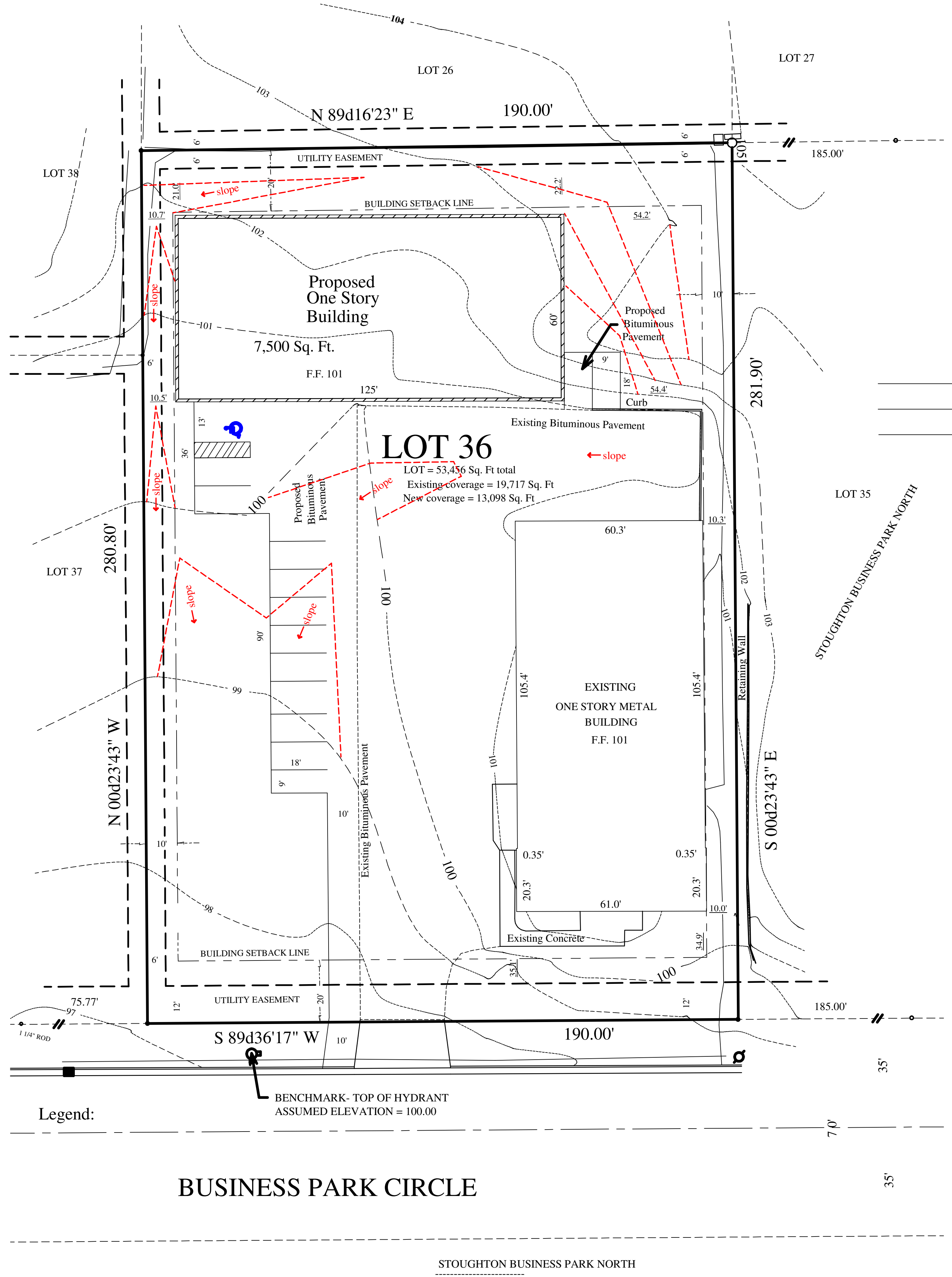


Date: June 3, 20148  
Michael P. Stacey  
Zoning Administrator/Assistant Planner

Re: 201 Business Park Circle, Stoughton

Dear Mr. Stacey, we are proposing a new 7,500 SF building and north side of 201 Business Park Circle. The building will be a pre-engineered metal building to match the existing building. The exterior metal and brick colors will match the existing building as well. The building will be used for 2,250 SF of storage and 5,250 SF of gymnastic training studio. The gymnastic studio is proposing 20 lockers or students at one time. This would require 7 parking stalls. Parking requirements for storage is 2 stalls. The total number of stalls required for this addition is 9 stalls. 14 Parking stalls and 1 accessible parking stall are provided. Please let me know if you need any additional information. Thank you

Jeff Groenier  
Concepts in Architecture, LLC  
830 South Main Street  
Oregon, WI 53575  
608-698-3196



- LEGEND**
- = LIGHT POLE
  - = STORM INLET
  - = GAS LINE
  - = BURIED ELECTRIC
  - = BURIED TELEPHONE

Legend:

BENCHMARK- TOP OF HYDRANT  
ASSUMED ELEVATION = 100.00

**BUSINESS PARK CIRCLE**

STOUGHTON BUSINESS PARK NORTH

Site Plan  
Scale = 1" = 20'-0"

Jeffery Groenier, Architect  
830 S. Main Street  
Oregon, WI 53575  
608-835-3196  
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**Concepts in Architecture, LLC**

Proposed for: **Keith Comstock**  
Address: 201 Business Park Circle  
Stoughton, WI  
608-873-8500

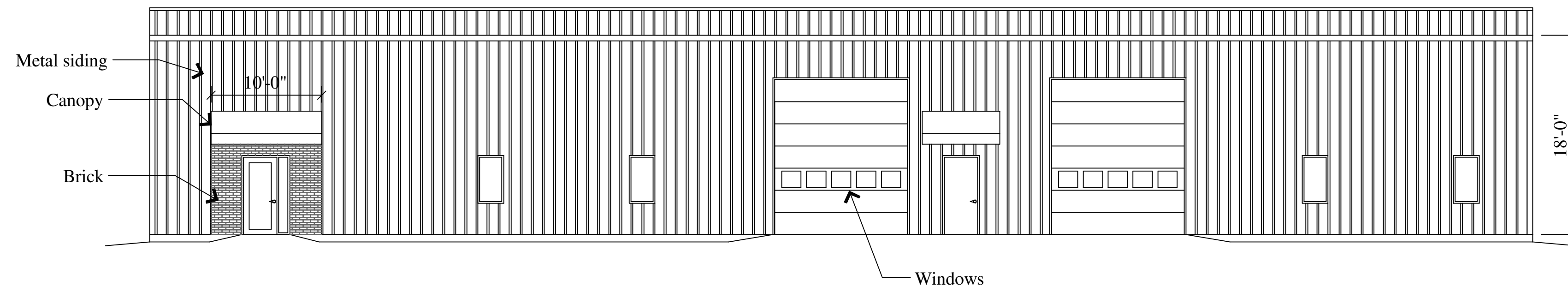
Project: **New Building**  
Address: Stoughton, WI  
Sheet Title: **Site Plan**

Date: 03-26-2014

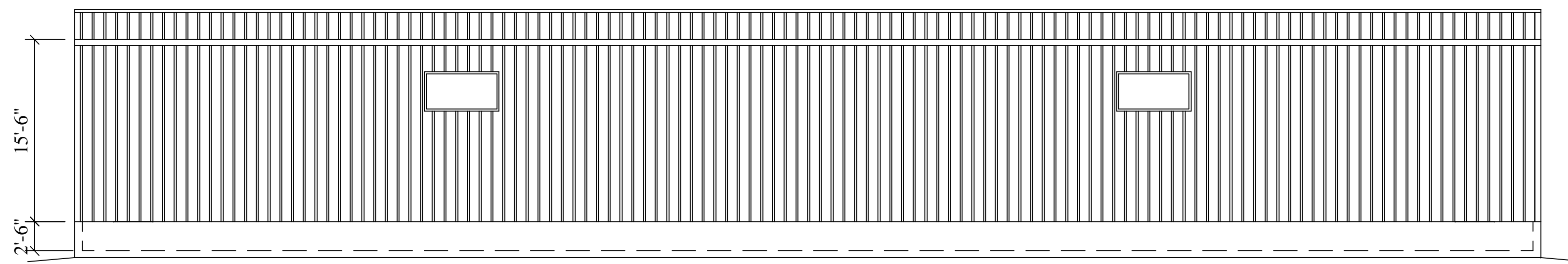
Scale: As Noted

Job #: 05-01

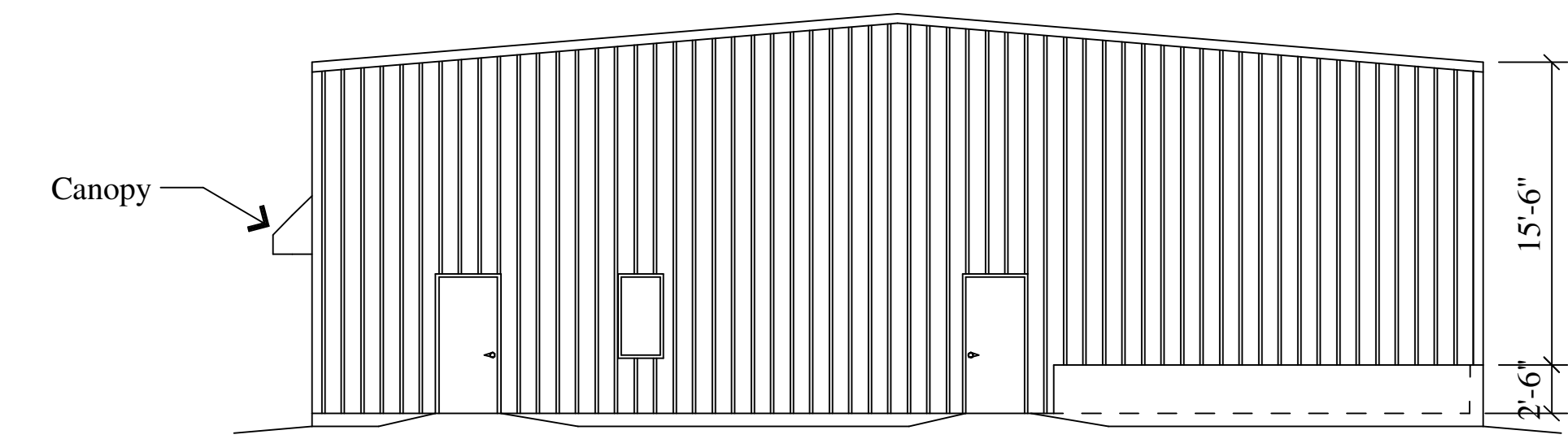
SHEET  
**1**



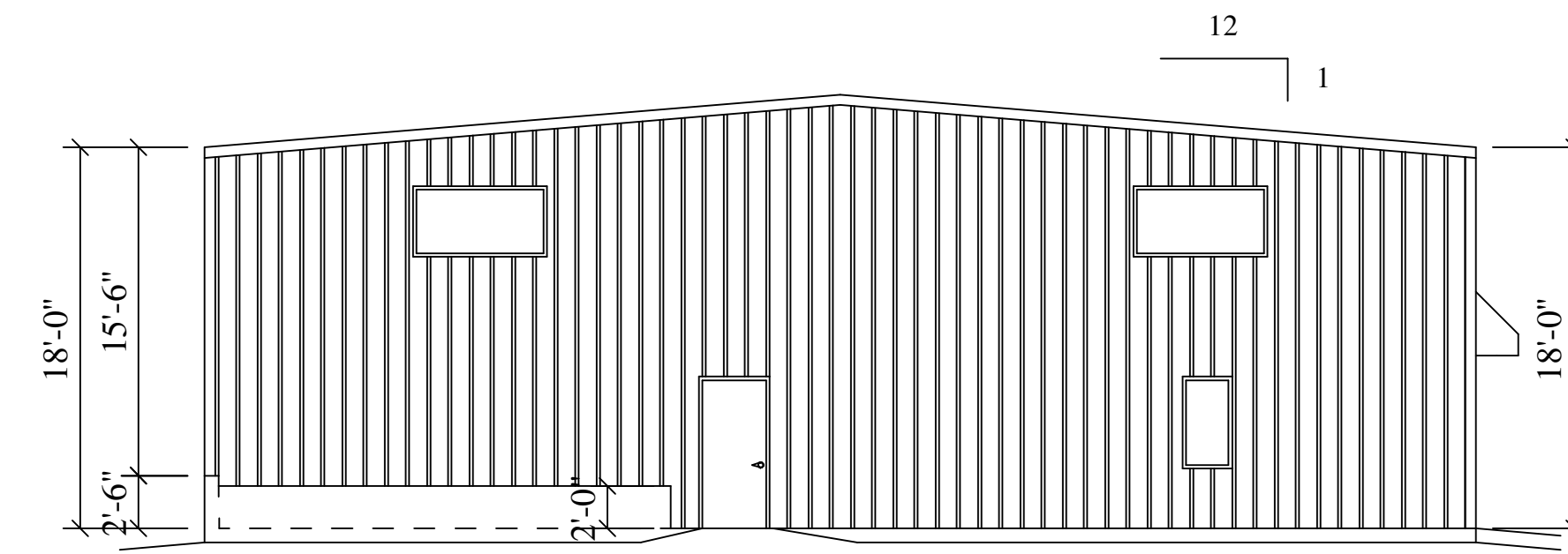
South Elevation  
Scale 1/8"=1'-0"



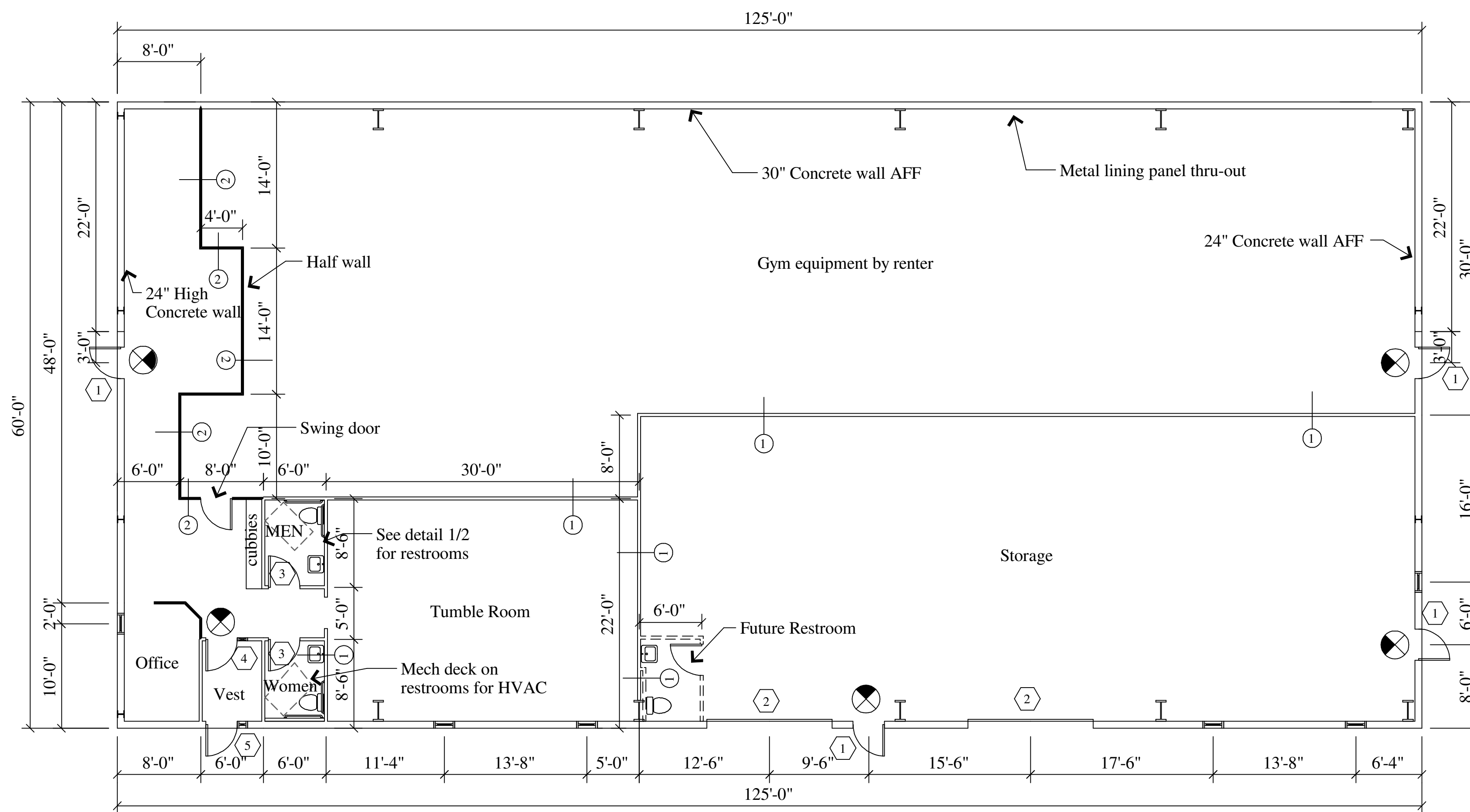
North Elevation  
Scale 1/8"=1'-0"



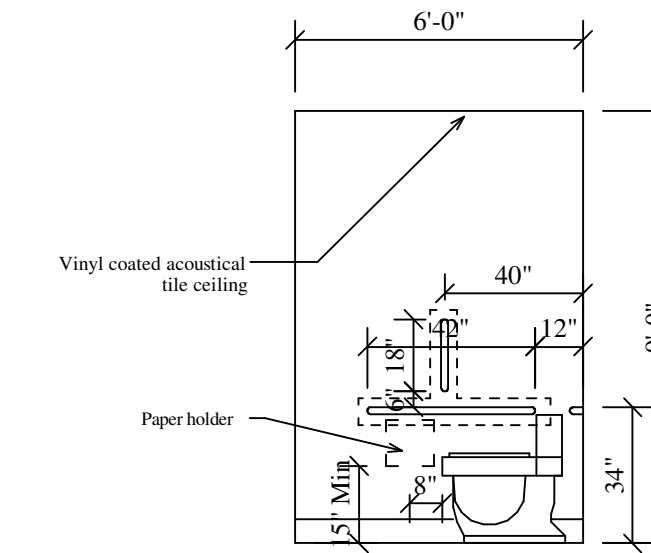
East Elevation  
Scale 1/8"=1'-0"



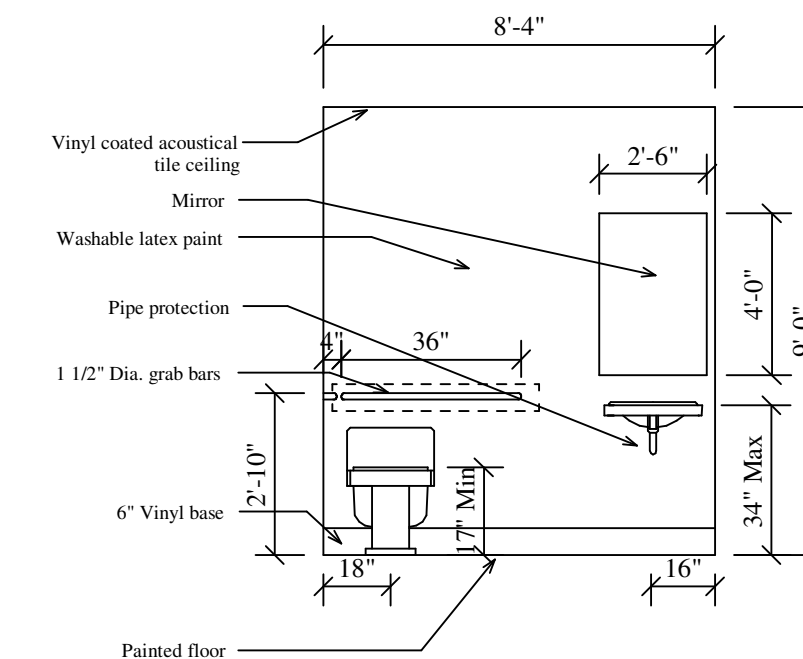
West Elevation  
Scale 1/8"=1'-0"



Floor Plan  
Scale 1/4"=1'-0"



Toilet Room Elevation  
Scale = 1/4"=1'-0"



Toilet Room Elevation  
Scale = 1/4"=1'-0"

**Door and Window Schedule**

- 1 3'0"x6'8" Steel door and frame with lever handles and keyed locks
- 2 12'-0"x14'-0" Insulated O.H. Door with electric opener
- 3 3'0"x6'8" Solid core wood door and frame with lever handles and privacy locks
- 4 3'0"x6'8" Aluminum full light door and frame with push/pull and 12" sidelight
- 5 3'0"x6'8" Aluminum full light door and frame with lever handles and keyed locks and sidelight

**Wall Schedule**

- 1 5/8" type "X" gyp. bd. with joints taped  
3 5/8" Metal studs full height  
3 1/2" FG batt insulation  
5/8" type "X" gyp. bd. with joints taped
- 2 5/8" type "X" gyp. bd. with joints taped  
3 5/8" Metal Studs to 4'-0" AFF  
5/8" type "X" gyp. bd. with joints taped
- 3 5/8" type "X" gyp. bd. with joints taped  
3 5/8" Metal Studs to 8'-0" AFF  
5/8" type "X" gyp. bd. with joints taped

**Exit Light**

- Exit Light directly and permanently wired to a proper unswitched circuit and be provided with backup power source.

Jeffery Groenier, Architect  
830 S. Main Street  
Oregon, WI 53575  
608-835-3196

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**Concepts in Architecture, LLC**

**Keith Comstock**  
201 Business Park Circle  
Stoughton, WI  
608-873-8500

Proposed for:  
Address:

Project: **New Building**  
Address: Stoughton, WI  
Sheet Title: **Plans and Elevations**

Date: 05-01-2014  
Scale: As Noted  
Job #: 05-01

SHEET  
**1**

TOTAL POINTS NEEDED - 148

2 MAJOR TREES @ 75 POINTS = 150

15 MINORS @ 3 EACH = 45

FOUNDATION

2 @ 5 POINT

TOTAL 205

AUTUMN BLAZE

FLAME MAPLE

MAJOR - 75 POINT

2 SHADE TREES  
QUALIFY FOR  
CITY SHADE TREE  
CREDIT

LINDEN

GREEN SPINE

MAJOR - 75  
POINT

N 89d16'23" E

190.00'

NEITH COMSTOCK  
BUSINESS PARK  
BUSINESS PARK CIA

UTILITY EASEMENT

BUILDING SETBACK LINE

BURNING BUSH

Proposed  
One Story  
Building

7,500 Sq. Ft.

6 = 18  
SPIREA @ 3 EACH

LITTLE PRINCESS

BLUE ROP JUNIPER @ 3 EACH

7 = 21

VERBURNUM CRANBERRY 5 POINT

125'

60'

Existing Bituminous Pav

# LOT 36

LOT = 53,456 Sq. Ft total

Existing coverage = 19,717 Sq. Ft

New coverage = 13,098 Sq. Ft

Proposed  
Bituminous  
Pavement

2  
CRIMSON  
PYRAM  
BARBERRY  
6 POINTS

280.80'

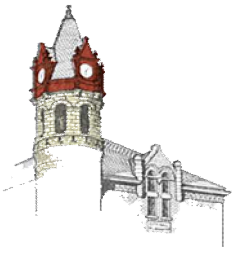
13'

36'

90'

6'

7



CITY OF STOUGHTON  
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RODNEY J. SCHEEL  
DIRECTOR  
(608) 873-6619  
fax: (608) 873-5519

June 3, 2014

Jeff Goenier  
830 S. Main Street  
Oregon, WI. 53575

Dear Mr. Groenier:

I have completed a preliminary review of the proposed building site plan for Keith Comstock, 201 Business Park Circle, Stoughton, WI. 53589 – plans received 5/7/14. As noted, additional information may be required to be provided or shown on the plan.

1. The property at 201 Business Park Circle, Stoughton is zoned PI – Planned Industrial. An address of 191 Business Park Circle is appropriate for this new building. We have been informed the intent is to have an Indoor Commercial Entertainment use, specifically health or fitness centers, all forms of training studios (dance, art, martial arts, etc.) These uses are in the process of being allowed within the Planned Industrial district. The Common Council will decide on this amendment on May 13, 2014. **A letter summarizing the proposed project/use has been provided.**
2. Indoor commercial entertainment uses are described as follows: Indoor commercial entertainment land uses include all land uses which provide entertainment services primarily within an enclosed building. Outdoor seating or patio areas associated with a proposed indoor commercial entertainment land use shall be allowed subject to city approval of a site plan showing any such proposed outdoor seating or patio area. Such activities often have operating hours which extend significantly later than most other commercial land uses. Examples of such land uses include restaurants, taverns, theaters, **health or fitness centers, all forms of training studios (dance, art, martial arts, etc.)**, bowling alleys, arcades, roller rinks, and pool halls. **Only the underlined/bold uses are proposed to be allowed at this property.**
3. Indoor commercial entertainment regulations:
  - a. If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property.
  - b. Facility shall provide bufferyard with minimum opacity of .60 along all borders of the property abutting residentially zoned property (see section 78-610).

**There is no residentially zoned property near the subject property.**

4. The property is required to meet the following zoning requirements: minimum lot area (20,000 sq. ft.); minimum lot width (100 feet); and minimum street frontage (50 feet). **The property meets these requirements.**

5. The proposed building minimum setback and maximum height requirements are as follows: Front yard setback: 20 feet; Side yard setback: 10 feet; Rear yard setback: 20 feet; Maximum building height: 40 feet; Minimum building separation: 20 feet. **The plan meets these requirements. Due to the proximity of the building to the minimum setbacks, a survey will need to be provided to confirm building location.**
6. The Comprehensive Plan, planned land use map designates this property as Planned Industrial which is consistent with the zoning and use.
7. The parking requirement for Indoor Commercial Entertainment is one space per every three patron seats or lockers (whichever is greater); or one space per three persons at the maximum capacity of the establishment; (whichever is greater). The parking requirement for Indoor Storage is one space per 2,000 sq. ft. of gross floor area. **From the original approval/requirements (1 space/1.3 employees), the existing building/uses require 3 parking stalls. We have been informed there will be 20 students at a time which requires 7 parking stalls and there will be 2,250 sq. ft. used for storage which requires 2 parking stalls. The total parking required is 12 stalls. The plan shows 13 stalls. This requirement has been met.**
8. All off-street parking and traffic circulation areas shall be paved with a hard, all-weather surface and completed prior to building occupancy. All parking spaces shall be clearly marked to indicate required spaces. **This is expected.**
9. Handicap parking spaces shall be installed at a size, number, location, and with signage as specified by state and federal regulations. **This is expected.**
10. Except for handicap parking stalls, the minimum parking stall length shall be 18 feet with a minimum width of 9 feet. **The plan meets this requirement.**
11. Per section 78-704 (13) (a), bicycle parking is required equal to 10% of the automobile parking space requirement. **Two bike parking stalls are required.**
12. The parking aisle width for 90 degree parking shall be a minimum of 24 feet. **The plan meets this requirement.**
13. The minimum landscape surface ratio (LSR) is 25%. **The plan meets this requirement.**
14. The maximum floor area ratio is 1. This is calculated by dividing the total floor area of all buildings by the gross site area. **The plan meets this requirement.**
15. All curb openings for access drives shall have a maximum width of 30 feet for non-residential uses, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet and may be exceeded with explicit Plan Commission approval. **It appears the access drive is proposed to be widened to approx. 37 feet at the right-of-way line and 42 feet at the curb. The Planning Commission will need to approve this additional width.**



16. The minimum paved surface setback from a side lot line is 5 feet while the minimum is 10 feet from a right-of-way line. **The plan meets this requirement.**

17. Please provide separate plans for existing site conditions, proposed site/building, landscaping, lighting, contours and utilities. **This is expected.**

18. Off-street loading stall requirements per section 78-705. **If deliveries from large trucks are anticipated, one off-street loading stall will need to be shown per section 78-705. If van-type trucks are anticipated (not semi-trucks), a diagram shall be provided detailing how the truck will be able to maneuver onsite. Backing into the street is not allowed.**

19. Except for exposed foundations not to exceed three feet in height from adjacent grade, non-single family development shall employ only high-quality, decorative exterior construction materials on the visible exterior of the following portions of all structures:

- Any portion of the structure within 50 feet of an adjacent residentially zoned property;
- Any portion of the structure located within 50 feet of a public right-of-way;
- Any other portion of the structure visible from a public street... The following exterior construction materials shall not be considered "high quality, decorative": non-decorative concrete or cinder block, non-decorative concrete foundation walls or panels, non-decorative plywood, asphaltic siding, or other materials using exposed fastener systems or non-decorative surfaces as determined by the Planning Commission. However, such materials may be allowed by the Planning Commission as decorative elements.

**The summary letter describes the proposed structure is to use the same exterior materials as the existing structure.**

20. Architectural and design elements shall be compatible with the surrounding area and community standards and shall minimize user specific elements as determined by the plan commission. Metal panels with exposed exterior fasteners of the same color may be used on a maximum of 50 percent of the front side of the building. This material is not allowed within 50 feet of any customer or visitor entrance. **This will be determined by the Planning Commission.**

21. A landscaping plan which meets the requirements of Article VI of the zoning code must be provided. **148 landscaping points are required for the building foundation and 34 landscaping points are required for the additional paved area. The landscaping plan provided for the building foundation is under the required points since climax and tall trees cannot be counted toward foundation landscaping. An updated landscaping plan will need to be provided that meets all zoning requirements.**

22. Bufferyards landscaping is required where two different zoning classifications abut one another. **The adjacent properties are the same classification, so there are no bufferyard requirements.**

23. Exterior lighting standards.

All off-street parking areas shall be lit to ensure safe and efficient use. An illumination level of between 0.4 and 1.0 footcandles are recommended and said illumination shall not exceed the standards of section 78-707. The maximum lighting as measured at the property line is 0.5 footcandles. The maximum average on-site lighting shall be 2.4 footcandles. The minimum lighting standard for parking areas used after sunset shall be 0.2 foot-candles. The lighting

element shall not be visible from the residentially zoned properties. **A photometric plan will need to be provided to verify these requirements.**

24. All exterior trash storage areas shall be located within a gated enclosure which completely screens the view a said trash. The exterior of said enclosure shall be constructed of some or all of the materials used on the main building. **There is no enclosure shown/planned.**
25. A stormwater management and erosion control plan, application and fees are required. Dane County Land Conservation, the City's consultant, will review the plan and perform inspections. **The plan, application and fees shall be submitted to the Department of Planning & Development office at Stoughton City Hall.**
26. Proposed utilities-including electrical transformers and HVAC locations shall be shown on the utility plan. **Contact Robert Kardasz, Stoughton Utilities for electric, water and wastewater services. HVAC and electric transformers shall be screened from street view.**
27. Required off-street parking shall not be used for snow storage. **This is expected.**
28. Any proposed signage will require a detailed plan and permit prior to installation. **Signage must meet the requirements of zoning code, article VIII.**
29. All plans must be submitted at least 2 weeks prior to a Planning Commission meeting to be included on that next agenda. The Planning Commission meets the second Monday of each month at 6pm.
30. State of Wisconsin approved building plans will be necessary prior to issuance of a building permit but are not necessary to begin the City review process.

### **Business Park Covenants:**

The following items are contained in the Business Park Covenants and will need to be addressed as noted:

1. Plan Submittal
  - a. Name and mailing address of developer/owner. **Provided.**
  - b. Utilities and utility right of way easements. **Easements are shown. All existing and proposed utilities will need to be labeled and shown. Elevation alterations of 6-inches or more within any easement need to be approved by Stoughton Utilities.**
  - c. Exterior signs. **A plan shall be submitted if signage is planned.**
  - d. Exterior Lighting. **A compliant photometric plan shall be provided.**
  - e. Clearing, grading, and drainage plan showing proposed clearing limits, existing and proposed contours at two foot intervals. **The provided grading plan with one foot contours is sufficient to meet this requirement.**
  - f. Site statistics, including site square footage, percent of site coverage's and percent of park or open space. **Provided.**

- g. All exterior materials and colors, including manufacturer's name and catalogue numbers or samples of the same. **A letter has been provided.**
  - h. Location and dimensions of all proposed outdoor storage areas, and the location and dimensions of all fencing and screening. **No outdoor storage or fencing is proposed.**
2. Development Standards
- a. "All electrical and air conditioning structures, including towers and air handling units, regardless of location and whether on the roof or otherwise, shall be concealed by landscaping or by decorative screening materials which form an integral part of the design." **This will need to be shown.**
  - b. All areas intended to be utilized for parking space and driveways shall be surfaced with bituminous asphalt or concrete." **Expected to be paved as proposed.**
  - c. "All parking stalls shall be marked with painted lines not less than 4" wide." **Expected.**
  - d. "No parking areas will be permitted within the building set back lines with the following two exceptions:
    - 1. Office employee and visitor parking may be permitted within the front yard setback lines subject to approval of the Committee. **The plan complies with this requirement.**
    - 2. Lots bounded by more than one road may have parking areas within the building set back lines along roads other than the one on which the building fronts subject to approval by the Committee." **NA**
  - e. "A scale drawing of any sign, trademark or advertising device to be used on any lot or the exterior of any building or structure will be submitted to the Committee in triplicate or the written approval by the Committee." **None proposed.**
  - f. "The front yard setback area shall be landscaped with an effective combination of trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner. The entire area between the curb and a point 10 feet in back of the front property line shall be landscaped, except for any access driveway in said area. Notwithstanding the above, the entire area between the right-of-way and the building setback line shall be densely landscaped with a combination of effective visual screening on all use areas." **Expected to be consistent with existing development and previous approvals.**
  - g. "Areas used for parking shall be landscaped and/or fenced in such a manner as to interrupt or screen said areas from view of access streets, freeways, and adjacent properties. Plant materials used for this purpose shall consist of lineal or grouped masses of shrubs and/or trees." **Expected to be consistent with existing development and previous approvals.**
  - h. "All outdoor storage shall be visually screened from access streets and adjacent property." **No outdoor storage is allowed unless reviewed and approved as part of this process.**
  - i. "Outdoor storage shall be meant to include parking of all company owned and operated vehicles, with the exception of passenger vehicles." **Outdoor storage may need to be considered, if applicable.**

- j. “All outdoor refuse collection areas shall be visually screened from access streets and adjacent property by a complete opaque screen.” **If necessary, specifications need to be provided.**
  - k. “Architectural Review. **The Business Park North Committee will take into account the appearance of all buildings, parking areas and storage areas.**”
3. Any other information considered pertinent by the Committee.

If you have any questions, please contact me at 608-646-0421

Sincerely,  
City of Stoughton

*Michael P. Stacey*

Michael P. Stacey  
Zoning Administrator/Assistant Planner