

Kettle Park West Commercial Center

Specific Implementation Plan

Lot 7

Revised March 7, 2016

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- A. Adopted City Comprehensive Plan -- Land Use Plan Map illustrating location of proposed SIP
- B. Map showing all lands and listing current owners and addresses of all lands within 300 feet of the proposed SIP boundary
- C. (Separate Document) Site Development Plan set (by JSD dated 25, February 2016) including:
 - Title Sheet
 - Overall Site Plan
 - Site Plan
 - Grading & Erosion Control Plan
 - Utility Plan and Details
 - Landscape Plan & Details
- D. Building Design Plans (by Lot 7 Tenants) including:
 - Architectural Elevations illustrating materials and color pallet
 - Photometric Plan & Pole, Fixture Cut sheets

Project Description

[The following narrative is intended to address the descriptive items and topics required by 78-914 (8)]

Overview

Lot 7 – Kettle Park West, LLC is proposing to improve Lot 7 of the KPWCC plat with a multi-tenant retail building. This is the first of three buildings proposed for this Lot 7 site in the KPWCC. This proposed use is consistent with the uses and development parameters described in the Planned Development – General Development Plan (PD-GDP) zoning that was approved by Ordinance of the Common Council O-23-2013 adopted 12 November 2013. Two buildings and additional parking lot area south and west of the proposed 11,909 SF building are proposed as future development. The design of this building and associated infrastructure has not yet been detailed. An overall site plan has been provided to show the potential future layout for reference.

Lot 7 is proposing the following improvements:

- A 11,909 SF multi-tenant retail building on the northeasterly portion of the lot
- 63 on-site vehicle parking stalls inclusive of 4 ADA accessible stalls per City of Stoughton municipal standards as they reference State of WI standards for ADA parking standards
- 2 bike rack for a total of 4 bike stalls
- Private stormwater management treatment facilities

Lot 7 site area encompasses 3.797 acres (165,192 SF). When completed, a minimum of 25% of the site (41,298 SF) will be maintained and improved as pervious landscaped open space.

All other site improvements are in compliance with the Kettle Park West Commercial Center setback standards established in the PD-GDP. These standards and the summary development statistics are annotated on sheet C101 of the attached KPWCC Lot 7 Plan set – Attachment C.

Project Themes and Images

Lot 7 tenants and Forward Development Group (FDG) have collaborated on site and building design for this location to assure it is compatible with and compliments design standards of proposed retail users and the design expectations described in the adopted 51 x 138 Westside Neighborhood Plan, the City's Comprehensive Plan and the Kettle Park West General Development Plan. Architectural elements, materials and color palettes are illustrated in Attachment D.

Compatibility with City Adopted Plans

In 2012, the City of Stoughton Comprehensive Plan was amended to include the adopted 51 x 138 Westside Detailed Neighborhood Plan. The Neighborhood Plan established the framework as a guide to planning and design for the development of this key gateway location. The development within the Kettle Park West Commercial Center is predominantly commercial in character along the highway frontages. The approved General Development Plan designated Lot 7 for retail use.

The following principles were utilized as a foundation for preparing the 51 x 138 Westside Detailed Neighborhood plan and are reflective of the City's Comprehensive Planning Goals and Policies.

- **Economic Opportunity:** Lot 7 will provide multiple employment opportunities to Stoughton residents directly and indirectly in jobs, expanding the City’s tax base and addressing market needs of City and area residents for retail items.
- **Sustainability:** Lot 7 will provide a high quality, attractive development that will integrate within the Kettle Park West Commercial Center. Lot 7 development will feature naturalized landscaping and ecological stormwater treatment. These features will be designed to provide a long-standing future development that will provide consistent future value for the community.
- **Natural Resource Stewardship:** Lot 7 development is consistent with the goals of providing natural resource stewardship. LED light fixtures reduce site energy consumption as well as minimizing light pollution for areas adjacent to the site. Building design will minimize impact, materials, resources proposed construction and operation has on the environment.
- **Social Equity, Responsibility, and Quality of Life:** Lot 7 within the Kettle Park West Commercial Center will provide retail goods for existing City of Stoughton residents as well as future neighborhoods planned west of the Commercial Center. Lot 7 and the Kettle Park West Commercial Center will provide an anchor to the development of office and economic opportunities as well as multiple housing opportunities increasing the quality of life for Stoughton residents.

Lot 7 within the Kettle Park West Commercial Center is proposed to provide multiple neighborhood and community scale retail and employment opportunities. The Lot 7 proposed development is consistent with the City of Stoughton Comprehensive Development Plan as well as the adopted 51 x 138 Westside Detailed Neighborhood Plan. Lot 7 enhances business development opportunities by providing additional neighborhood scale, walkable convenience amenities for City of Stoughton and future neighborhood residents.

Intended Organizational Structure/Ownership

While the overall concept plan for Lot 7 includes three separate commercial building, at this time it is anticipated that Lot 7 will be owned by a single party and that all three buildings will be developed by the same party. For that reason, Lot 7 – Kettle Park West, LLC is not proposing to form an owners’ association, record deed restrictions or otherwise make provisions for maintenance of common areas. The single owner will be responsible for the entirety of Lot 7.

In the future, it is possible the single owner of Lot 7 may wish to convey an interest in one or both of the buildings to separate owners/investors, either through a ground lease or condominium structure. In that case, the owner of Lot 7 would first prepare and record appropriate documentation providing for shared maintenance of the site features (e.g. drive aisles, parking stalls, etc.) that would be shared by the owners.

Treatment of Open Space and Natural Features

The site plan for Lot 7 has been developed in relationship to nearby land uses and with attention given to establishing the visual character of the westerly side of the USH 51 corridor between Jackson Street

and STH 138. The proposed site plan for the development of Lot 7's northeast building is measured at 70.69% open space – exceeding the 25% minimum established by the PD-GDP. As future development of Lot 7 occurs the minimum open space requirement of 25% will be maintained to present an attractive visual impression to the site and to the KPWCC development, enhance the pedestrian experience for customers of the retail stores and adjoining future businesses, and to effectively manage stormwater treatment requirements established by the City, Capital Area Regional Plan Commission (CARPC), Dane County, and the Wisconsin DNR.

Stormwater Management

Site development includes site mass grading, asphalt driveways and parking lot, concrete sidewalks, a single building with associated utilities, and private stormwater management facilities. The Kettle Park West storm sewer system will convey overall development runoff to a regional detention basin which provides total suspended solids reduction and runoff rate control. This detention basin is then routed to a regional infiltration basin that provides the required infiltration volume for the Kettle Park West development.

During the initial phase of construction for the first building on Lot 7 there will be a temporary bio-retention basin. This basin will function to improve run-off water quality by providing oil and grease control through an engineered soils layer as well as infiltration. As future developed of Lot 7 occurs this basin will be relocated to continue serving the site's run-off water quality control. An underground system is also designed to reduce run-off volume by infiltrating 90% of the typical average annual storm event for the site to meet CARPC requirements. Runoff rate control and total suspended solids reduction will be provided in the proposed KPWCC regional detention basin.

Site Access & Circulation

Site circulation and access to the proposed northeasterly building is from one driveway connecting to the private access drive west of Lot 7. The Lot 7 entry drive will propose an asphalt curb where shown on C101 to help direct rainwater flow and assist in the future development of Lot 7. As future development of Lot 7 occurs additional driveway connections will be made to service the future buildings. The drive location/entrance has been planned with consideration for convenience and safe customer access and circulation, efficient retail operations and delivery vehicle access and circulation.

The proposed development of Lot 7 as a retail development was accounted for in the Traffic Impact Analysis that was conditionally approved by WDOT in July 2012. This analysis also considered the other uses anticipated in the KPWCC and provided the foundational traffic information that was used for the approved engineering design of the highway improvements and intersection geometry for the access points on USH 51, STH 138, Jackson Street, and the KPWCC internal private street system.

Relationship To Nearby Properties

The KPWCC general development plan was organized around a land use concept which provided for a major anchor store location. This location was meant to be conveniently visible, accessible and supported by outlots providing opportunities for complimentary and diverse businesses that would meet the needs of the greater Stoughton market area. Neighborhood scale retail locations within the KPWCC have always been planned as part of the mix of uses within this development.

The proposed retail development on Lot 7 is supported by the overall private street layout within KPWCC and the anticipated travel and customer travel (vehicle, pedestrian and bicycling) routes within the development and on the adjoining street network.

Building Architecture

The proposed development consists of a 11,909 GFA multi-tenant, single story load bearing masonry building. All four facades will have decorative exterior masonry walls highlighted by a contrasting split-face masonry pier and fiber-cement panel parapet accenting the building entries. Tenant spaces are identified with large storefronts that consist of naturally colored fiber-cement panels and composite lap siding supported visually by the split-face masonry piers and standard face brick. The 4 sided architectural design establishes a visible and cohesive aesthetic with surrounding developments.

The site will be developed with parking areas on the south side of the building. The overall site will be appropriately landscaped and designed to provide sufficient areas for storm water infiltration, while enhancing the site's aesthetic from Jackson Street and interior KPWCC drives.

Parking

This portion of Lot 7 will develop a total of 63 parking stalls within the site, including 4 ADA accessible stalls.

Site Lighting

All site lighting will be full cut-off, downcast fixtures meeting Dark Skies standards. A photometric plan and cut sheets have been provided to accommodate the development of the 11,909 SF building and parking area. This plan provides conformance with City of Stoughton zoning standards for exterior lighting (see attachment D). Lot 7 lighting fixtures have been designed in conjunction with the fixture specifications from the nearby Lot 2 and Lot 6, providing consistency throughout the development.

Site Signage

Details of retail tenant signage will be submitted at a later date. Areas planned for site signage will be designed to meet standards of 78-205 (11).

Landscape Plan

The landscape plan has been developed to encourage the use of native and adaptable species that are compatible with regional climatic characteristics. The plant species selection illustrated and described in the attached Landscape Plan (sheet L100 in Attachment C) satisfies the native species requirement outlined in the General Development Plan. Complimentary use of ornamental grasses and perennials will create and maintain attractive visual aesthetics during all seasons.

Consistency with KPWCC PD-GDP Standards

The proposed SIP for Lot 7 is consistent with the Building Bulk and Site Density Standards adopted in the Kettle Park West Commercial Center Planned Development-General Development Plan with the noted exception to grant relief from installing foundation landscaping on the three sides of the convenience store retail building.

Table Kettle Park West Commercial Center Building Bulk and Site Density Standards				
Minimum distances in feet unless specified	Per Zoning Code	Adopted KPWCC Planned Development Ordinance	Notes	Lot 7 SIP Complies or exceeds Current Zoning Standards
Building to Street ROW	20	20 to Jackson Street 42 feet to Hwy ROWs		
Building to Residential Lot Line	Side: 10 Rear: 20	N/A		
Building to Non-Residential Lot Line	10 Zero Feet if Designed as Attached Building	10 Zero feet if designed as Attached building		
Building to Private Street Curb Line	NA	26 (15' from sidewalk)		
Accessory Use or Structure to Street ROW	Not Permitted in Front Yard	15 feet from Jackson Street 42 feet to Hwy ROWs		
Accessory Use or Structure to Residential Lot Line	4	NA		
Accessory Use or Structure to Non-Residential Lot Line	4	10		
Parking Stall or Access Aisle Pavement/curb to Public Street ROW	10	10		
Parking Stall or Access Aisle Pavement/curb to Private Street Curb or sidewalk	NA	6	Landscaping should consider snow storage.	
Parking Stall or Access Aisle Pavement/curb to Residential or Institutional Lot Line	5	5		
Parking Stall or Access Aisle Pavement to Interior Lot Line with adjoining commercial use	NA	6 Zero Feet if Joint Parking Lot		
Maximum Building Height	45	45	From Level of Main Entry and Not Including Parapets or Mechanical Penthouses	
Maximum Floor Area Ratio (FAR)	1	0.3	Current FAR = .21	
Minimum Landscape Surface Ratio (LSR)	25%	25%	Current LSR = 34.42%	
Minimum Foundation Landscape Planting Bed Dimension	10	10	Minimum Dimension = 2' -0"	Exemption Requested

Requested Exception to 78-205(11)m

Lot 7 is requesting an exception to 78-205(11)6m – the Large Retail regulations -- pertaining to the foundation landscaping requirements. Specifically, it is requested that this building be exempted from the 10' wide foundation landscape bed requirement along the south façade.

- In lieu of this foundation landscaping areas, additional plantings have been designed around the north, east and west sides of the building and patio space

Requested Exception to 78-704(7)c Also see section 78-206(4); 78-604; and 78-704

Lot 7 is requesting an exception to 78-704(7)c – Limit on the maximum number of required parking spaces -- pertaining to the allowable permitted number of parking stalls per land use. Specifically, Lot 7 is requesting that an exception be made to permit greater than 120 percent of the development's maximum number of required parking spaces. The prescribed maximum ratio (120 percent times the current City parking ratio of 1 stall per 300 SF of gross floor area) yields a total maximum stall count of 4.0 stalls per 1,000 SF of Gross Floor Area (GFA) for the retail buildings. This amount of parking generally meets the minimum site criteria for most retailers. More intensive land uses such as a restaurant will require 1 parking stall per 3 patrons per maximum capacity. Currently the multi-use building provides space for a potential restaurant tenant and may require the flexibility of a higher parking demand as to not impact adjacent land uses and site parking facilities.

- The retail building has been designed to provide multiple square footages to maintain a degree of flexibility for potential tenants
- The current design ratio of 5.2 stalls per 1,000 SF of GFA provides a degree of flexibility for potential land uses that may require greater parking demands than what is prescribed by the current City parking ratio

Requested Exception to 78-604(3)(d)

Lot 7 is requesting an exception to 78-604(3)(d) – landscape islands with a minimum of 400 square feet at all parking aisle ends. The proposed site plan is in conformance with having a parking island for every 20 cars in each aisle but an exception is being requested for the 400 square foot landscape area requirement. Due to the small scale retail development of this site and a 400 square foot landscape island being more typical of a large-scale retail development the proposed site plan includes two central parking lot islands with the approximate square footage of 270 square feet each. Each island measures 8'-0" from back of curb to back of curb. This item is not in conformance with the 10 wide landscape minimum requirement, therefore, two deciduous trees have been proposed within each island to break up the parking lot aisles and shade the parking lot from the sun. A central island has also been proposed to assist pedestrians in crossing the parking lot. This central island contains approximately 100 square feet of landscaping area. Although this island is not on the end of the bay of parking, it is also not in conformance with the 400 square foot requirement.

The parking stalls within the center double loaded bay will be utilized often by users, therefore, the proposed plan has been designed to maximize parking through this space and has accommodated

more open space throughout other areas of the site. Additional landscape plants which exceeds the required amount by nearly 240 “landscape points” has also been proposed to provide more spaces with a multitude of plant species throughout the growing season.

Attachment A

Planned Land Use

- Planned Stoughton Urban Development Area**
- 2012 Urban Service Areas
- 2012 Municipal Boundaries

Planned Land Use

- Agriculture/Rural
- Exurban Residential
- Single Family Residential
- Two-Family Residential
- Mixed Residential
- Planned Neighborhood
- Central Mixed Use
- Planned Mixed Use
- Planned Office
- Neighborhood Office
- Planned Business
- Neighborhood Business
- General Business
- Planned Industrial
- General Industrial
- Landfill/Extraction
- Institutional
- Public Open Space
- Environmental Corridor*
- Surface Water
- Right-of-Way



1. Single Family
2. Two-Family
3. Mixed Residential
4. Institutional
5. Neighborhood Office
6. Neighborhood Business
7. Public Open Space

Shapes on map represent general recommendations for future land use. Actual boundaries between different land use types and associated zoning districts may vary somewhat from representations on this map.

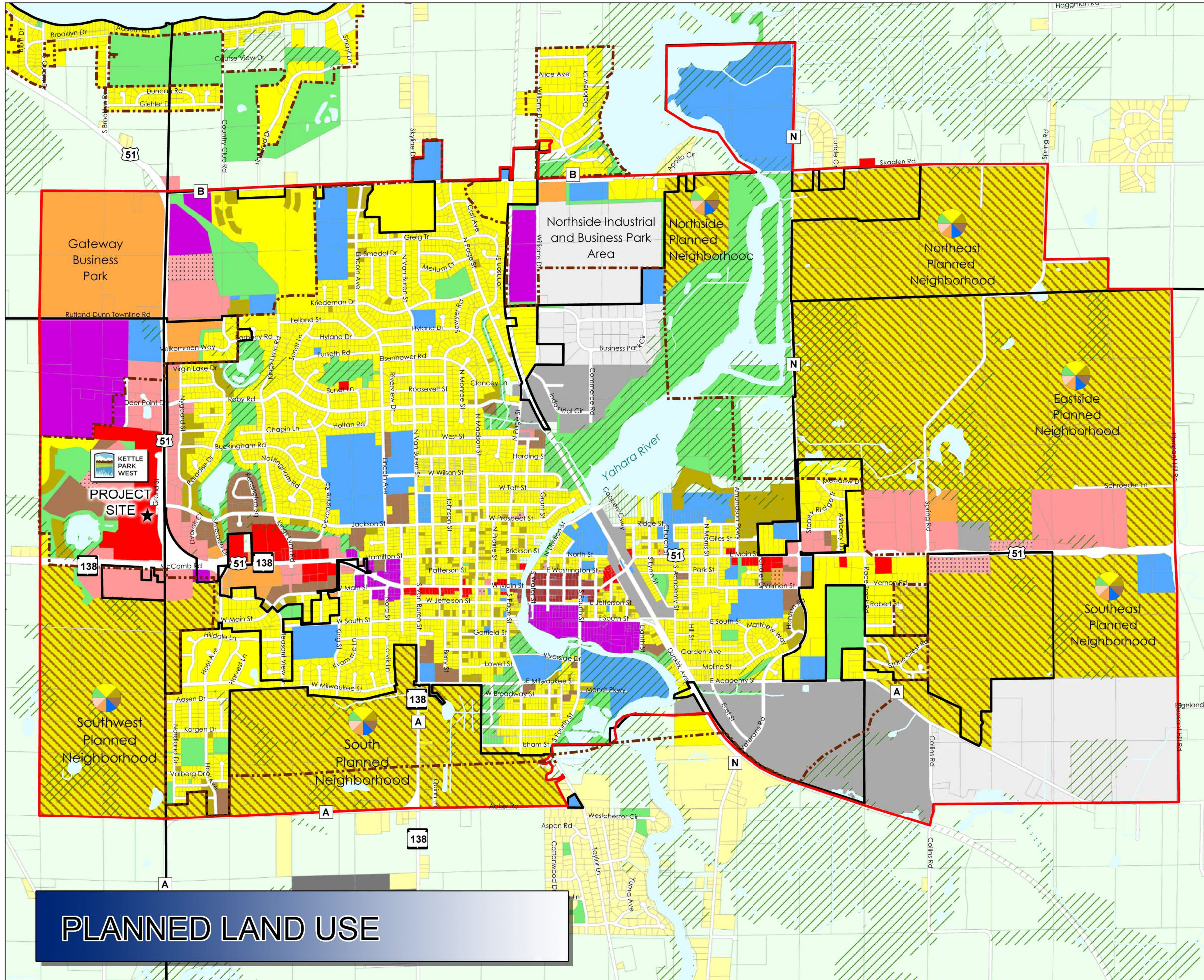
*Environmental Corridors depicted on this map use generalized boundaries of environmental features identified on air photos by the DNR and the Dane County RPC. These generalized boundaries are refined through detailed on site investigation at the time of land division and site plan review.

** See Table 9 for Acreage Totals.



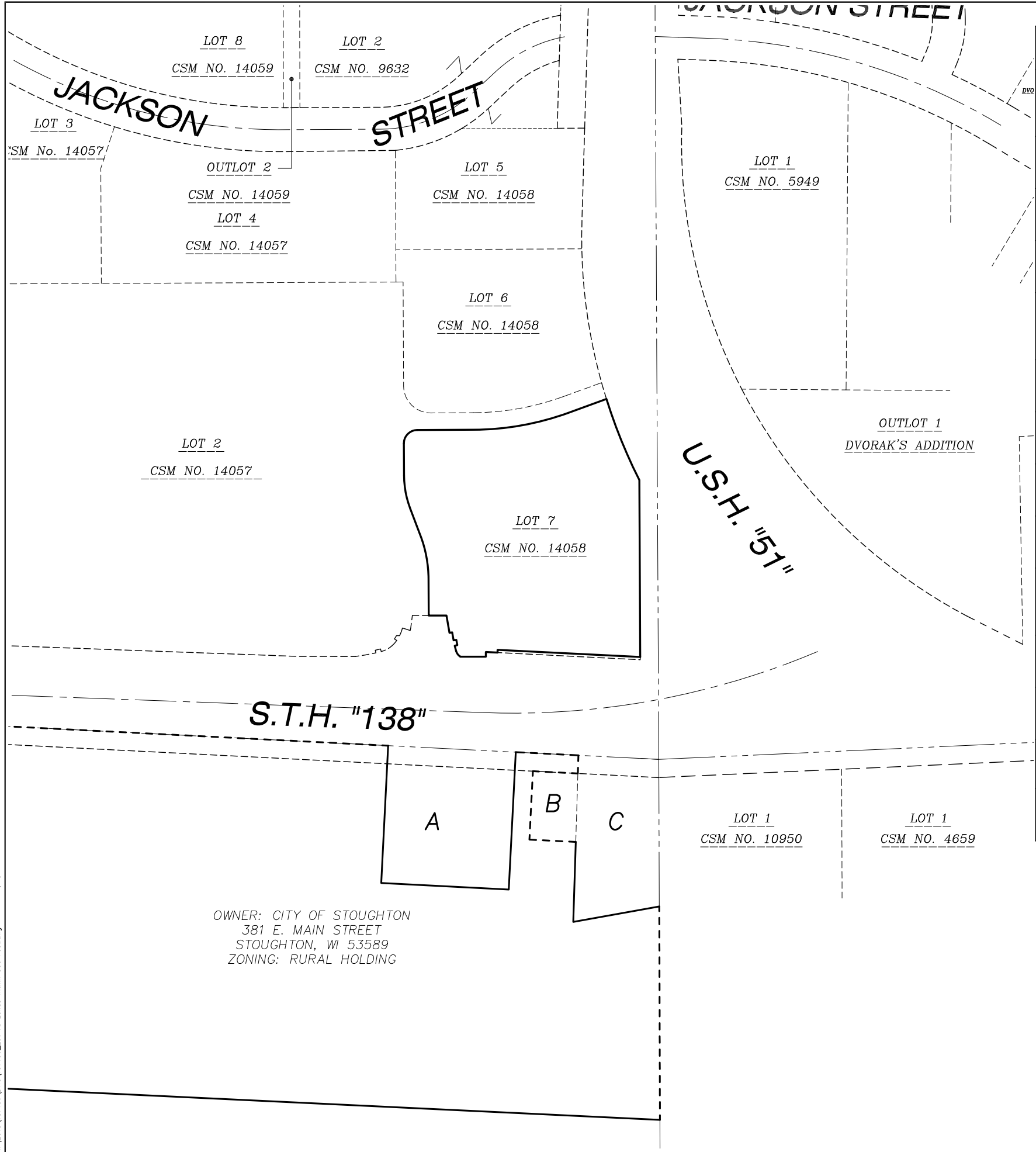
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Amended: June 26, 2012

Sources: Dane County LIO, City of Stoughton.

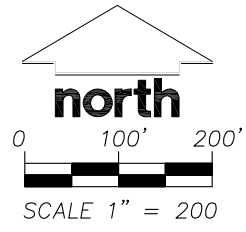


PLANNED LAND USE

Attachment B



PARCEL	OWNER & ADDRESS	ZONING
LOT 1, CSM No. 5949	GUNDERSON INVESTMENT PROPERTIES LLC 5203 MONONA DR MADISON, WI 53716	ZONED: PLANNED BUSINESS
LOT 2, CSM No. 9632	PJB-II INC. PO BOX 578 STOUGHTON, WI 53589	ZONED: C-2 LIGHT COMMERCIAL
LOT 1, CSM No. 10950	STEVEN A. GUNSOLUS 2351 McCOMB ROAD STOUGHTON, WI 53589	ZONED: R-1, R-2, R-3 OR R-4
OUTLOT 1, DVORAK'S ADDITION	STOUGHTON SWAC LLC 147 S BUTLER MADISON, WI 53703	ZONED: PLANNED BUSINESS
LOT 2 CSM No. 14057	WAL-MART REAL ESTATE BUSINESS TR PO BOX 8050 BENTONVILLE, AR 72712	ZONED: C-2 LIGHT COMMERCIAL
LOT 4, CSM No. 14057	KETTLE PARK WEST LLC 161 HORIZON DR STE 101A VERONA, WI 53593	ZONED: C-2 LIGHT COMMERCIAL
LOT 5 CSM No. 14058	FH OF MCFARLAND PO BOX 7 MCFARLAND, WI 53558	ZONED: C-2 LIGHT COMMERCIAL
LOT 6, CSM No. 14058	BUD-MAR LLP 684 NORTHVIEW RD. WAUKESHA, WI 53188	ZONED: C-2 LIGHT COMMERCIAL
LOT 7, CSM No. 14058	KETTLE PARK WEST LLC 161 HORIZON DR STE 101A VERONA, WI 53593	ZONED: C-2 LIGHT COMMERCIAL
LOT 8, CSM No. 14059	KETTLE PARK WEST LLC 161 HORIZON DR STE 101A VERONA, WI 53593	ZONED: C-2 LIGHT COMMERCIAL
OUTLOT 2, CSM No. 14059	KETTLE PARK WEST LLC 161 HORIZON DR STE 101A VERONA, WI 53593	ZONED: C-2 LIGHT COMMERCIAL
A	JUNCTION 138 LLC 161 HORIZON DR STE 101A VERONA, WI 53593	ZONED: A1(EX)
B	WISCONSIN BELL, INC 722 N. BROADWAY FL. 16 MILWAUKEE, WI 53202	ZONED: A1(EX)
C	MARILYN H. LEIN 3173 McCOMB RD. STOUGHTON, WI 53589	ZONED: A1(EX)



PREPARED FOR
FDG
161 HORIZON DRIVE, STE 101
VERONA, WI 53593

DATE	12-21-2015	DATE	12-21-2015	DATE	12-21-2015
DRAWN BY	TJB	CHECKED BY	JK	APPROVED BY	DMJ
				OWNER	
				DESCRIPTION	
				DATE	

MAP OF LANDS WITHIN 300 FEET OF SUBJECT PROPERTY

LOTS 7 OF CERTIFIED SURVEY MAP No. 14058, LOCATED IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 01, TOWNSHIP 05 NORTH, RANGE 10 EAST, CITY OF STOUGHTON, DANE COUNTY, WISCONSIN.

Professional Services, Inc.
Engineers • Surveyors • Planners
161 HORIZON DRIVE, SUITE 101
VERONA, WI 53593
PHONE: (608)848-5000

PROJECT NO. 15-7106
FILE NO. C-
SURVEYED: -
F.B. NO/PG: -
SHEET NO: 1 OF 1

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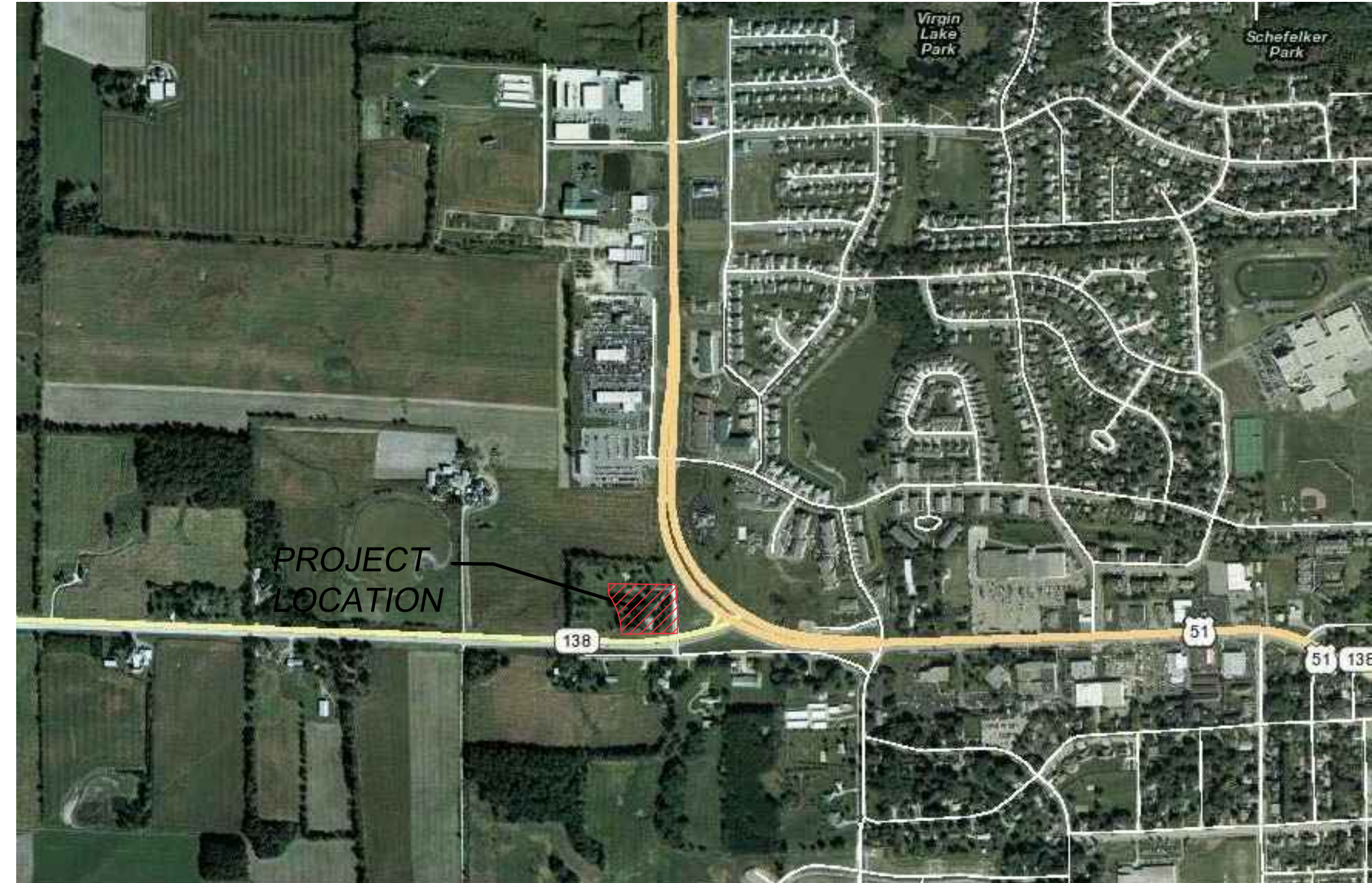
Attachment C

KETTLE PARK WEST LOT 7

CITY OF STOUGHTON, WISCONSIN

DRAWING INDEX

TS00	TITLE SHEET
C100	OVERALL LOT 7 SITE PLAN
C101	LOT 7
C200	GRADING AND EROSION CONTROL PLAN
C300	UTILITY PLAN
C400	DETAILS
C401	DETAILS
C402	DETAILS
L100	LANDSCAPE PLAN
L200	LANDSCAPE DETAILS AND SPECIFICATIONS



PROJECT AREA

SCALE: NTS



PROJECT UTILITY CONTACTS

CITY OF STOUGHTON UTILITIES (SEWER, ELECTRICAL, WATER)
 600 SOUTH FOURTH STREET
 STOUGHTON, WI 53589
 608-877-7423 (Office)
 CONTACT: ROBERT KARDASZ
 RKardasz@StoughtonUtilities.com

CITY OF STOUGHTON STREETS & PARKS
 515 SOUTH FOURTH STREET
 STOUGHTON, WI 53589
 608-873-6303 (Office)
 CONTACT: KARL MANTHE
 kmanthe@ci.stoughton.wi.us

CITY OF STOUGHTON FIRE DEPARTMENT
 381 EAST MAIN STREET
 STOUGHTON, WI 53589
 608-873-7218 (Office)
 CONTACT: MARTIN LAMERS
 miamers@ci.stoughton.wi.us

CITY OF STOUGHTON POLICE DEPARTMENT
 321 SOUTH FOURTH STREET
 STOUGHTON, WI 53589
 608-873-3374 (Office)
 CONTACT: GREG LECK
 gleck@ci.stoughton.wi.us

GAS
ALLIANT ENERGY
 1521 PROGRESS LANE
 STOUGHTON, WI 53589-5304
 CONTACT: BRAD NOACK
 608-877-1634 (Office)
 bradleynoack@alliantenergy.com

TELEPHONE
AT&T
 P.O. BOX 791
 MADISON, WI 53701-0791
 608-282-6899 (Office)
 CONTACT: BRIAN SCHULTZ
 bs3154@att.com

CABLE TV
CHARTER COMMUNICATIONS
 1348 Plainfield Ave.
 Janesville, WI 53545
 608-206-0494
 CONTACT: DAVID MOLDENHAVER
 david.moldenhaver@charter.com

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SERVICES PROVIDED TO:
FORWARD DEVELOPMENT GROUP

161 Horizon Drive, Suite 101A
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PROJECT:
KETTLE PARK WEST LOT 7

PROJECT LOCATION:
 STOUGHTON, WI
 DANE COUNTY

JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

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DRAWN:	KTK/ABK	01-25-16
APPROVED:	WHD	01-25-16

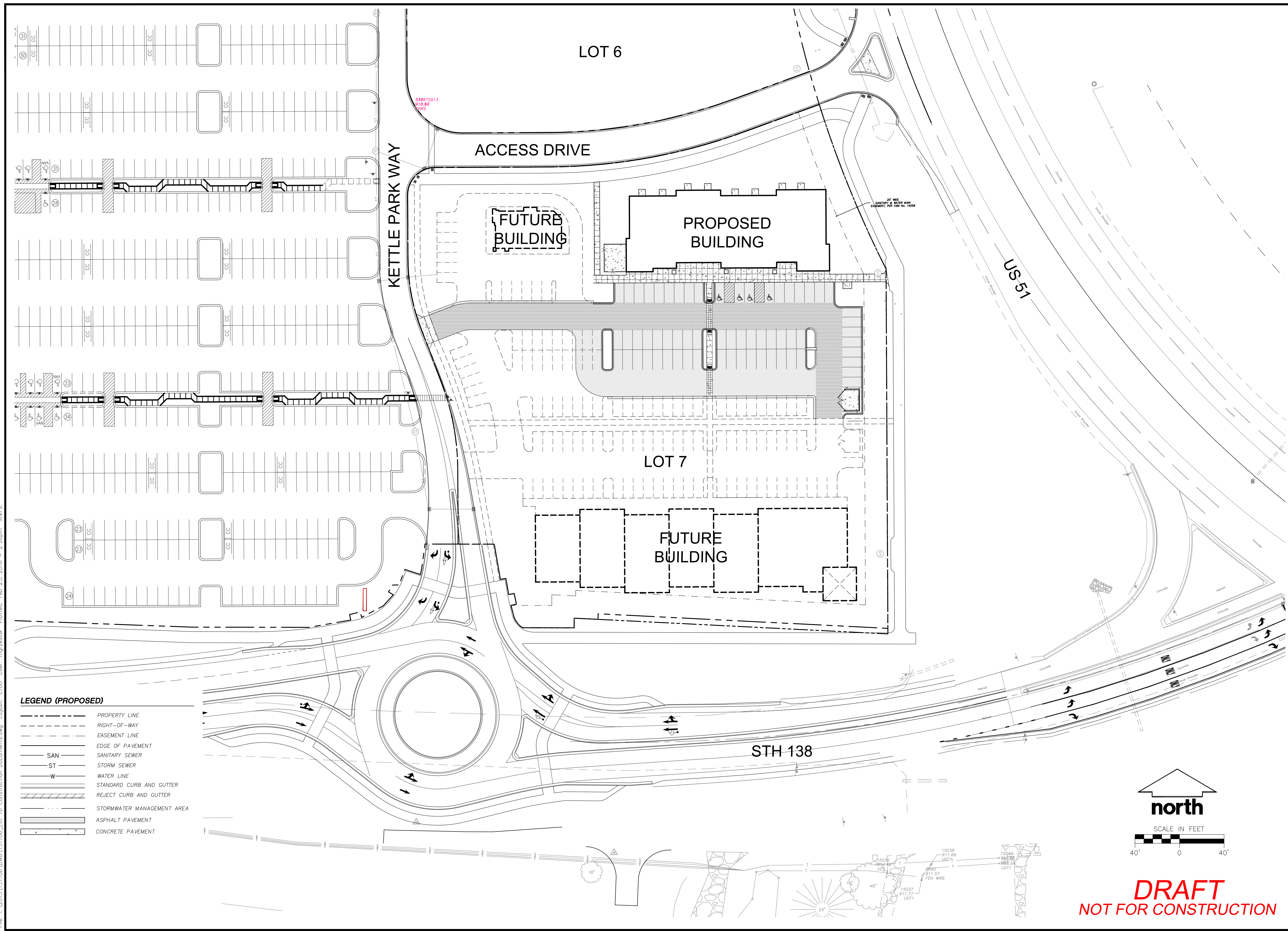
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SIP SUBMITTAL	02-04-16
SIP RESUBMITTAL	02-25-16

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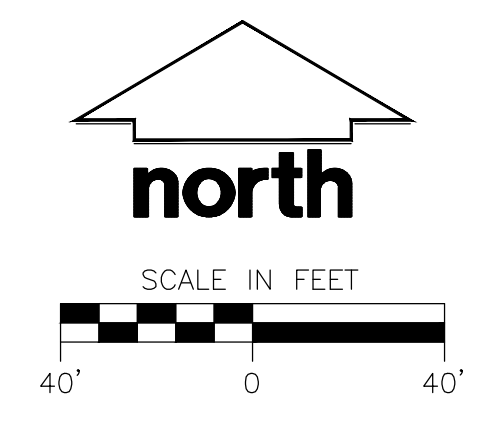
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TS00

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LEGEND (PROPOSED)

---	PROPERTY LINE
- - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	EDGE OF PAVEMENT
---	SAN SANITARY SEWER
---	ST STORM SEWER
---	W WATER LINE
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	STORMWATER MANAGEMENT AREA
---	ASPHALT PAVEMENT
---	CONCRETE PAVEMENT



DRAFT
NOT FOR CONSTRUCTION

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SERVICES PROVIDED TO:
FORWARD DEVELOPMENT GROUP

161 Horizon Drive, Suite 101A
Verona, WI 53593

PROJECT:
KETTLE PARK WEST LOT 7

PROJECT LOCATION:
STOUGHTON, WI
DANE COUNTY

JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

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DRAWN:	KTK/ABK	01-25-16
APPROVED:	WHD	01-25-16

PLAN MODIFICATIONS:	DATE:
SIP SUBMITTAL	01-25-16
SIP SUBMITTAL	02-04-16
SIP RESUBMITTAL	02-25-16

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LOT 7 OVERALL SITE PLAN

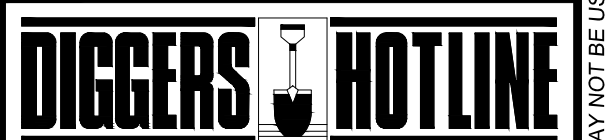
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SIP RESUBMITTAL	02-25-16



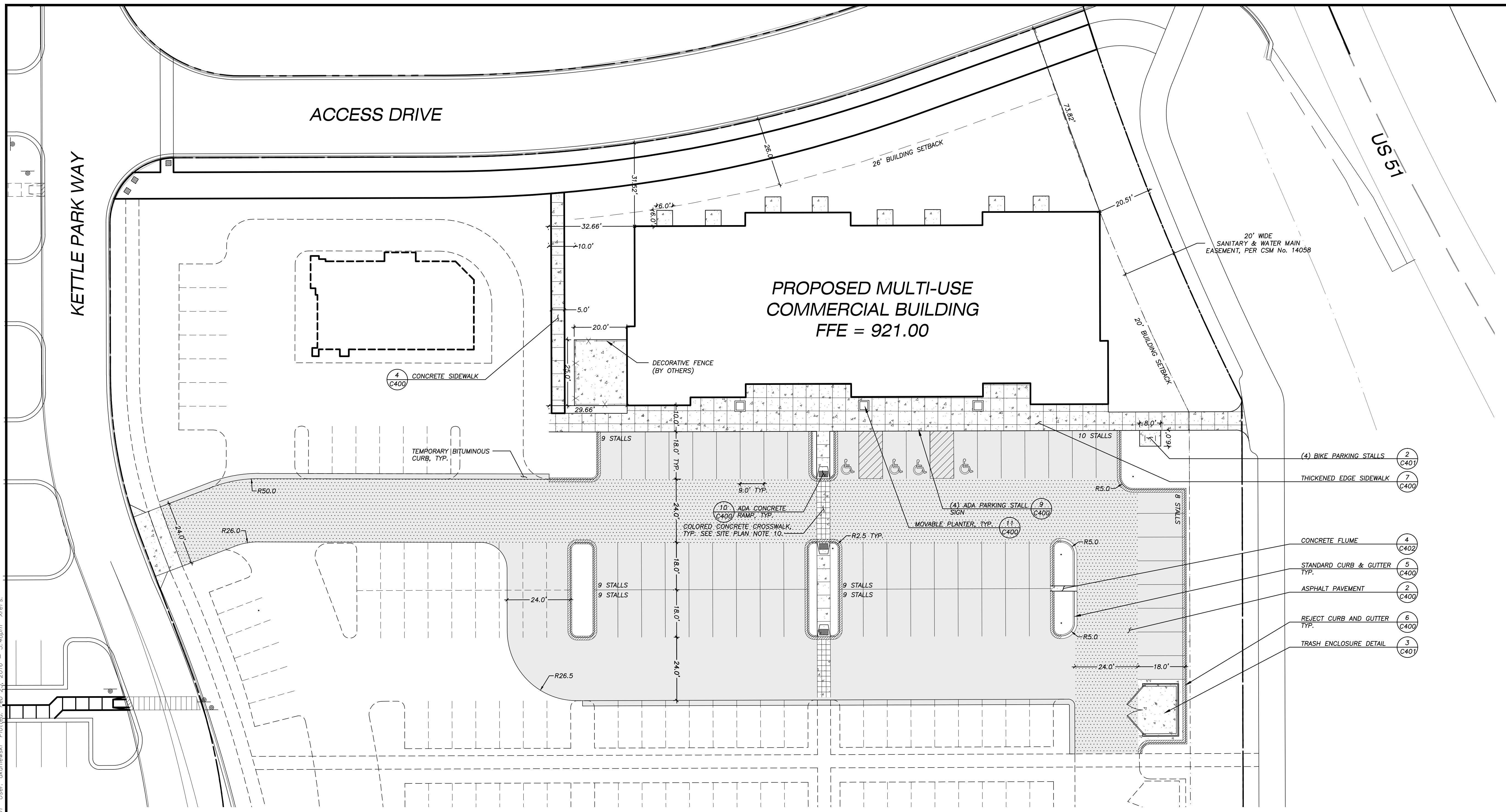
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SITE PLAN

SHEET NUMBER:

C101



LEGEND (PROPOSED)

---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	EDGE OF PAVEMENT
---	SAN SANITARY SEWER
---	ST STORM SEWER
---	W WATER LINE
---	STANDARD CURB AND GUTTER
---	REJECT CURB AND GUTTER
---	ASPHALT PAVEMENT
---	HEAVY DUTY ASPHALT PAVEMENT
---	CONCRETE PAVEMENT
- x - x -	DECORATIVE FENCE

GENERAL NOTES

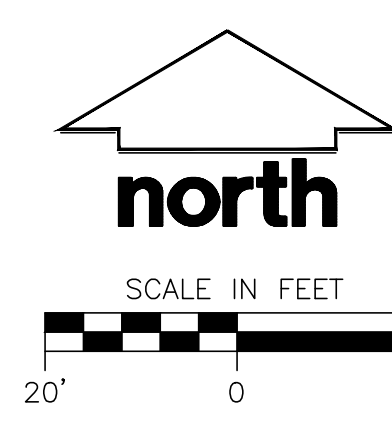
1. REFER TO THE KETTLE PARK WEST COMMERCIAL CENTER (KPW CC) PLANS FOR EXISTING CONDITIONS NOTES AND LEGEND.
2. ALL WORK IN THE ROW AND/OR PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF STOUGHTON STANDARD CONSTRUCTION SPECIFICATIONS AND SHALL BE PERFORMED BY A CITY-LICENSED CONTRACTOR.
3. ALL WORK IN THE ACCESS DRIVE SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF STOUGHTON REQUIREMENTS.
4. JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
5. DRAWING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

SITE PLAN NOTES

1. ALL DIMENSIONS TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. ALL RADII TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL PROVIDE CONTROL JOINTS AND CONSTRUCTION JOINTS OF ONE-QUARTER CONCRETE THICKNESS AT AN EQUAL RATIO OF LENGTH TO WIDTH WHEREVER POSSIBLE WITH A MAXIMUM LENGTH BETWEEN JOINTS OF 8' ON CENTER.
4. CONTRACTOR SHALL PROVIDE EXPANSION JOINTS IN SIDEWALKS AT A MAXIMUM 24' ON CENTER
5. EXTERIOR CONCRETE SURFACES SHALL BE BROOM FINISHED.
6. ALL CONCRETE SURFACES TO BE SEALED WITH TYPE TK-26UV CONCRETE SEALANT.
7. USE 4" WIDE, HIGH VISIBILITY YELLOW LATEX PAINT FOR STALL LINES.
8. MARK AND STRIPE ADA PARKING SPACES APPROPRIATELY.
9. 2' x 4' TRUNCATED DOME SECTIONS SHALL BE PLACED AT ALL ADA RAMPS.
10. COLORED CONCRETE. STANDARD MEDIUM-GREY COLORED CONCRETE WITH SCOFIELD SYSTEMS "CHROMIX" C-32 QUARRY RED ADMIXTURE, BATCHED AND PLACED IN ACCORDANCE WITH MANUFACTURER TECH-DATA BULLETINS. MEDIUM BROOM FINISH PERPENDICULAR TO THE PATH OF PEDESTRIAN TRAVEL. SEAL WITH SCOFIELD SYSTEMS "COLORCURE" CONCRETE SEALER IN QUARRY RED COLOR PER MANUFACTURER SPECIFICATIONS. CONCRETE SHALL BE POURED TO A DEPTH OF 6" ON TOP OF 5" OF CRUSHED AGGREGATE BASE COURSE

SITE INFORMATION BLOCK

Site Address	KETTLE PARK WEST LOT 7, STOUGHTON, WI
Site Acreage (total)	3.797
Number of Building Stories (above grade)	1
Total Building Square Footage	11,909 SF
Use of property	Commercial
Number of parking stalls:	
Surface	
Large Stall	59
Accessible	4
Total Surface	63
Existing vs. Proposed Site Coverage:	
Existing Impervious Surface Area	3,788 S.F.
Existing Pervious Surface Area	161,594 S.F.
Existing Impervious Surface Area Ratio	0.02
Proposed Impervious Surface Area	48,600 S.F.
Proposed Pervious Surface Area	116,782 S.F.
Proposed Impervious Surface Area Ratio	0.29



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SERVICES PROVIDED TO:
FORWARD DEVELOPMENT GROUP

161 Horizon Drive, Suite 101A
 Verona, WI 53593

PROJECT:
KETTLE PARK WEST LOT 7

PROJECT LOCATION:
 STOUGHTON, WI
 DANE COUNTY

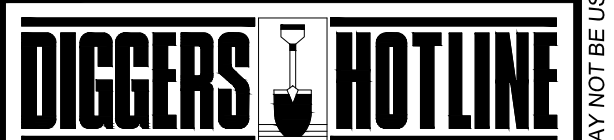
JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	ABK/MGG	01-25-16
DRAWN:	ABK/MGG	01-25-16
APPROVED:	WHD	01-25-16

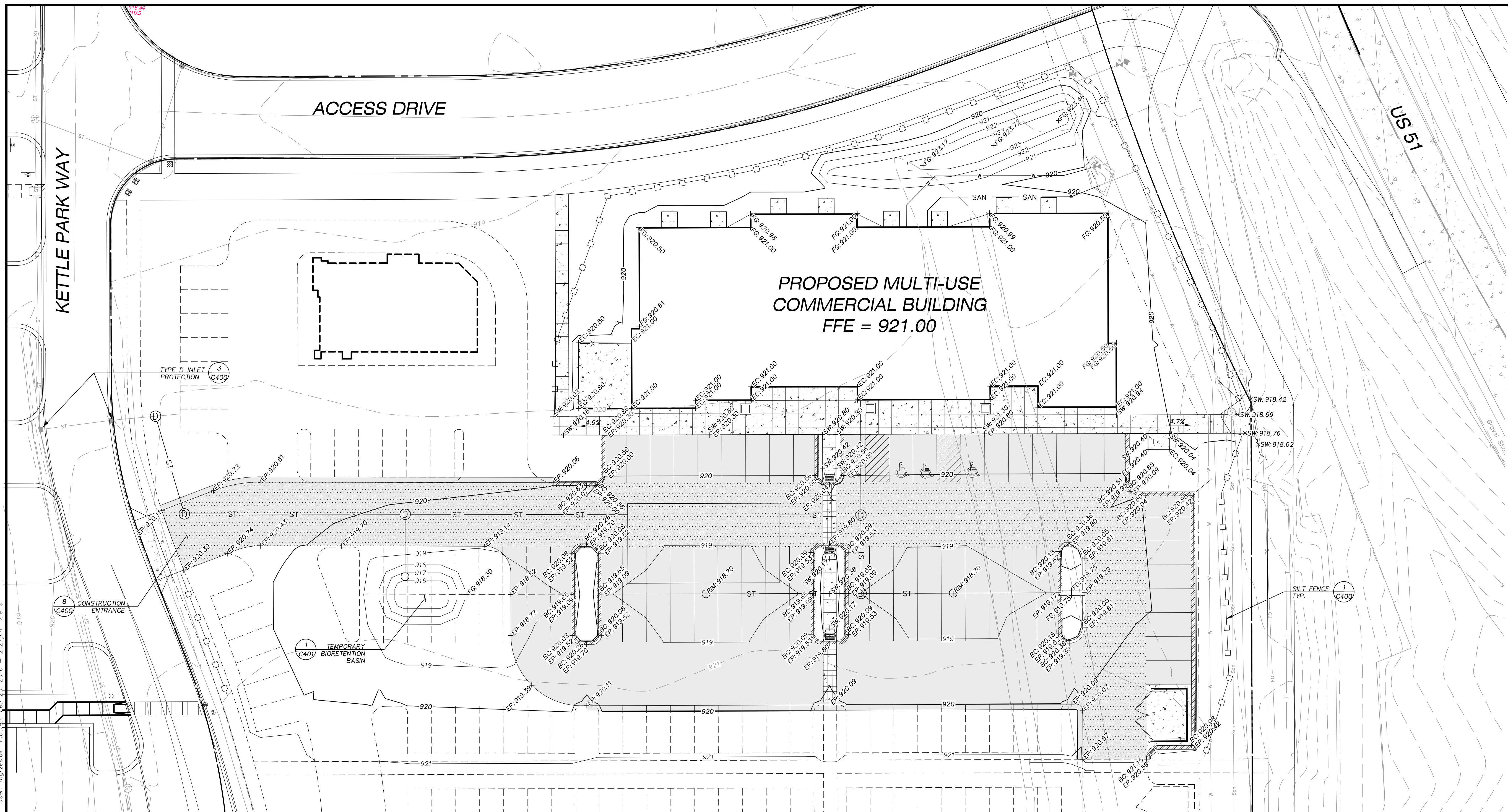
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SIP SUBMITTAL	01-25-16
SIP SUBMITTAL	02-04-16
SIP RESUBMITTAL	02-25-16



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SHEET TITLE:
GRADING AND EROSION CONTROL PLAN

SHEET NUMBER:
C200



LEGEND (PROPOSED)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- ===== EDGE OF PAVEMENT
- X - - - X 5' TALL BLACK VINYL CHAIN LINK FENCE
- ST STORM SEWER
- SAN SANITARY SEWER
- W WATER LINE
- ===== STANDARD CURB AND GUTTER
- ===== REJECT CURB AND GUTTER
- STORMWATER MANAGEMENT AREA
- □ SILT FENCE
- ===== ASPHALT PAVEMENT
- ===== CONCRETE PAVEMENT

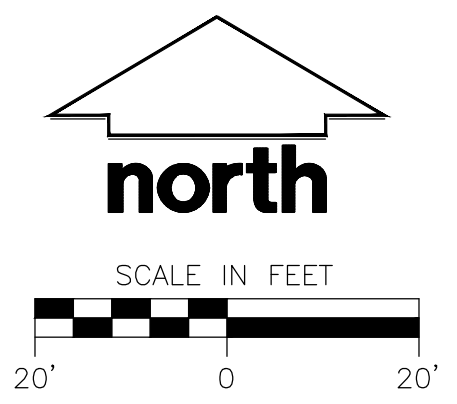
SPOT ELEVATION
 EP - EDGE OF PAVEMENT
 FFE - FIRST FLOOR ELEVATION
 FG - FINAL GRADE
 SW - SIDEWALK
 TS - TOP STEP
 BS - BOTTOM STEP
 EC - EDGE OF CONCRETE
 BFE - BASEMENT FLOOR ELEVATION
 TW - TOP WALL (AT FINISH GRADE)
 BW - TOP WALL (AT FINISH GRADE)

- GENERAL NOTES**
- REFER TO KPW-CC CONSTRUCTION PLAN SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION.
 - ALL WORK IN THE ROW AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN, WISDOT STANDARD SPECIFICATIONS FOR HIGHWAY AND STRUCTURE CONSTRUCTION, AND CITY OF STOUGHTON STANDARD CONSTRUCTION SPECIFICATIONS.
 - EXISTING GRADE SPOT ELEVATIONS SHOWN FOR INFORMATIONAL PURPOSES. DURING CONSTRUCTION, MATCH EXISTING GRADES AT PROPERTY BOUNDARIES.
 - JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
 - DRAINING FOR REVIEW - NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.

- CONSTRUCTION SITE EROSION CONTROL REQUIREMENTS**
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH THE WDRN CONSTRUCTION SITE EROSION & SEDIMENT CONTROL TECHNICAL STANDARDS (FORMERLY REFERRED TO AS BMP'S). IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS.
 - INSTALL EROSION CONTROL MEASURES PRIOR TO ANY SITE WORK, INCLUDING GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIALS AS SHOWN ON PLAN. MODIFICATIONS TO SEDIMENT CONTROL DESIGN MAY BE CONDUCTED TO MEET UNFORESEEN FIELD CONDITIONS IF MODIFICATIONS CONFORM TO WDRN TECHNICAL STANDARDS.
 - INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
 - INSPECT EROSION CONTROL MEASURES AFTER EACH 1/2" OR GREATER RAINFALL. REPAIR ANY DAMAGE OBSERVED DURING THE INSPECTION.
 - EROSION CONTROL MEASURES SHALL BE REMOVED ONLY AFTER SITE CONSTRUCTION IS COMPLETE WITH ALL SOIL SURFACES HAVE AN ESTABLISHED VEGETATIVE COVER.
 - ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY STATE INSPECTORS, LOCAL INSPECTORS, AND/OR ENGINEER SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.

- INSTALL A TRACKING PAD, 50' LONG AND NO LESS THAN 12" THICK BY USE OF 3" CLEAR STONE. TRACKING PADS ARE TO BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT ONTO THE ADJACENT PUBLIC STREETS AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED BY THE CITY OF STOUGHTON.
- INSTALL EROSION CONTROLS ON THE DOWNSTREAM SIDE OF STOCKPILES.
- ALL SOIL STOCKPILES WHICH ARE NOT USED FOR A MINIMUM OF 10 DAYS SHALL BE TEMPORARILY SEEDED PER WDRN CONSTRUCTION SITE EROSION & SEDIMENT CONTROL TECHNICAL STANDARDS.
- EROSION CONTROL FOR UTILITY CONSTRUCTION (STORM SEWER, SANITARY SEWER, WATER MAIN, E.T.C.):
 A. PLACE EXCAVATED TRENCH MATERIAL ON THE HIGH SIDE OF THE TRENCH.
 B. BACKFILL, COMPACT, AND STABILIZE THE TRENCH IMMEDIATELY AFTER PIPE CONSTRUCTION.
 C. DISCHARGE TRENCH WATER INTO A SEDIMENTATION BASIN OR FILTERING TANK IN ACCORDANCE WITH THE DEWATERING TECHNICAL STANDARD NO. 1061 PRIOR TO RELEASE INTO THE STORM SEWER, RECEIVING STREAM, OR DRAINAGE DITCH.
- APPLY ANIONIC POLYMER OR EROSION MATTING TO DISTURBED AREAS IF EROSION BECOMES PROBLEMATIC.
- ALL SLOPES EXCEEDING 5:1 (20%) SHALL BE STABILIZED WITH CLASS I, TYPE B EROSION MATTING OR APPLICATION OF A WDOT APPROVED POLYMER SOIL STABILIZATION TREATMENT OR A COMBINATION THEREOF, AS REQUIRED. CONTRACTOR SHALL PROVIDE PRODUCT SPECIFICATIONS TO PROJECT ENGINEER FOR APPROVAL.
- CONTRACTOR SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDRN AND CITY OF STOUGHTON REQUIREMENTS.
- CONTRACTOR SHALL FILE A NOTICE OF TERMINATION UPON VEGETATIVE STABILIZATION AND/OR PROPERTY SALE IN ACCORDANCE WITH WDRN AND CITY OF STOUGHTON REQUIREMENTS.
- CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES WITH SILT FENCING FOR EROSION CONTROL UNTIL CONSTRUCTION IS COMPLETED.
- CONTRACTOR SHALL WATER ALL NEWLY SEEDED AREAS DURING THE SUMMER MONTHS WHENEVER THERE IS A 7 DAY LAPSE WITH NO SIGNIFICANT RAINFALL.
- INSTALL TYPE D INLET PROTECTION ON ALL INLETS.
- WORK BY OTHER CONTRACTORS ON THE KPW-CC IMPROVEMENTS WILL OCCUR CONCURRENTLY. PERIMETER EROSION CONTROL MEASURES ON THE SITE WILL BE MAINTAINED BY THE CONTRACTOR UPON START OF CONSTRUCTION.

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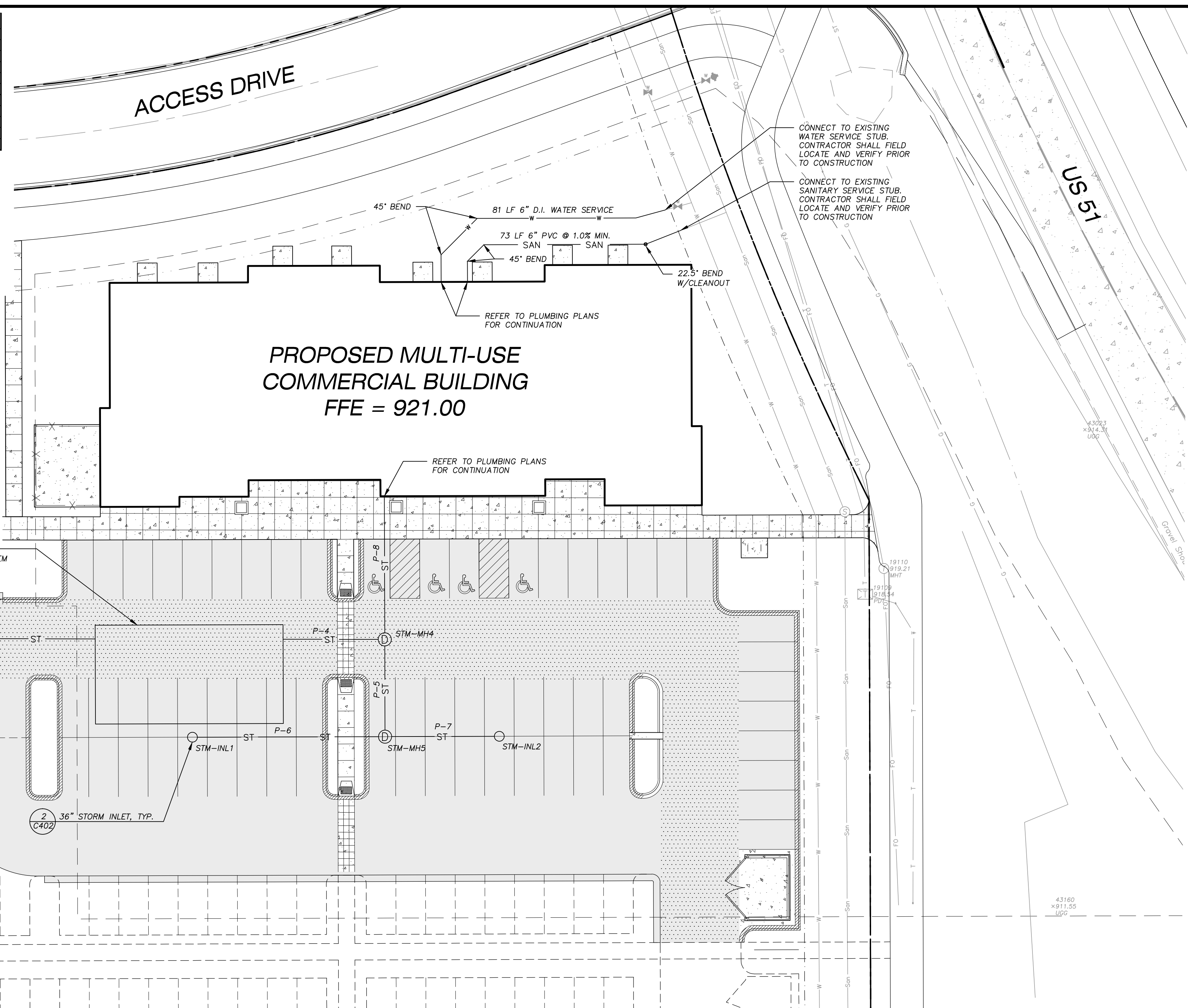


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PROPOSED STORM SEWER STRUCTURES SCHEDULE					
LABEL	INVERT ELEV. (FT)	RIM ELEV. (FT)	DEPTH (FT)	STRUCTURE DESCRIPTION	GRATE
STM-MH1	915.40	920	4.60	48-IN DIA. CONC MANHOLE	SOLID LID
STM-MH2	915.48	920.36	4.88	2x3' CONCRETE BOX	R-3067, TYPE C GRATE
STM-MH3	915.77	919.14	3.37	36-IN DIA. CONC. INLET	TYPE C GRATE
UGI-MH1	916.05	919.55	3.50	48-IN DIA. CONC MANHOLE	SOLID LID
UGI-MH2	916.15	919.44	3.29	48-IN DIA. CONC MANHOLE	SOLID LID
STM-MH4	916.22	919.62	3.40	48-IN DIA. CONC MANHOLE	SOLID LID
STM-MH5	916.38	918.99	2.61	48-IN DIA. CONC MANHOLE	SOLID LID
STM-INL1	916.61	918.70	2.09	36-IN DIA. CONC. INLET	TYPE C GRATE
STM-INL2	916.56	918.70	2.14	36-IN DIA. CONC. INLET	TYPE C GRATE
OS1	914.12	917.00	2.88	36-IN DIA. CONC. INLET	TYPE C GRATE

PROPOSED STORM SEWER PIPE SCHEDULE							
PIPE LABEL	FROM	TO	LENGTH (FT)	INVERT ELEVATION (FT)	DISCHARGE ELEVATION (FT)	SLOPE (%)	PIPE SIZE & TYPE
P-1	STM-MH2	STM-MH1	38	915.48	915.40	0.22%	18"HDPE
P-2	STM-MH3	STM-MH2	83	915.77	915.58	0.22%	18"HDPE
P-3	UGI-MH1	STM-MH3	84.00	916.05	915.87	0.22%	15"HDPE
P-4	STM-MH4	UGI-MH2	31.00	916.22	916.15	0.22%	15"HDPE
P-5	STM-MH5	STM-MH4	29.00	916.38	916.32	0.22%	15"HDPE
P-6	STM-INL1	STM-MH5	58.00	916.61	916.48	0.22%	12"HDPE
P-7	STM-INL2	STM-MH5	35.00	916.56	916.48	0.22%	12"HDPE
P-8	BUILDING	STM-MH4	44.00	916.42	916.32	0.22%	12"HDPE
P-9	OS1	STM-MH3	23.50	914.12	914.00	0.50%	12"HDPE



LEGEND (PROPOSED)	
---	PROPERTY LINE
- - - -	RIGHT-OF-WAY
- · - · -	EASEMENT LINE
---	EDGE OF PAVEMENT
X - X	5' TALL BLACK VINYL CHAIN LINK FENCE
ST	STORM SEWER
SAN	SANITARY SEWER
W	WATER LINE
=====	STANDARD CURB AND GUTTER
=====	REJECT CURB AND GUTTER
.....	STORMWATER MANAGEMENT AREA
□	SILT FENCE
▨	ASPHALT PAVEMENT
▩	CONCRETE PAVEMENT

- GENERAL NOTES**
- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
 - ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF STOUGHTON REQUIREMENTS.
 - NO SITE GRADING OUTSIDE OR DOWNSLOPE OF PROPOSED SILT FENCE LOCATION. NO LAND DISTURBANCE BEYOND PROPERTY LINES UNLESS OTHERWISE SHOWN.
 - THIS PROJECT HAS BEEN DESIGNED AND WILL BE CONSTRUCTED IN COMPLIANCE WITH ALL OF THE WDR WRAPP PERMIT APPLICATION STANDARDS.

- UTILITY NOTES**
- ALL WORK IN THE RIGHT OF WAY SHALL BE DONE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER & WATER CONSTRUCTION IN WISCONSIN, LATEST EDITION AND CITY OF STOUGHTON REQUIREMENTS.
 - DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD.
 - IF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WITHIN THE PLAN BECOME APPARENT, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
 - LENGTHS OF ALL UTILITIES ARE TO CENTER OF STRUCTURES OR FITTINGS AND MAY VARY SLIGHTLY FROM PLAN. LENGTHS SHALL BE VERIFIED IN THE FIELD DURING CONSTRUCTION.
 - ALL CONSTRUCTION SIGNING TO BE IN ACCORDANCE WITH THE CITY OF STOUGHTON AND WISCONSIN DEPARTMENT OF TRANSPORTATION REQUIREMENTS.
 - ALL PRIVATE WATER MAIN AND WATER SERVICES SHALL BE INSTALLED WITH A 5' MINIMUM BURY.
 - MAINTAIN AN 8 FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY SEWER AND WATER MAINS. PROVIDE 18" MINIMUM VERTICAL SEPARATION WHERE SEWER CROSSES OVER WATER.
 - THE CONTRACTOR SHALL INSTALL A PEDESTRIAN FENCE AROUND ALL EXCAVATIONS TO BE LEFT OPEN OVER NIGHT AS REQUIRED.
 - RESTORATION OF THE EXISTING ROADWAY RIGHT-OF-WAYS ARE CONSIDERED INCIDENTAL AND SHOULD BE PART OF THE COST OF THE UNDERGROUND IMPROVEMENTS AND SHOULD INCLUDE PAVEMENT, CURB & GUTTER, SIDEWALK, TOPSOIL, FERTILIZER, SEEDING AND MULCHING.
 - THE PROPOSED IMPROVEMENTS MUST BE CONSTRUCTED IN ACCORDANCE WITH ENGINEERING PLANS DESIGNED TO MEET ORDINANCES AND REQUIREMENTS OF THE MUNICIPALITY AND WSDOT, WISDPS, AND WDRN.

- PRIOR TO CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR:
 - EXAMINING ALL SITE CONDITIONS RELATIVE TO THE CONDITIONS INDICATED ON THE ENGINEERING DRAWINGS. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER AND RESOLVED PRIOR TO THE START OF CONSTRUCTION.
 - OBTAINING ALL PERMITS INCLUDING PERMIT COSTS, TAP FEES, METER DEPOSITS, BONDS, AND ALL OTHER FEES REQUIRED FOR PROPOSED WORK TO OBTAIN OCCUPANCY.
 - VERIFYING UTILITY ELEVATIONS AND NOTIFYING ENGINEER OF ANY DISCREPANCY. NO WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS RESOLVED.
 - NOTIFYING ALL UTILITIES PRIOR TO THE INSTALLATION OF ANY UNDERGROUND IMPROVEMENTS.
 - NOTIFYING THE DESIGN ENGINEER AND MUNICIPALITY (STOUGHTON UTILITIES AT 608.873.3379) 48 HOURS PRIOR TO THE START OF CONSTRUCTION TO ARRANGE FOR APPROPRIATE CONSTRUCTION OBSERVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ENGINEER WITH AS-BUILT CONDITIONS OF THE DESIGNATED IMPROVEMENTS IN ORDER THAT THE APPROPRIATE DRAWINGS CAN BE PREPARED, IF REQUIRED. ANY CHANGES TO THE DRAWINGS OR ADDITIONAL ITEMS MUST BE REPORTED TO THE ENGINEER AS WORK PROGRESSES.
- THE PRIME CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION WITH OTHER CONTRACTORS INVOLVED WITH CONSTRUCTION OF THE PROPOSED DEVELOPMENT AND FOR REPORTING ANY ERRORS OR DISCREPANCIES BETWEEN THESE PLANS AND PLANS PREPARED BY OTHERS.
- ANY SANITARY SEWER, SANITARY SEWER SERVICES, WATER MAIN, WATER SERVICES, STORM SEWER, OR OTHER UTILITIES, WHICH ARE DAMAGED BY THE CONTRACTORS, SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR IS RESPONSIBLE FOR SITE SAFETY DURING THE CONSTRUCTION OF IMPROVEMENTS.
- CONTRACTOR SHALL NOTIFY STOUGHTON UTILITIES (608.873.3379) A MINIMUM OF 48 HOURS BEFORE CONNECTING TO PUBLIC UTILITIES. STRAND ASSOCIATES, INC. SHALL PROVIDE INSPECTION ON THE BEHALF OF STOUGHTON UTILITIES AT THE OWNERS EXPENSE.
- ALL NON-METALLIC BUILDING SEWER AND WATER SERVICES MUST BE INSTALLED WITH A TRACER WIRE IN ACCORDANCE WITH SPS 382.30(11)(h).
- ALL PRIVATE SANITARY BUILDING SEWER PIPE AND TUBING SHALL CONFORM TO SPS 384.30-3.
- ALL PRIVATE STORM BUILDING PIPE AND TUBING SHALL CONFORM TO SPS 384.30-6.
- ALL PRIVATE PIPE AND TUBING FOR WATER SERVICE SHALL CONFORM TO SPS 384.30-7.
- ALL STORM SEWER WITH LESS THAN 48" OF BURY SHALL BE PROVIDED WITH FROST PROTECTION.
- PROVIDE SLEEVE FOR WATER SERVICE THROUGH FOUNDATION AS REQUIRED.

JSD Professional Services, Inc.
 • Engineers • Surveyors • Planners

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161 Horizon Drive, Suite 101A
 Verona, WI 53593

PROJECT:
KETTLE PARK WEST LOT 7

PROJECT LOCATION:
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JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

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DESIGN:	DATE:
MGS	01-25-16
DRAWN:	DATE:
ABK/MGG	01-25-16
APPROVED:	DATE:
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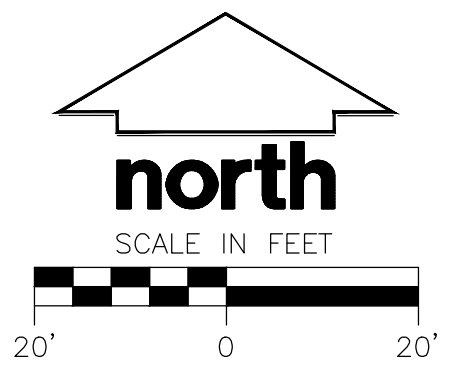
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SHEET TITLE:
UTILITY PLAN

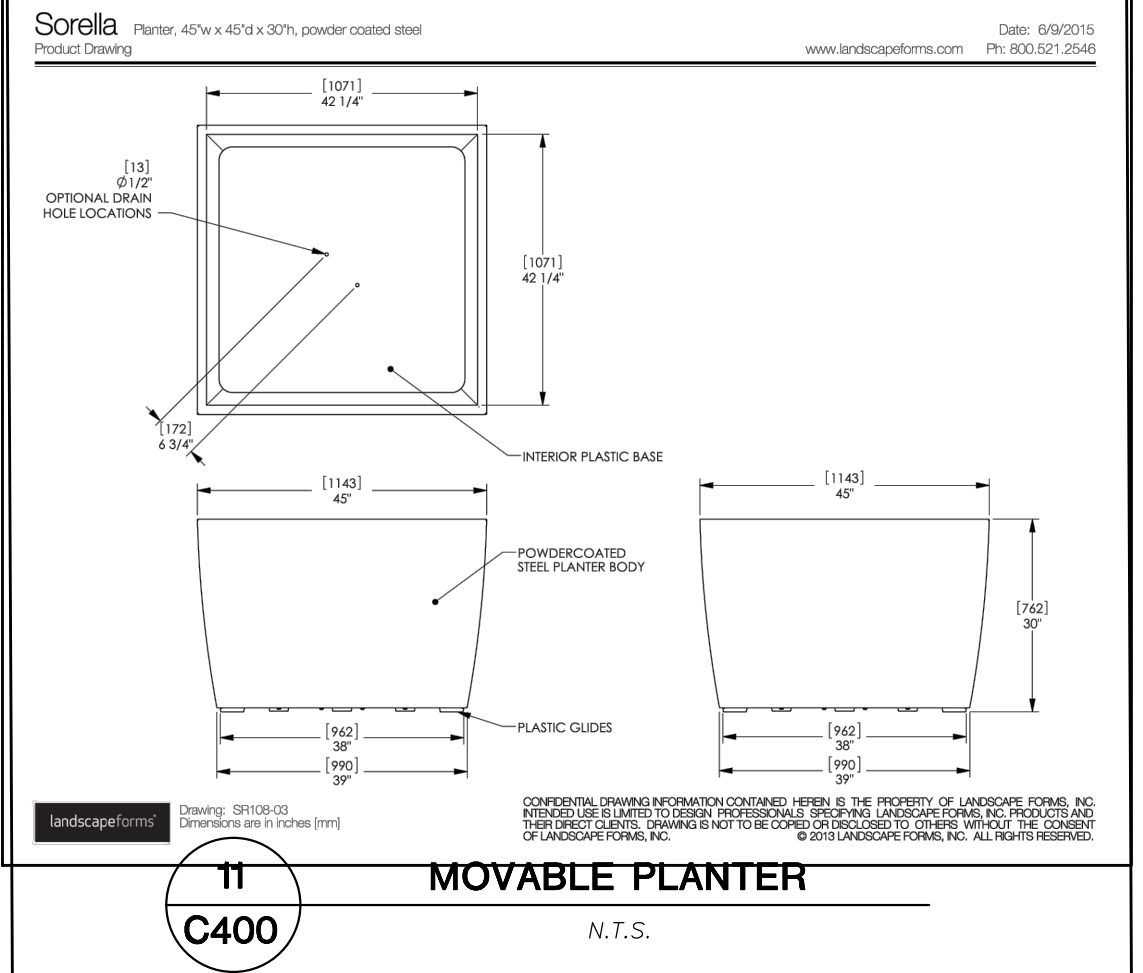
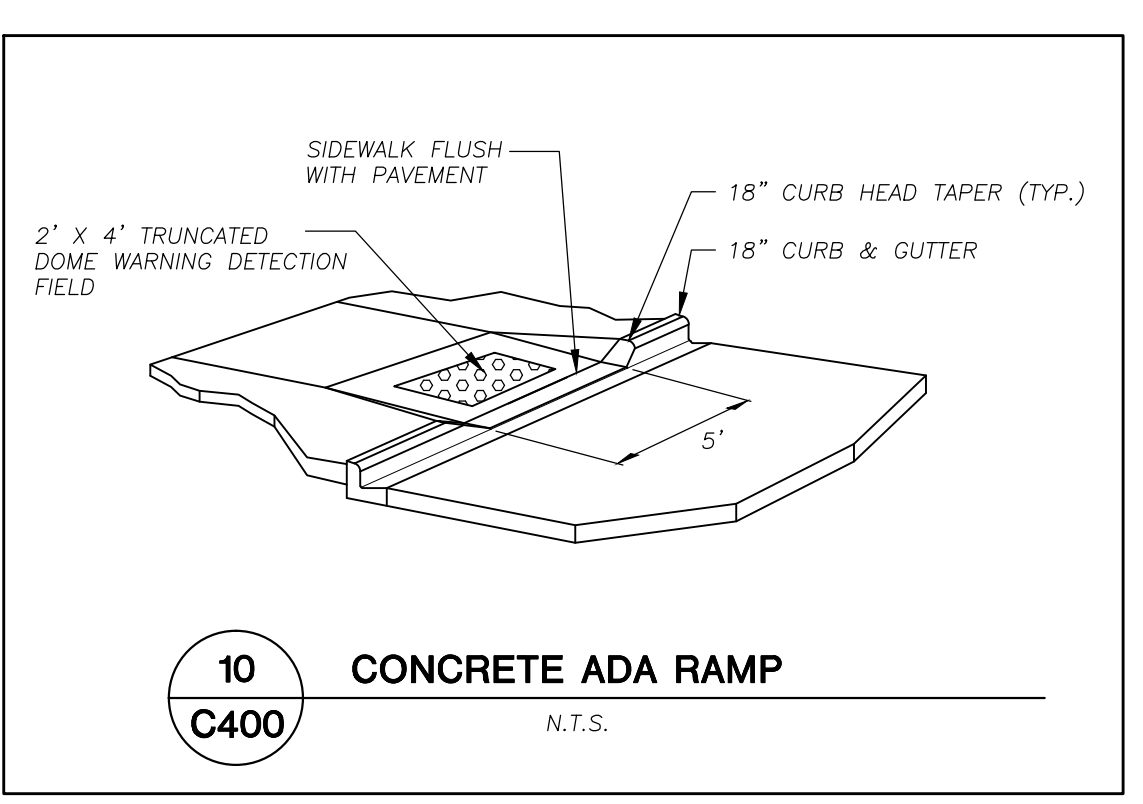
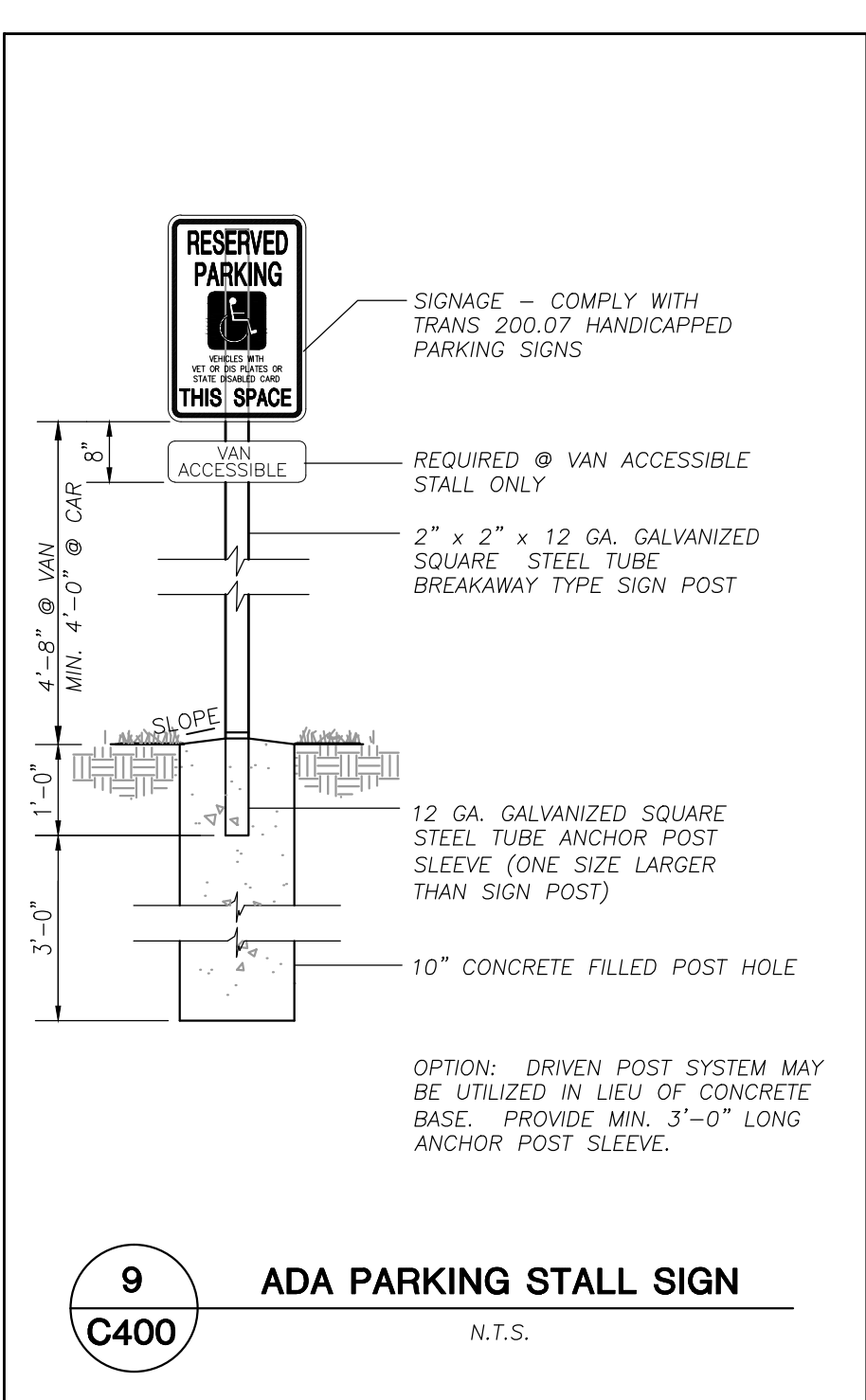
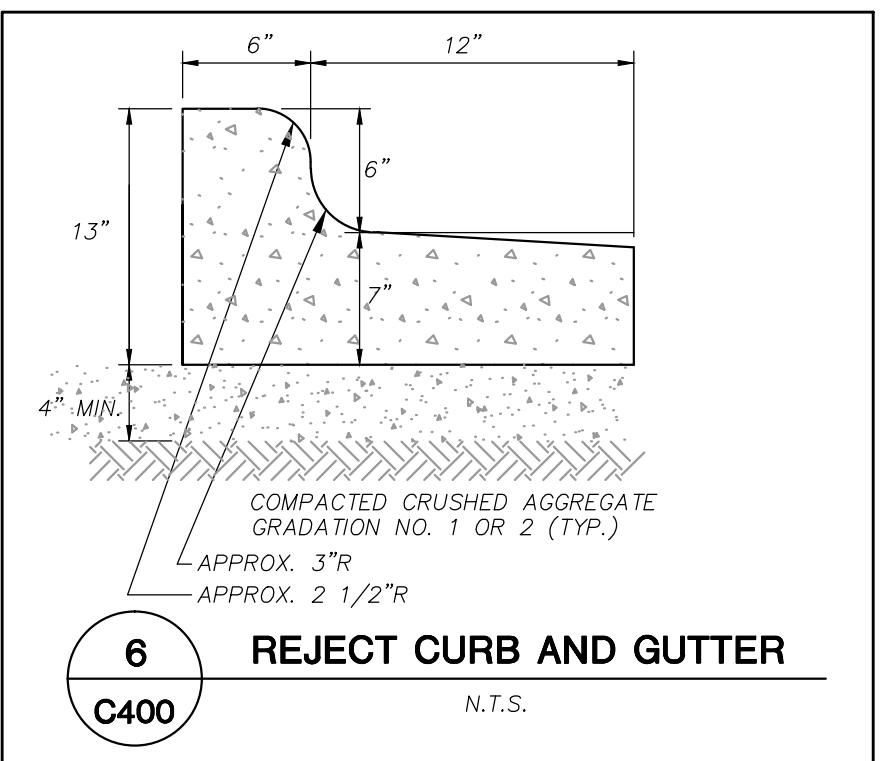
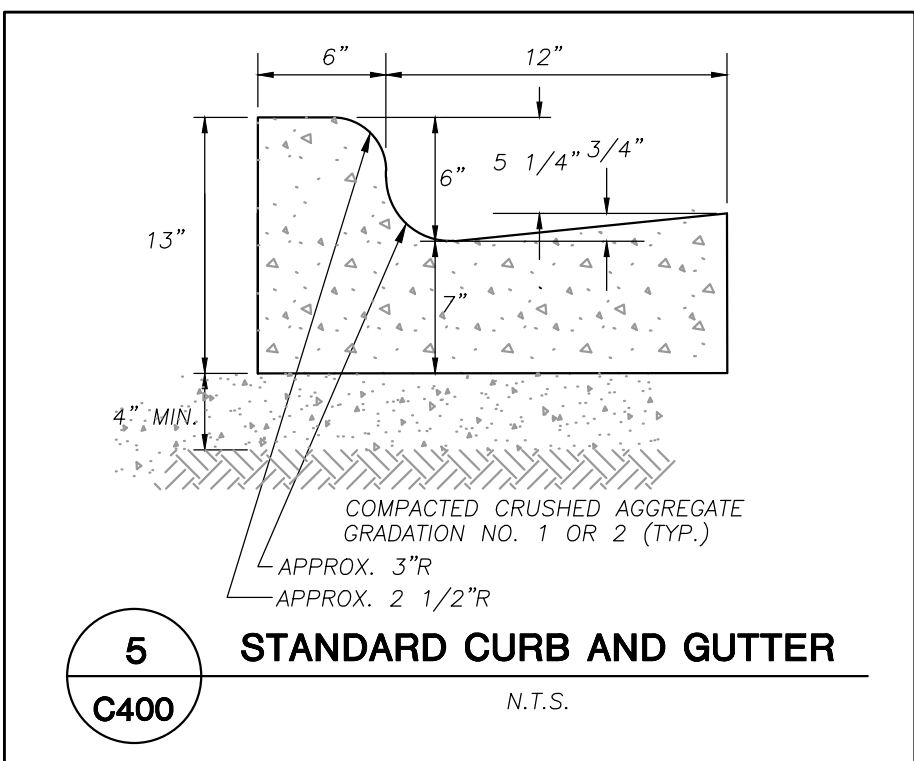
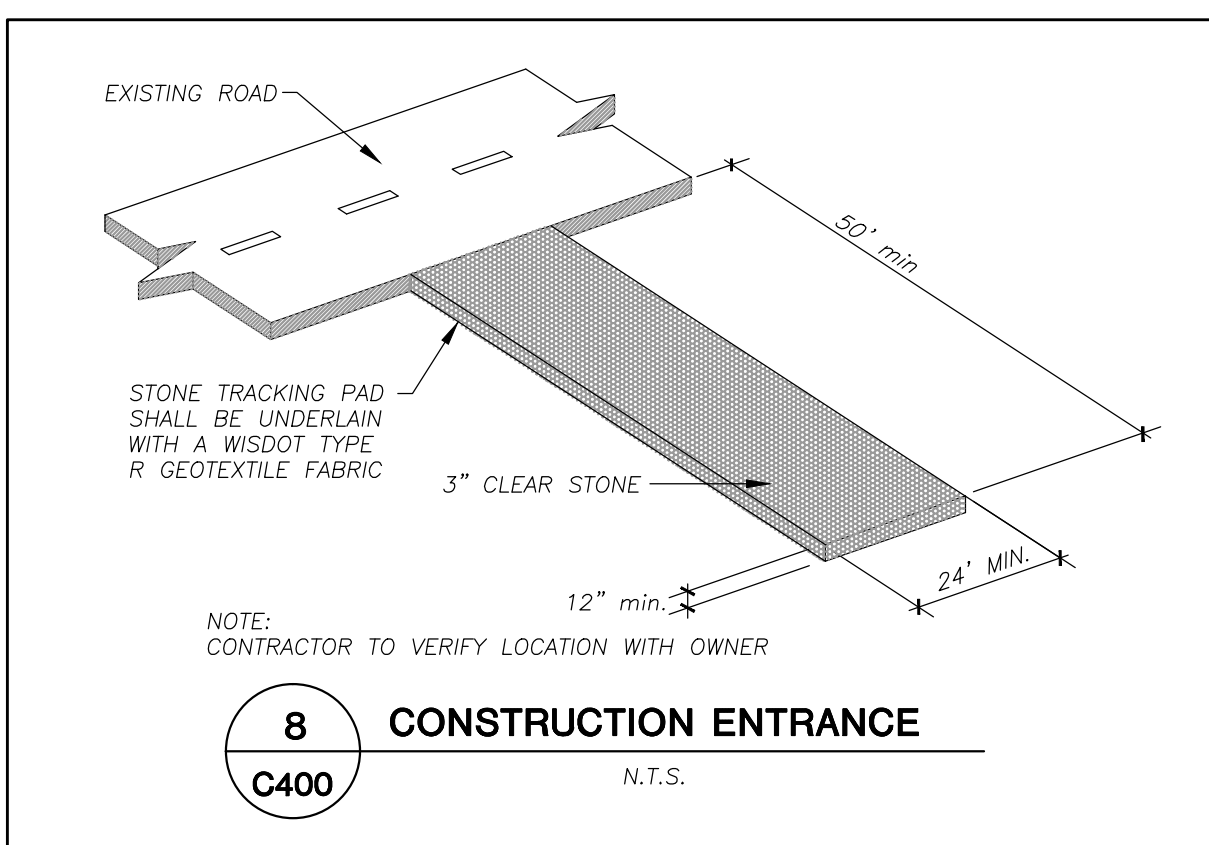
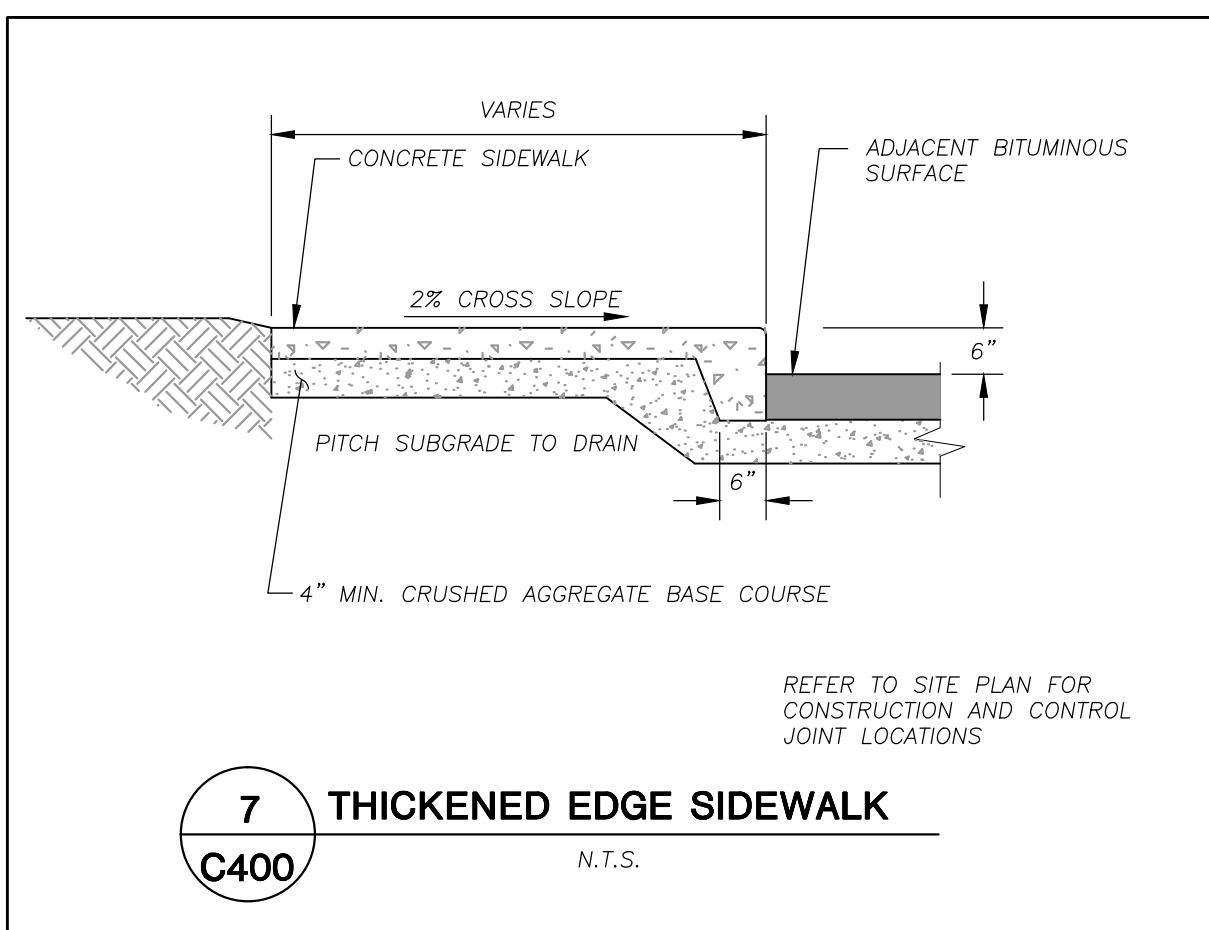
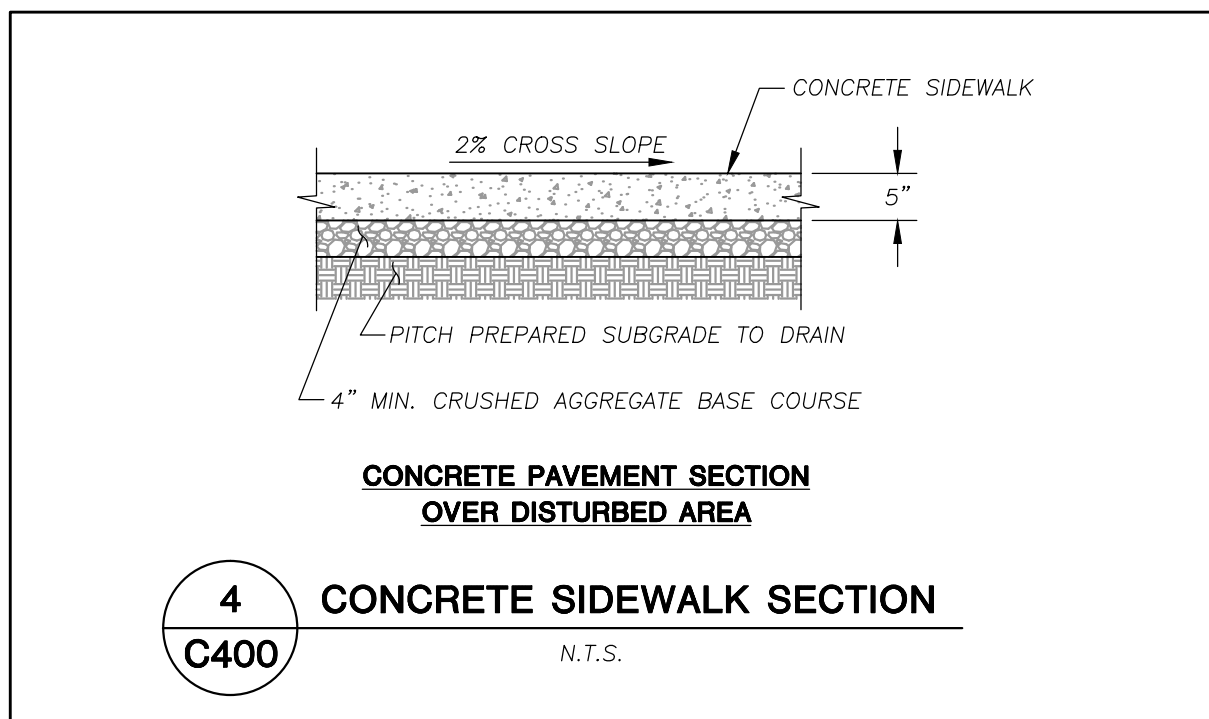
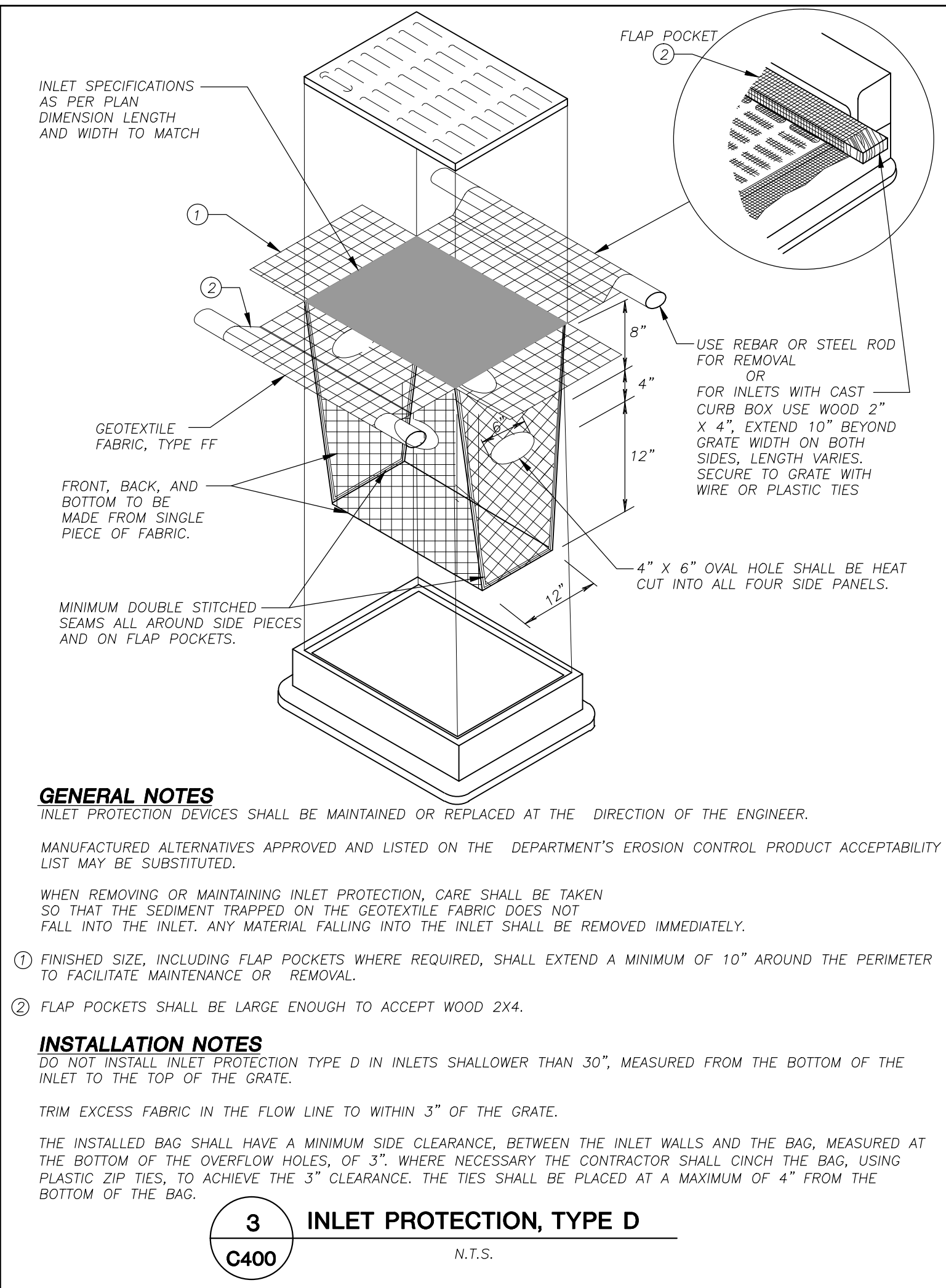
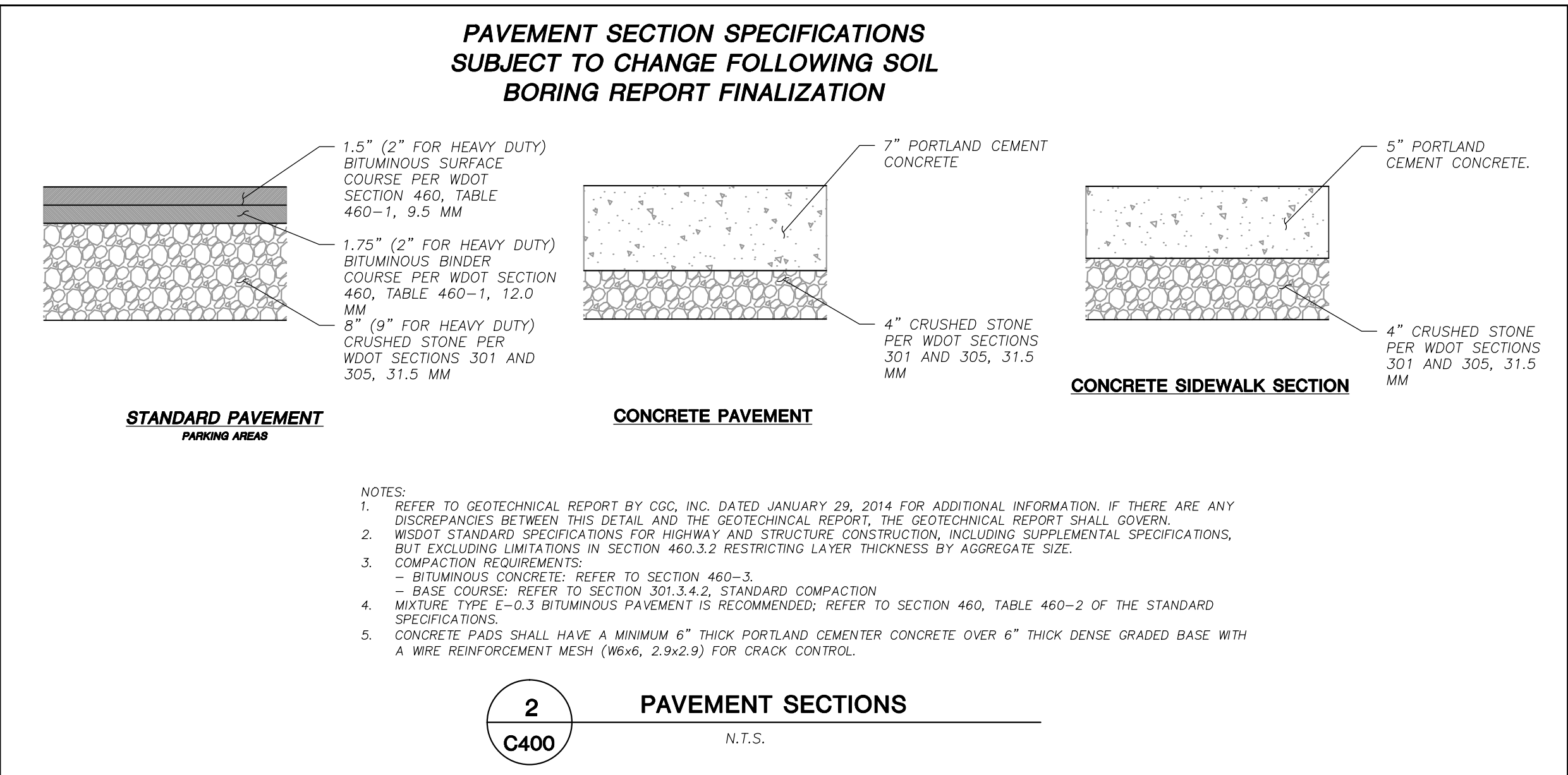
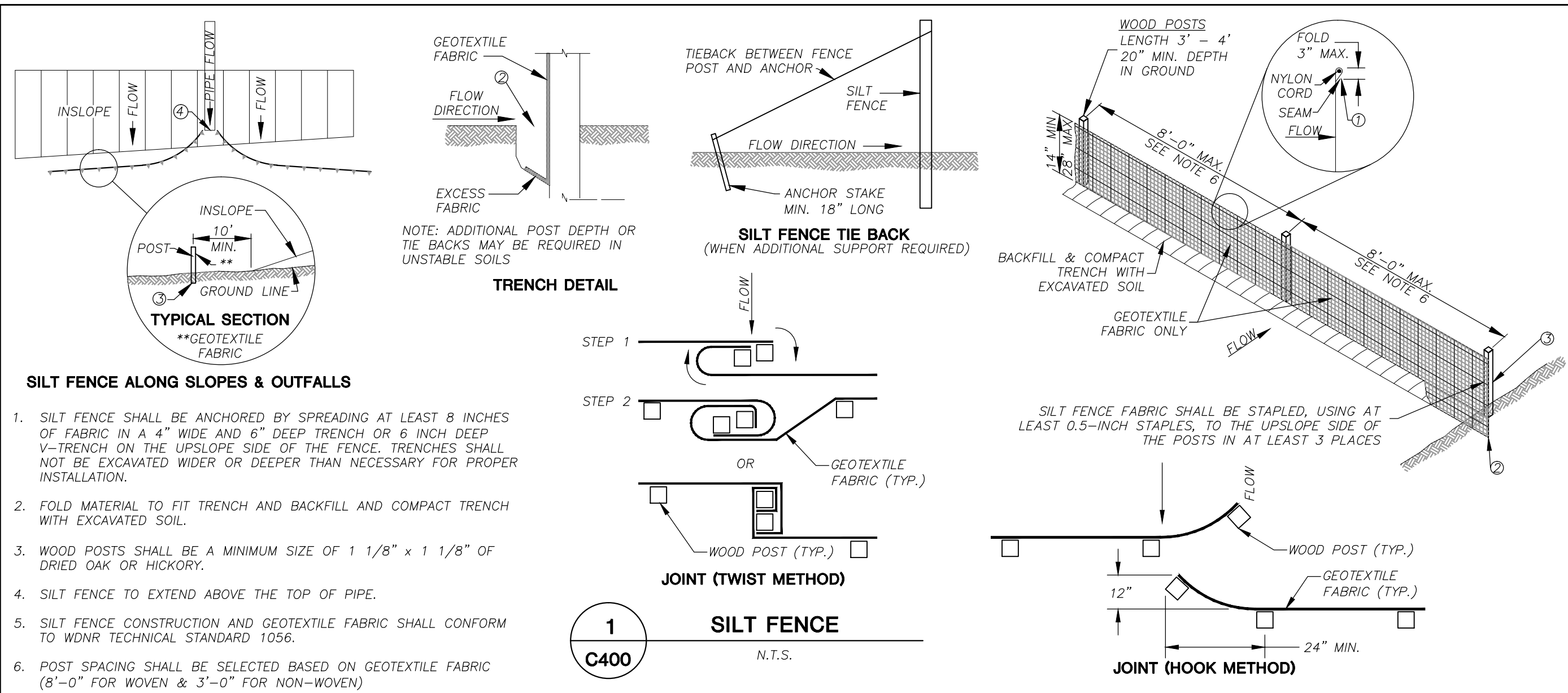
SHEET NUMBER:
C300

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SERVICES PROVIDED TO:

FORWARD DEVELOPMENT GROUP

161 Horizon Drive, Suite 101A
Verona, WI 53593

PROJECT:
KETTLE PARK WEST LOT 7

PROJECT LOCATION:
STOUGHTON, WI
DANE COUNTY

JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:
DRAWN: ABKMGKTK 01-25-16
APPROVED: WHD 01-25-16

PLAN MODIFICATIONS:

NO.	DATE	DESCRIPTION
1	01-25-16	SIP SUBMITTAL
2	02-04-16	SIP SUBMITTAL
3	02-25-16	SIP RESUBMITTAL

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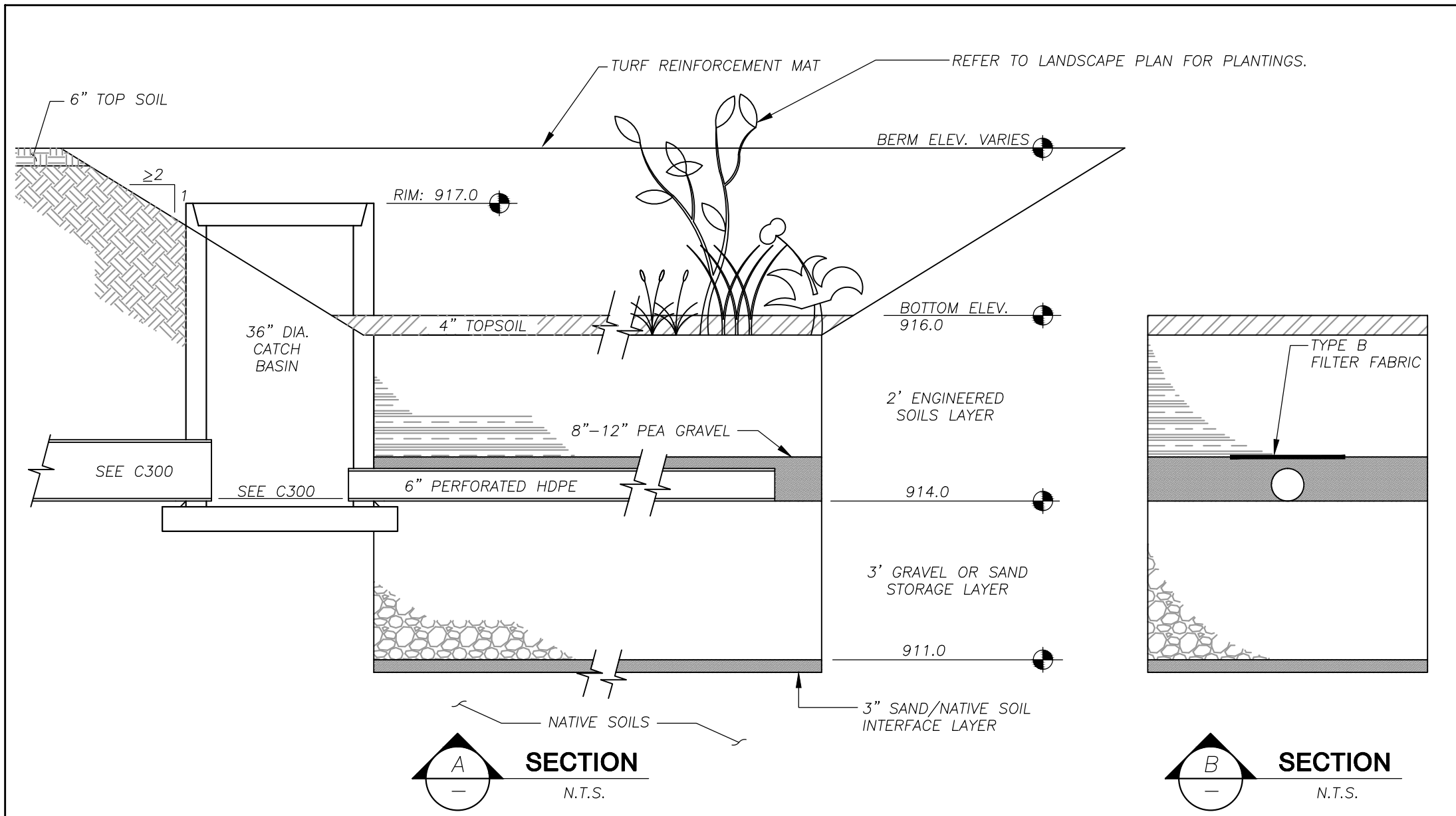
SHEET TITLE:
DETAILS

SHEET NUMBER:
C400

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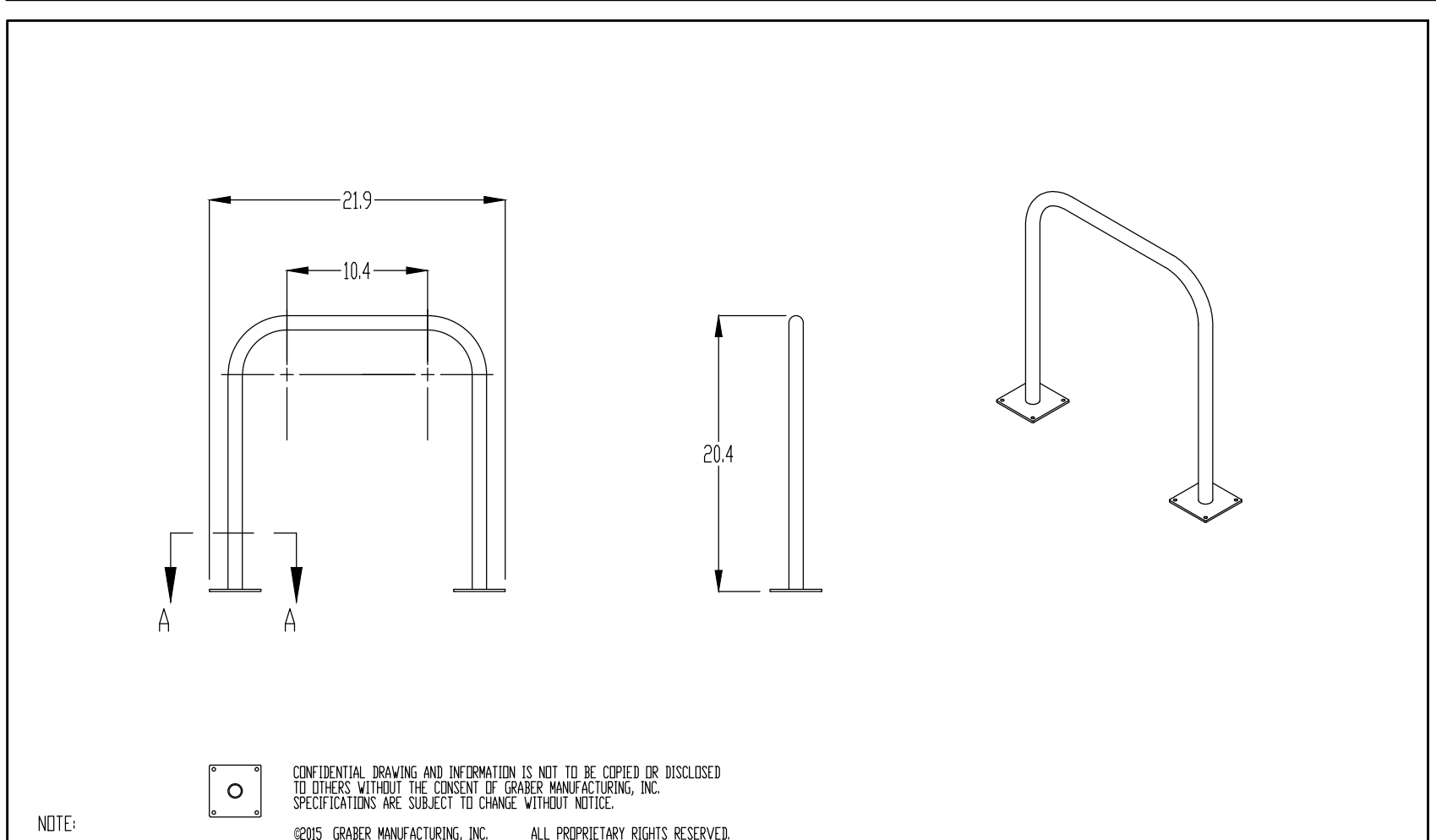


- GENERAL NOTES:**
- ALL CONSTRUCTION PRACTICES SHALL MEET THE SPECIFICATIONS OF THE WDNR TECHNICAL STANDARD 1004 - BIORETENTION FOR INFILTRATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THIS STANDARD AND CONSTRUCT THE BIORETENTION DEVICE IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED THEREIN.
 - CONTRACTOR SHALL INSTALL 36" OF ENGINEERED SOIL CONSISTING OF: 70% ASTM C33 SAND, 30% CERTIFIED COMPOST (SEE GENERAL NOTE 3).
 - CERTIFIED COMPOST SHALL CONSIST OF: >40% ORGANIC MATTER, <60% ASH CONTENT, pH OF 6-8, AND MOISTURE CONTENT OF 35-50% BY WEIGHT.
 - SAND/NATIVE SOIL INFILTRATION LAYER SHALL BE FORMED BY A LAYER OF SAND 3 INCHES DEEP, WHICH IS VERTICALLY MIXED WITH THE NATIVE SOIL TO A DEPTH OF 2-4 INCHES.
 - FILTER FABRIC SHALL BE PLACED ABOVE THE PERFORATED PIPE, BETWEEN THE PEA GRAVEL AND THE ENGINEERED SOIL, A WIDTH OF 4 FEET CENTERED OVER THE FLOW LINE OF THE PIPE.
 - ANNUAL RYE GRASS SHALL BE SEEDING AT 40 LB/ACRE WITH THE SEED MIX IN THE AREAS SURROUNDING THE BASIN, ON SIDE SLOPES, AND OVER ANY LAND THAT DISCHARGES INTO THE BASIN FOR EROSION CONTROL WHEN BASIN IS BROUGHT ON-LINE. SEEDING TO BE ESTABLISH AS VEGETATION AT THE INVERT OF THE BASIN.
 - RUNOFF MUST INFILTRATE WITHIN 48-HOURS. BASINS UNABLE TO MAINTAIN THESE RATES MUST BE DEEP TILLED, REGRADED, AND IF NECESSARY REPLANTED TO RESTORE ORIGINAL INFILTRATION RATES.
 - ALL WORK TO BE CONDUCTED IN CONFORMANCE WITH APPLICABLE LOCAL, REGIONAL, AND STATE STORMWATER STANDARDS FOR THE PROJECT SITE AS APPROVED BY THE REGULATORY ENGINEER.
 - OWNER OR CONTRACTOR MUST CONSULT LANDSCAPE ARCHITECT OR ECOLOGICAL PLANTING AGENCY FOR APPROPRIATE PLANTS AND PLANTING CONFIGURATIONS.

INFILTRATION DEVICES ARE DESIGNED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES (WDNR), COUNTY, MUNICIPALITY, AND ENGINEERING STANDARD OF CARE. ALL DESIGNATED INFILTRATION AREAS (e.g. RAIN GARDENS, INFILTRATION BASINS, BIORETENTION DEVICES) SHALL BE FENCED PRIOR TO CONSTRUCTION AND REMAIN UNDISTURBED AND PROTECTED DURING THE CONSTRUCTION OF PROPOSED SITE IMPROVEMENTS. PROPOSED BIORETENTION DEVICES SHALL NOT BE CONSTRUCTED UNTIL THE DEVICE'S CONTRIBUTING WATERSHED AREA MEETS ESTABLISHED VEGETATION REQUIREMENTS SET FORTH WITHIN THE RESPECTIVE WDNR TECHNICAL STANDARDS. IF THE LOCATION OF THE INFILTRATION AREA CONFLICTS WITH CONSTRUCTION STAGING AND/OR CONSTRUCTION TRAFFIC AND IS DISTURBED, COMPACTION MITIGATION WILL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS REQUIRED TO PROVIDE QUALIFIED STAFF FOR INSPECTION AND OBSERVATION OF THE CONSTRUCTION ACTIVITIES RELATING TO ALL JOB SITE REGULATORY COMPLIANCE INCLUDING THE PROTECTION AND CONSTRUCTION OF ALL STORMWATER MANAGEMENT FEATURES. ANY OBSERVATION OF PLAN OR SITE DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

1 BIORETENTION DEVICE
C401 N.T.S.



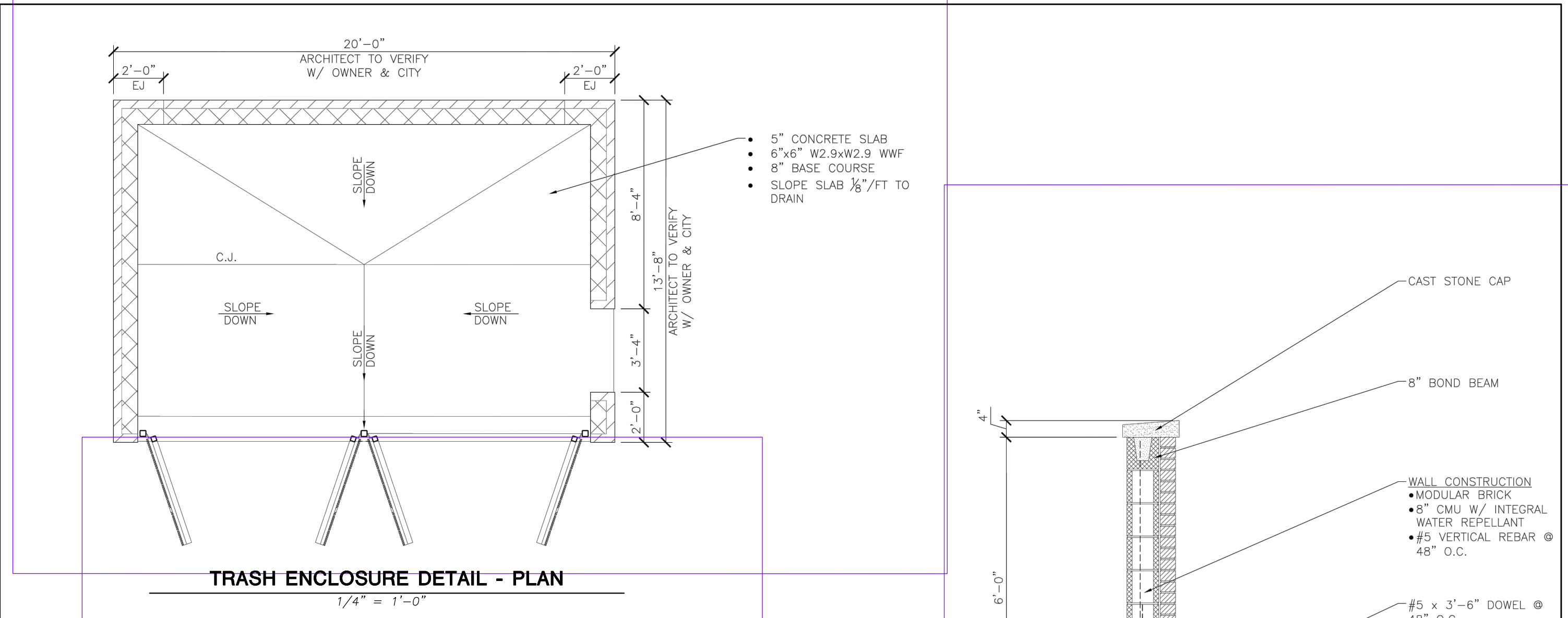
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2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

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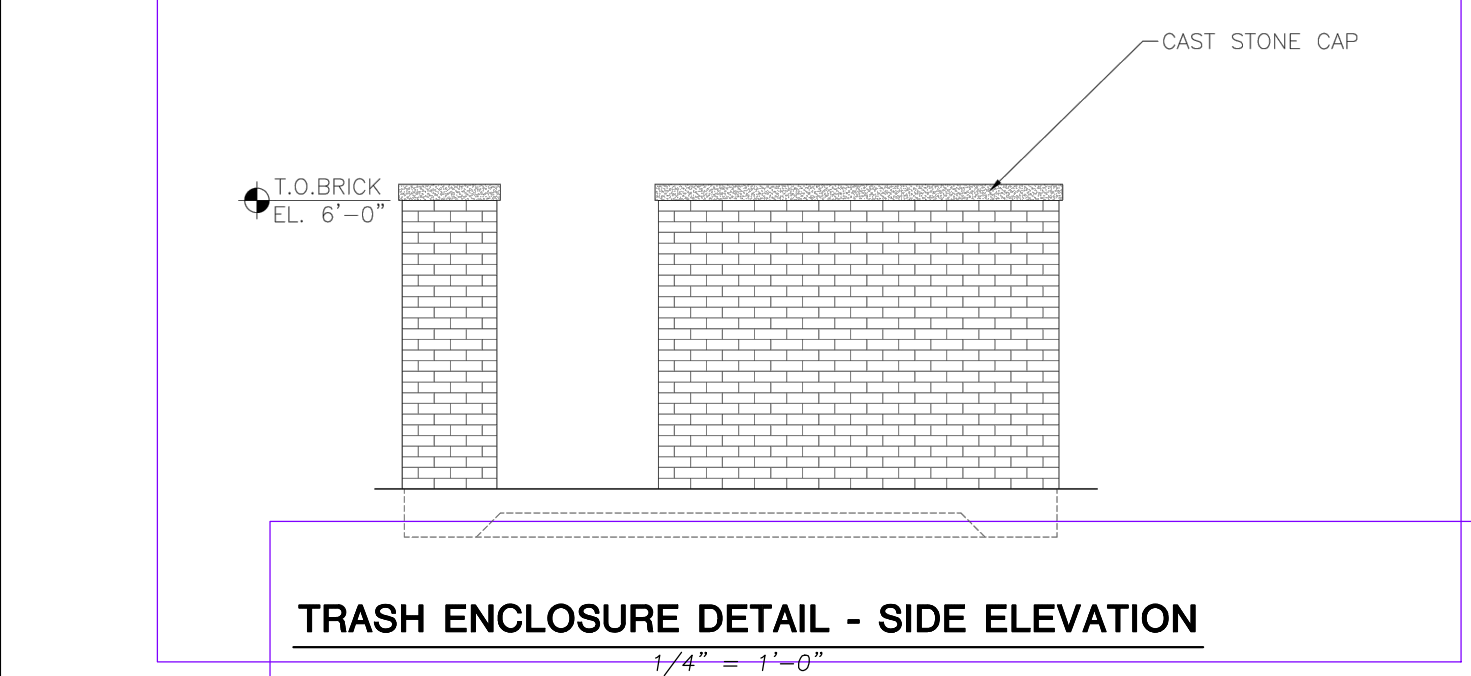
SARIS CYCLING GROUP
5253 VERONA RD, MADISON, WI 53711
1-800-783-7257 / 1-608-274-1702
WWW.SARISPARKING.COM

TITLE: 6903 - 2 BIKE FM BIKE DOCK

2 INVERTED-U BIKE RACK
C401 N.T.S.

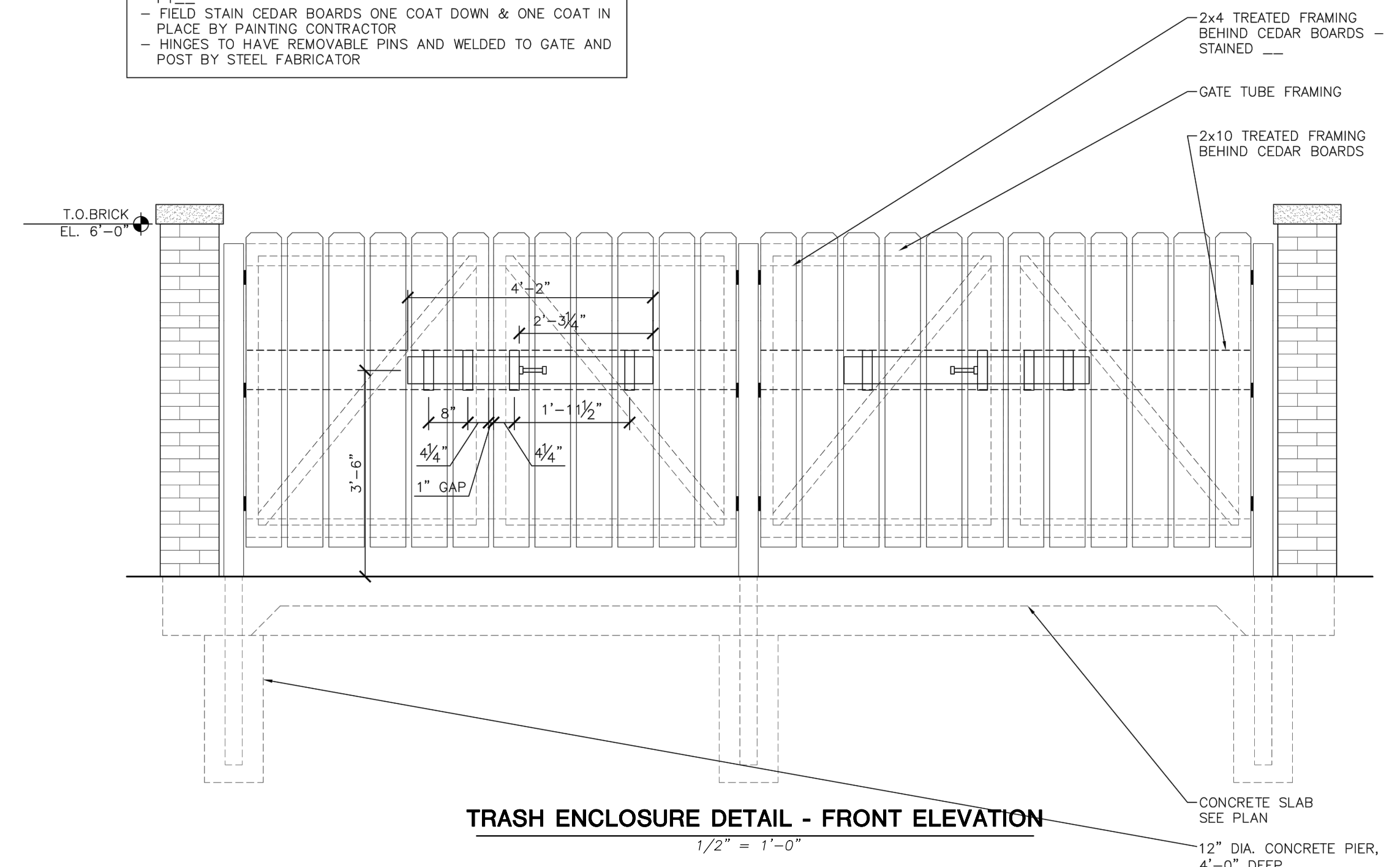


TRASH ENCLOSURE DETAIL - PLAN
1/4" = 1'-0"

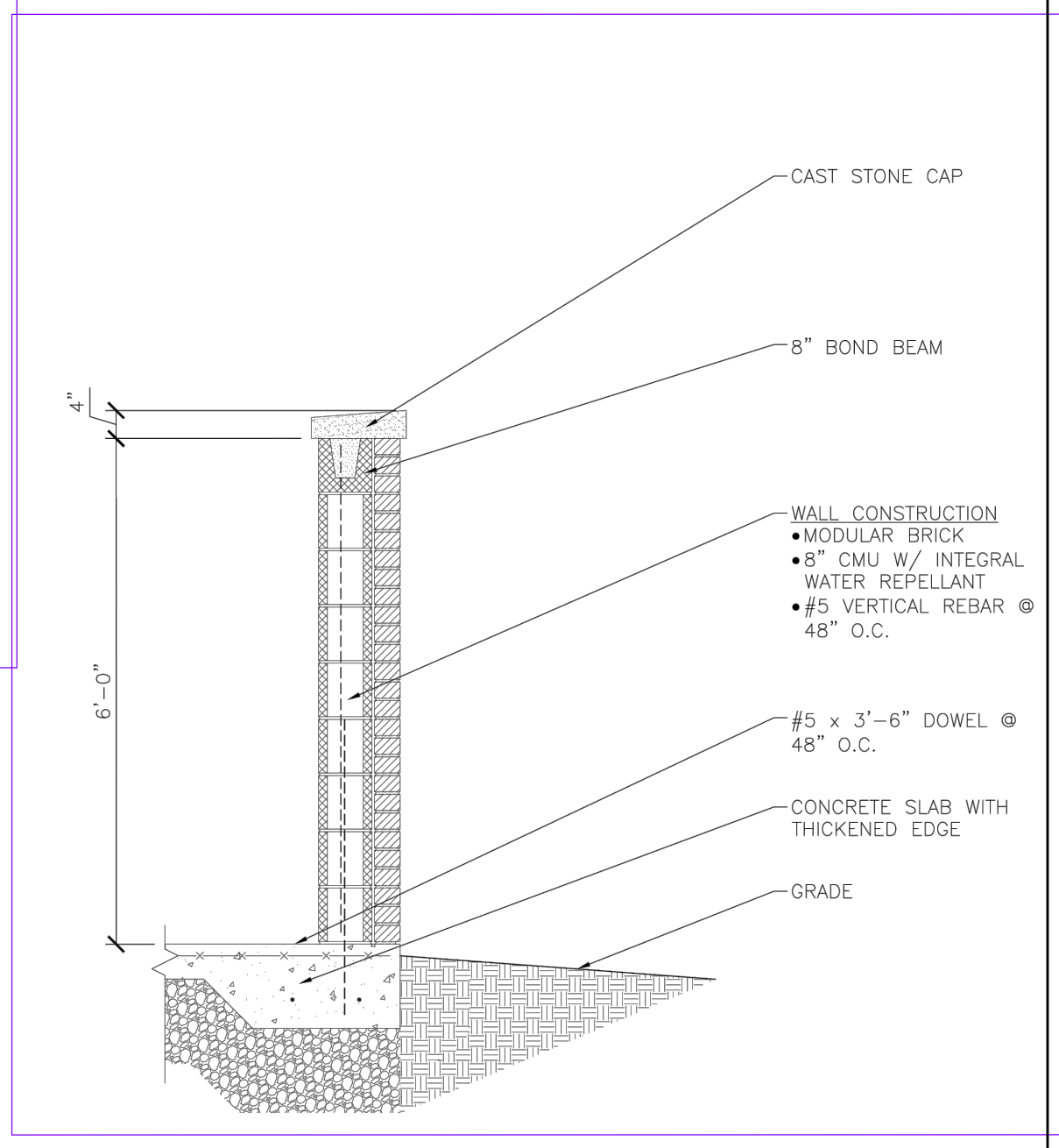


TRASH ENCLOSURE DETAIL - SIDE ELEVATION
1/4" = 1'-0"

- GENERAL NOTES:**
- FOUNDATION POURED BY CONCRETE CONTRACTOR
 - ALL STEEL MEMBERS SHALL BE ZINC RICH PRIMED STEEL
 - PAINTING CONTRACTOR TO FIELD APPLY (2) COATS OF PAINT TO STEEL MEMBERS PRIOR TO INSTALLATION OF WOOD FRAMING
 - FIELD STAIN CEDAR BOARDS ONE COAT DOWN & ONE COAT IN PLACE BY PAINTING CONTRACTOR
 - HINGES TO HAVE REMOVABLE PINS AND WELDED TO GATE AND POST BY STEEL FABRICATOR



3 TRASH ENCLOSURE DETAIL - BRICK
C401



TRASH ENCLOSURE DETAIL - SECTION
1/2" = 1'-0"

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PROJECT LOCATION:
STOUGHTON, WI
DANE COUNTY

JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

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DESIGN:	01-25-16
DRAWN: MGG/ABK/NTK	01-25-16
APPROVED: WHD	01-25-16
PLAN MODIFICATIONS:	
SIP SUBMITTAL	01-25-16
SIP SUBMITTAL	02-04-16
SIP RESUBMITTAL	02-25-16

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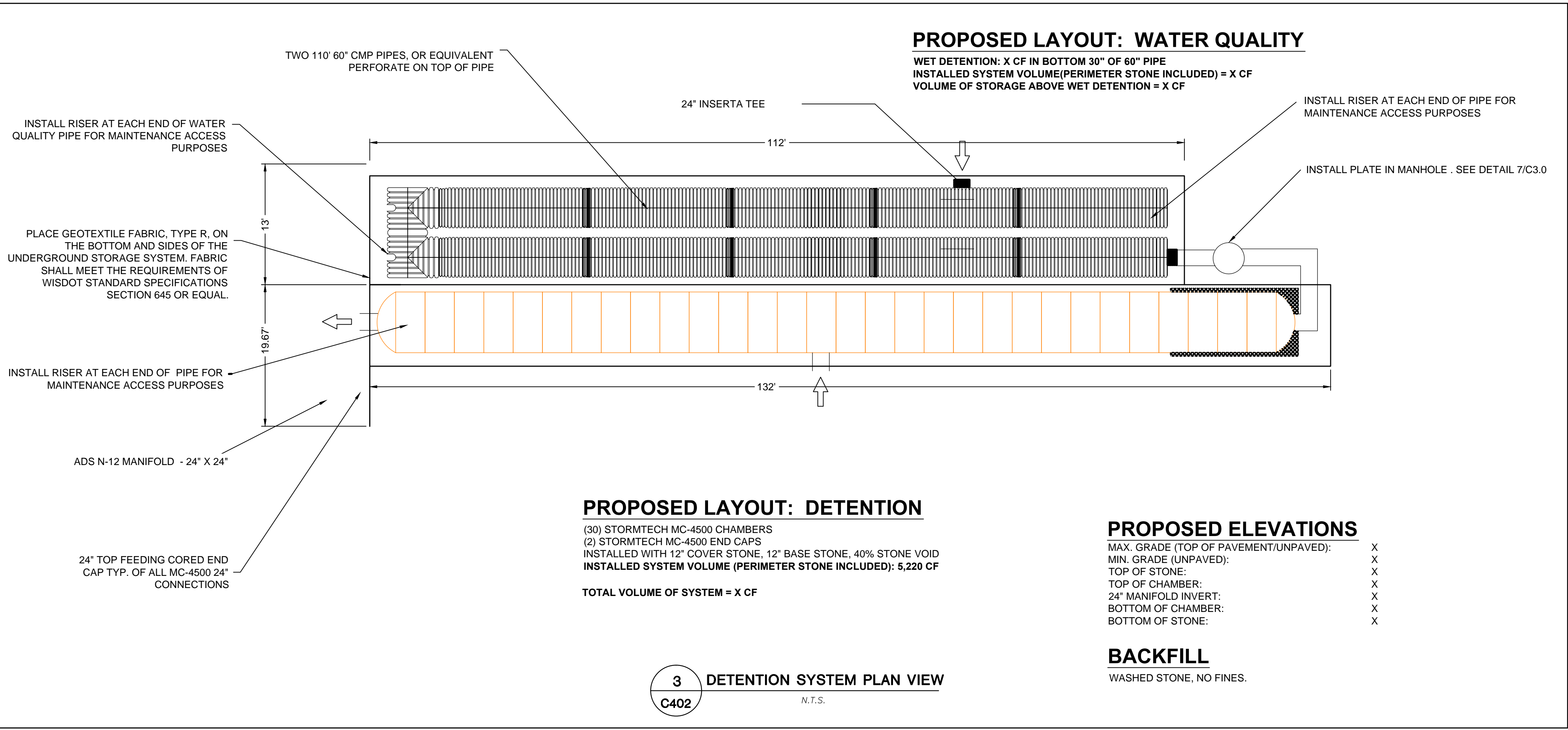
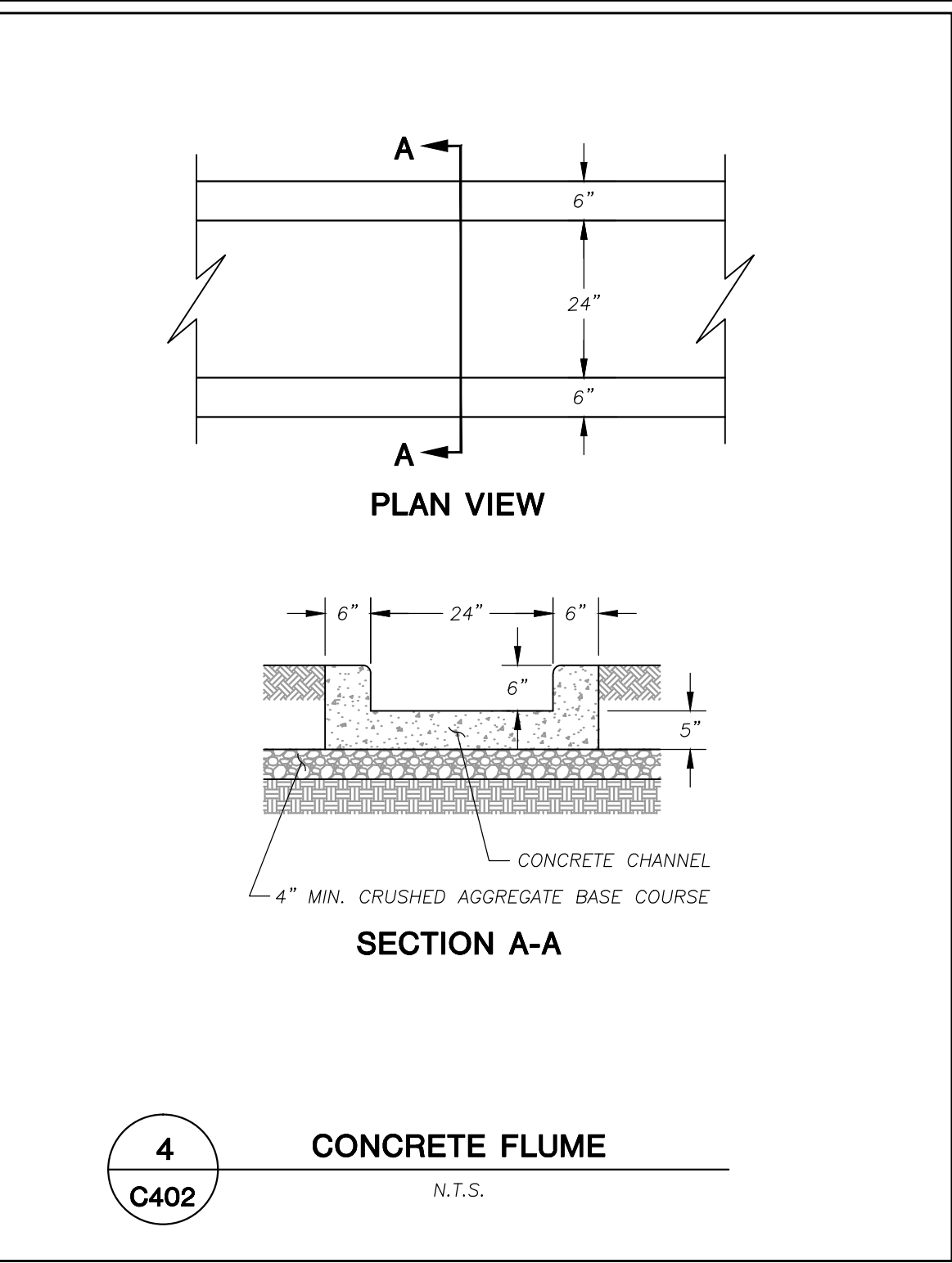
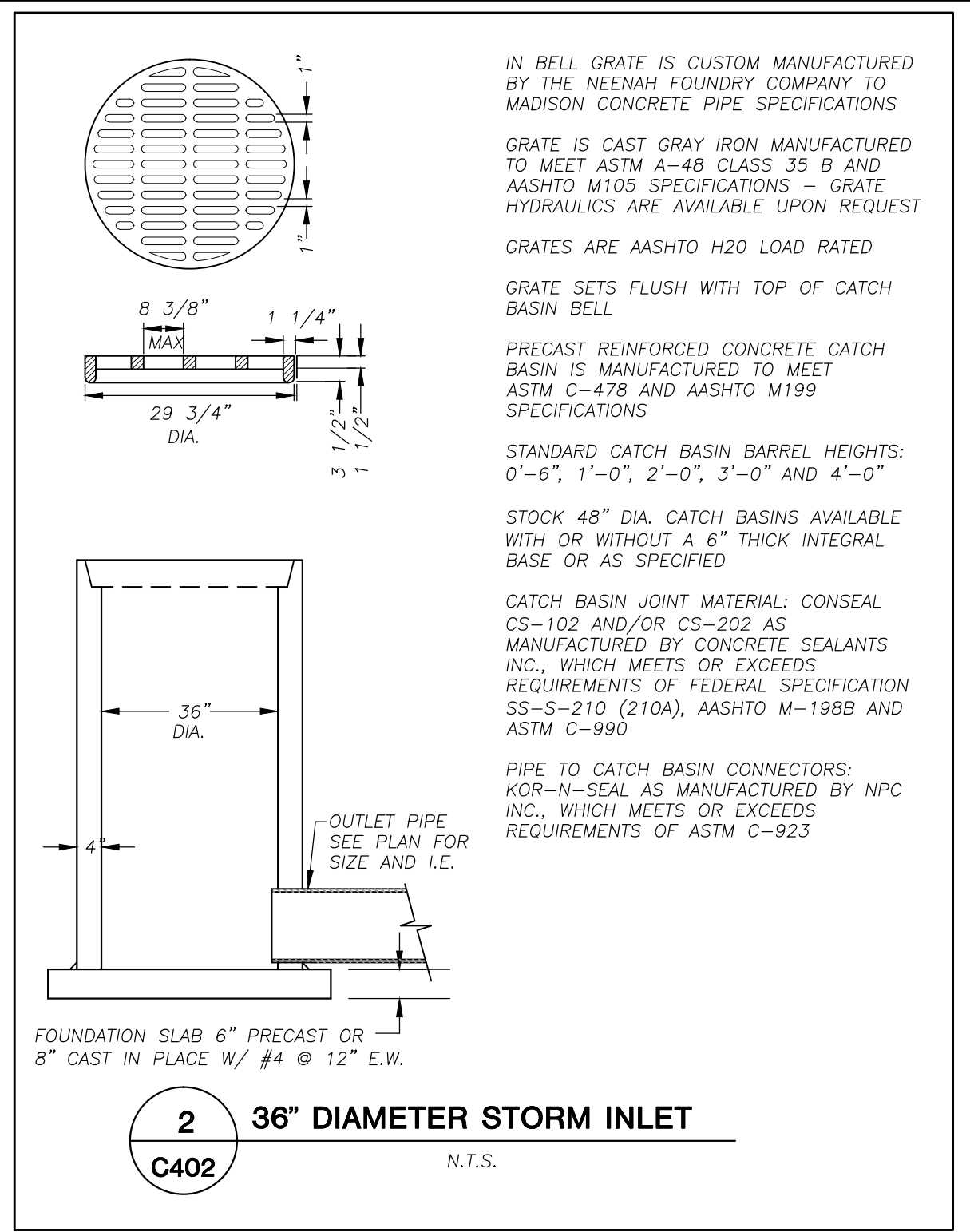
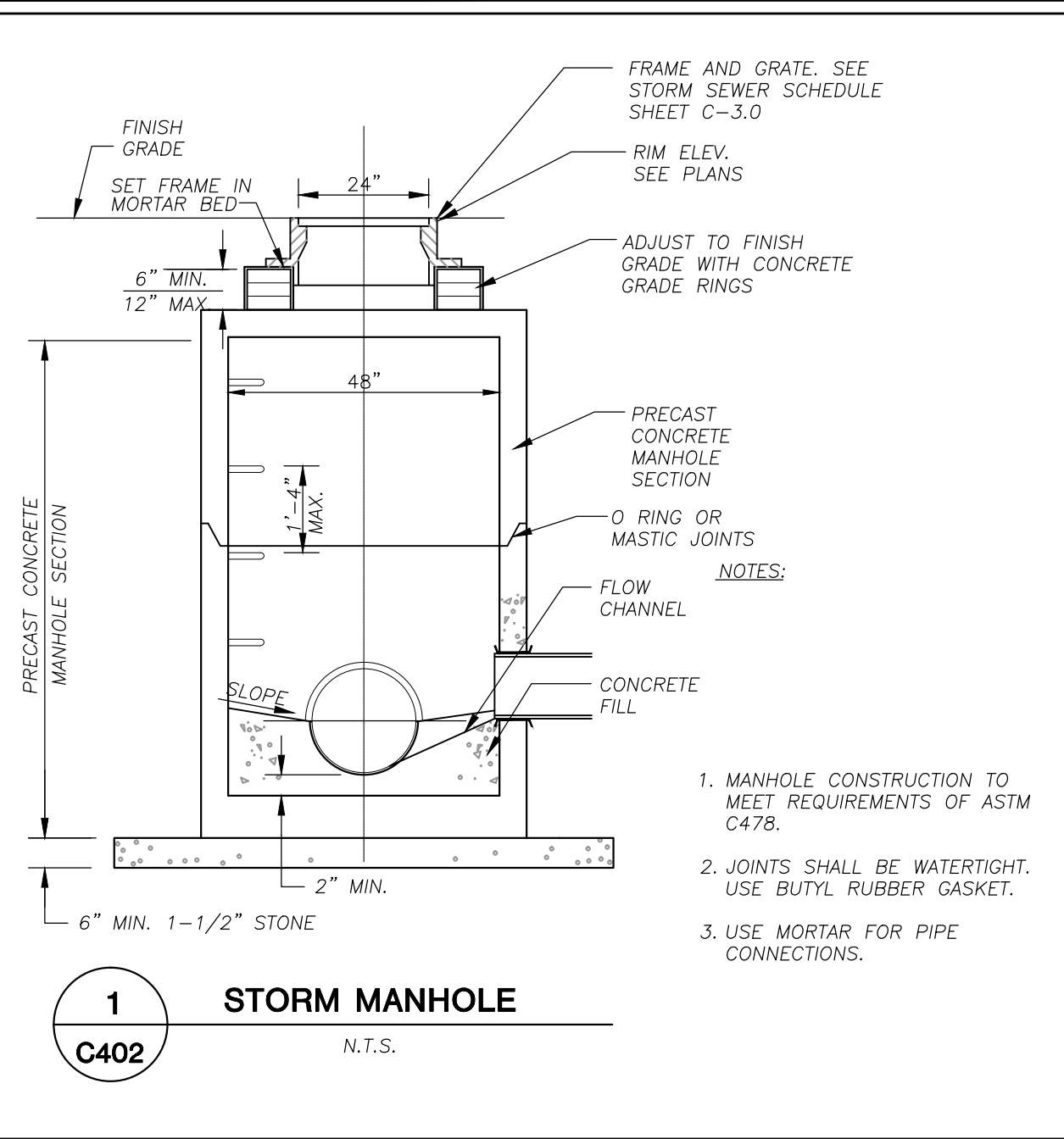
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DETAILS

SHEET NUMBER:
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PROJECT:
KETTLE PARK WEST LOT 7

PROJECT LOCATION:
STOUGHTON, WI
DANE COUNTY

JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

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DESIGN:	
DRAWN: ABK/MGG/KTK	01-25-16
APPROVED: WHD	01-25-16
PLAN MODIFICATIONS:	DATE:
SIP SUBMITTAL	01-25-16
SIP SUBMITTAL	02-04-16
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SHEET TITLE:
DETAILS

SHEET NUMBER:
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 Verona, WI 53593

PROJECT:
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PROJECT LOCATION:
 STOUGHTON, WI
 DANE COUNTY

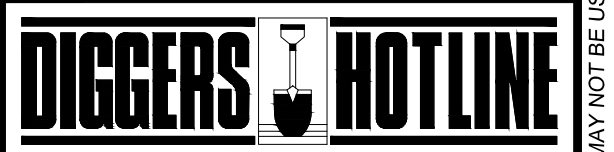
JSD PROJECT NO.: 15-7106

SEAL/SIGNATURE:

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DESIGN: KTK 12-18-15
 DRAWN: KTK 12-18-15
 APPROVED: MJS 01-25-16

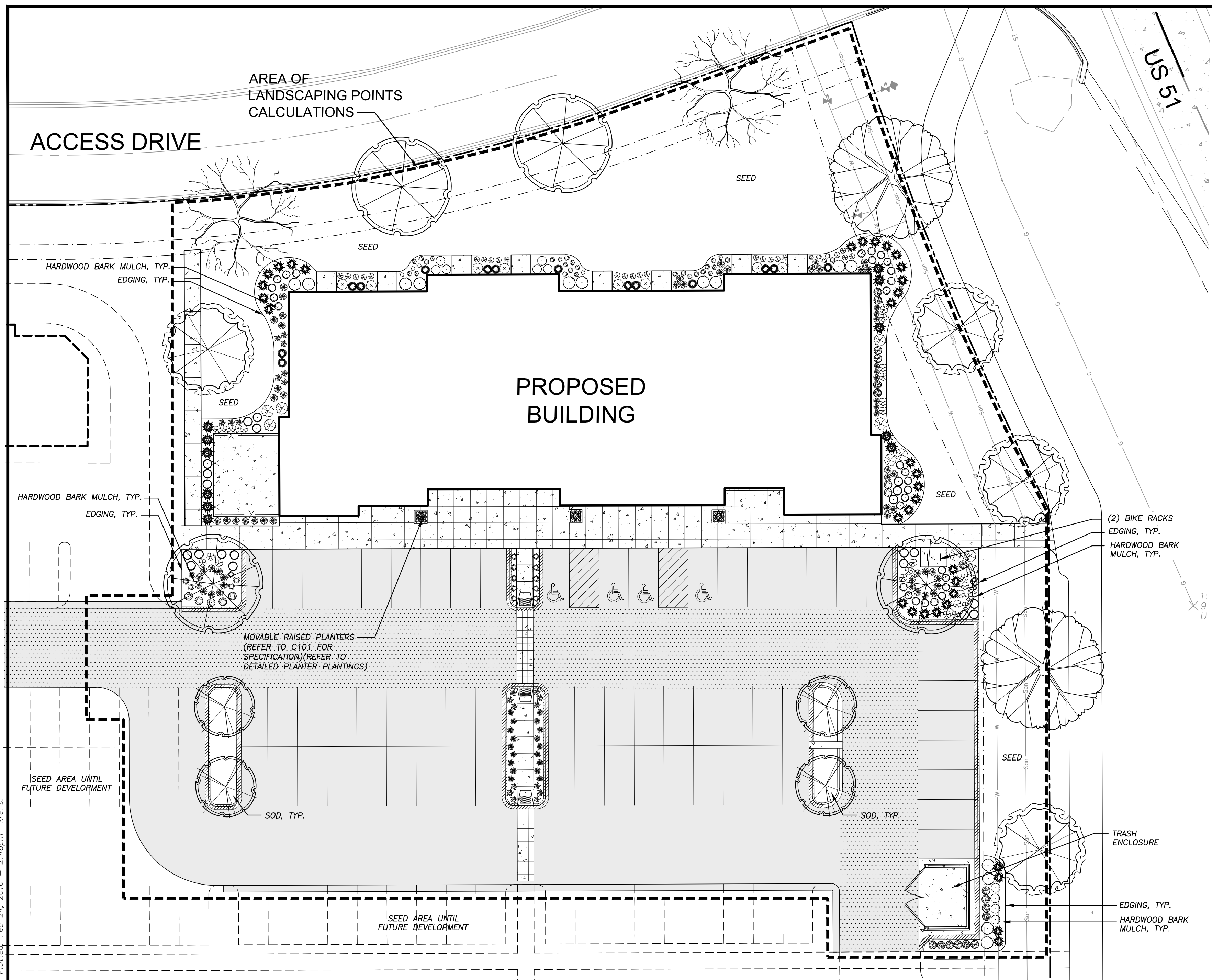
PLAN MODIFICATIONS: DATE:
 SIP SUBMITTAL 01-25-16
 SIP SUBMITTAL 02-04-16
 SIP RESUBMITTAL 02-25-16



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SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L100



LEGEND (PROPOSED)

- PROPERTY LINE
- - - RIGHT-OF-WAY
- - - EASEMENT LINE
- EDGE OF PAVEMENT
- SAN SANITARY SEWER
- ST STORM SEWER
- W WATER LINE
- STANDARD CURB AND GUTTER
- REJECT CURB AND GUTTER
- ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- UTILITIES EASEMENT
- STALL PAINT MARKING
- X — X PROPOSED FENCING

GENERAL NOTES

- REFER TO THE EXISTING CONDITIONS SURVEY FOR EXISTING CONDITIONS NOTES AND LEGEND.
- REFER TO THE CIVIL PLAN SHEETS FOR PROPOSED FEATURES IN THE LEGEND AND NOTES.
- ALL WORK IN THE ROW SHALL BE IN ACCORDANCE WITH THE CITY OF STOUGHTON STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
- JSD SHALL BE HELD HARMLESS AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES.
- DRAWING FOR REVIEW — NOT FOR CONSTRUCTION UNLESS OTHERWISE NOTED IN THE TITLE BLOCK.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND TOPSOILING WITH GENERAL CONTRACTOR.
- REFER TO SHEET L200 FOR ADDITIONAL DETAILS, NOTES AND SPECIFICATION INFORMATION INCLUDING MATERIALS, GUARANTEE AND EXECUTION RELATED TO LANDSCAPE PLAN.

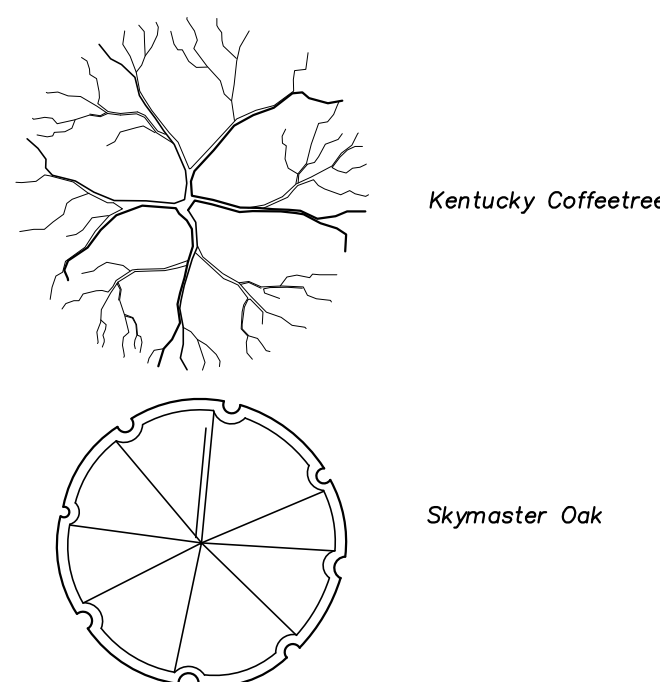
LANDSCAPE PLANT LIST

ABV.	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	LS POINTS	TOTAL POINTS
TALL CLIMAX DECIDUOUS TREES							
GD	2	Kentucky Coffeetree	GYMNOCLADIS dioicus	2" Cal.	B&B	75	150
QR	4	Skymaster English Oak	QUERCUS robur 'Pyramich'	2" Cal.	B&B	75	300
TALL DECIDUOUS TREES							
SM	4	State Street Maple	ACER miyabei 'State Street'	2" Cal.	B&B	30	120
SH	2	Skyline Honeylocust	GLEDITSIA triacanthos f. inermis 'Skycole'	2" Cal.	B&B	30	60
MEDIUM DECIDUOUS TREES							
SM	4	Cleveland Select Pear	PYRUS Calleryana 'Cleveland Select'	6" Ht.	B&B	15	60
LOW EVERGREEN TREES							
MJ	11	Blue Arrow Juniper	JUNIPERUS scopulorum 'Blue Arrow'	3' Ht.	B&B	12	132
MEDIUM DECIDUOUS SHRUBS							
RF	18	Fine Line Fern Leaf Buckthorn	RHAMNUS frangula 'Ron Williams'	24" Min. Ht.	#3 Cont.	3	54
AH	14	Annabelle Hydrangea	HYDRANGEA arborescens 'Annabelle'	24" Min. Ht.	#3 Cont.	3	42
LOW DECIDUOUS SHRUBS							
KDD	25	*Kelsey's Dwarf Redosier Dogwood	CORNUS sericea 'Kelsey'	18" Min. Ht.	#3 Cont.	1	25
CMD	8	Carol Mackie Daphne	DAPHNE x burkwoodii 'Carol Mackie'	18" Min. Ht.	#2 Cont.	1	8
IL	10	*Red Sprite Winterberry	ILEX verticillata	18" Min. Ht.	#3 Cont.	1	10
CA	21	*New Jersey Tea	CEANOTHUS americanus	18" Min. Ht.	#3 Cont.	1	21
VC	29	Compact Eur. Cranberrybush Viburnum	VIBURNUM opulus 'Compactum'	18" Min. Ht.	#3 Cont.	1	29
HS	10	Hummingbird Summersweet Clethra	CLETHRA alnifolia 'Hummingbird'	18" Min. Ht.	#2 Cont.	1	10
LOW EVERGREEN SHRUBS							
MA	34	*Mini Arcade Juniper	JUNIPERUS sabinna 'Mini Arcade'	12" Min. Ht.	#3 Cont.	3	102
TY	14	Taunton Yew	TAXUS x media 'Tauntonii'	12" Min. Ht.	#3 Cont.	3	42
ASJ	7	Ames St. Johnswort	HYPERICUM kalmianum 'Ames'	12" Min. Ht.	#2 Cont.	3	21
PERENNIALS							
HM	24	Minuteman Hosta	HOSTA x 'Minuteman'	10 - 12" Ht.	#1 Cont.	0	0
MPS	35	May Night Perennial Salvia	SALVIA nemorosa 'Mainacht'	10 - 12" Ht.	#1 Cont.	0	0
ORNAMENTAL GRASSES							
KF	9	Karl Foerester Feather Reed Grass	CALAMAGROSTIS x acutiflora 'Karl Foerester'	10 - 12" Ht.	#1 Cont.	0	0
LB	21	*Little Bluestem	SCHIZACHYRIUM scoparium	10 - 12" Ht.	#1 Cont.	0	0
PR	16	*Prairie Dropseed	SPOROBOLOUS heterolepis	10 - 12" Ht.	#1 Cont.	0	0
SSG	53	*Shenandoah Red Switch Grass	PANICUM virgatum 'Shenandoah'	10 - 12" Ht.	#1 Cont.	0	0
IG	18	*Indiangrass	SORGHASTRUM nutans	10 - 12" Ht.	#1 Cont.	0	0
						Total Points	1186

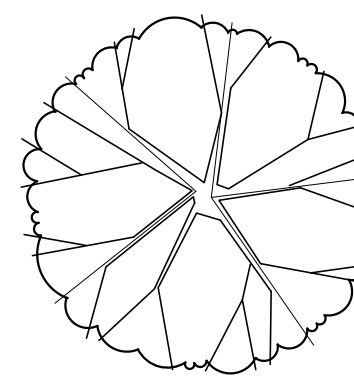
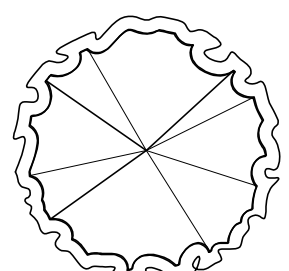
*Native plant to Wisconsin

LEGEND (PROPOSED)

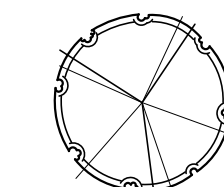
TALL CLIMAX DECIDUOUS TREES



TALL DECIDUOUS TREES



MEDIUM DECIDUOUS TREES



LOW EVERGREEN TREES

- Blue Arrow Juniper

MEDIUM DECIDUOUS SHRUBS

- Annabelle Hydrangea
- Fine Line Fern Leaf Buckthorn

LOW DECIDUOUS SHRUBS

- Carol Mackie Daphne
- Kelsey's Dwarf Redosier Dogwood
- Red Sprite Winterberry
- Compact Eur. Cranberrybush Viburnum
- Hummingbird Summersweet Clethra

LOW EVERGREEN SHRUBS

- Mini Arcade Juniper
- Taunton Yew
- St. John's Wort

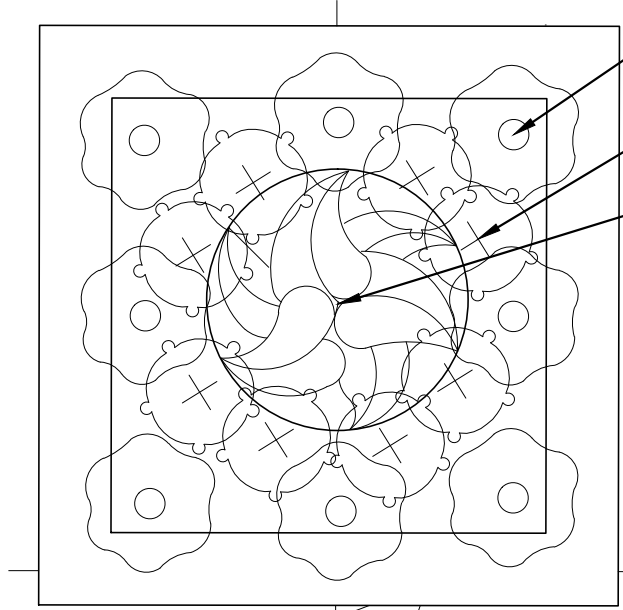
PERENNIALS

- Minuteman Hosta
- May Night Salvia

ORNAMENTAL GRASSES

- Prairie Dropseed
- Shenandoah Red Switch Grass
- Karl Foerester Feather Reed Grass
- Little Bluestem
- Indiangrass

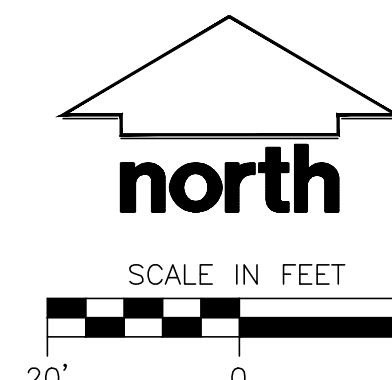
DETAILED PLANTER PLANTINGS



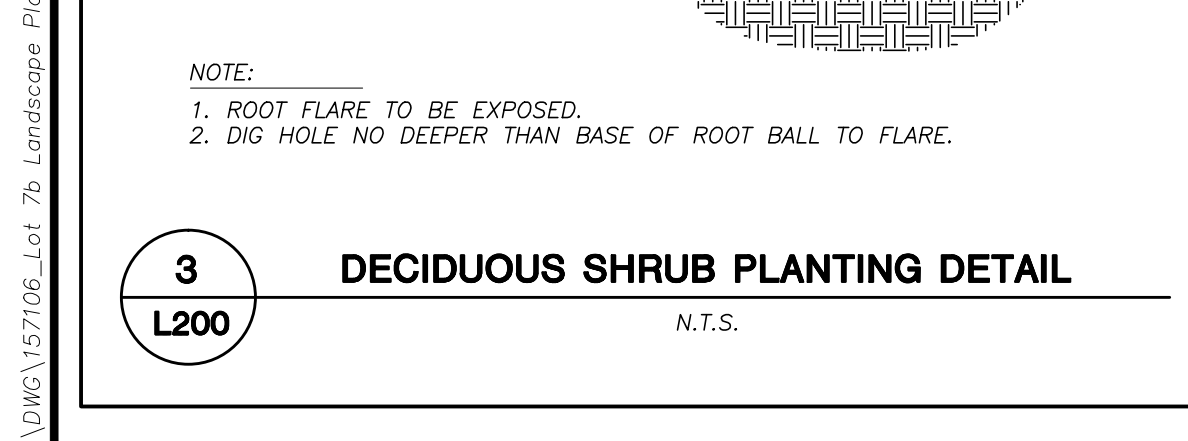
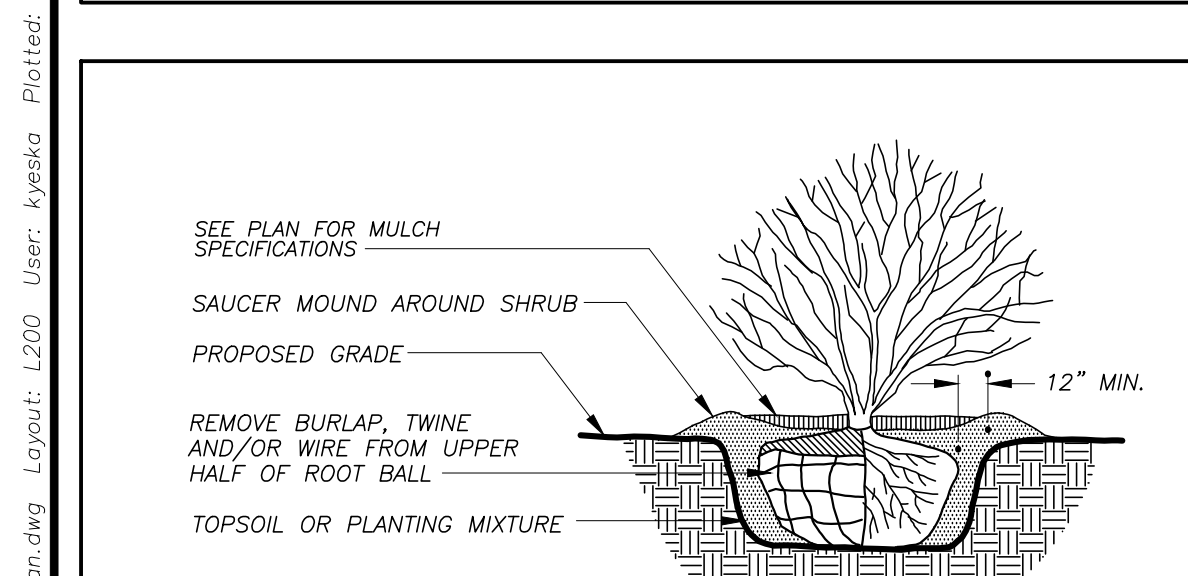
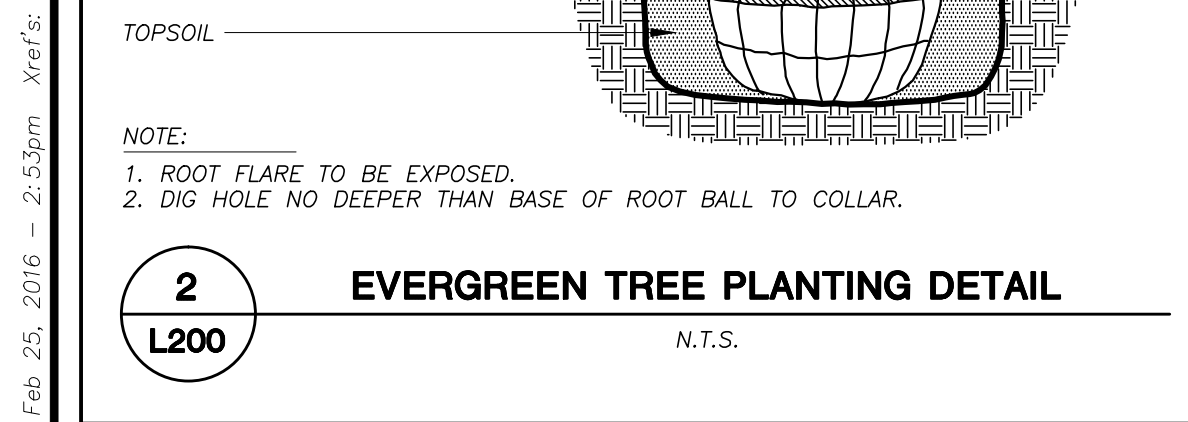
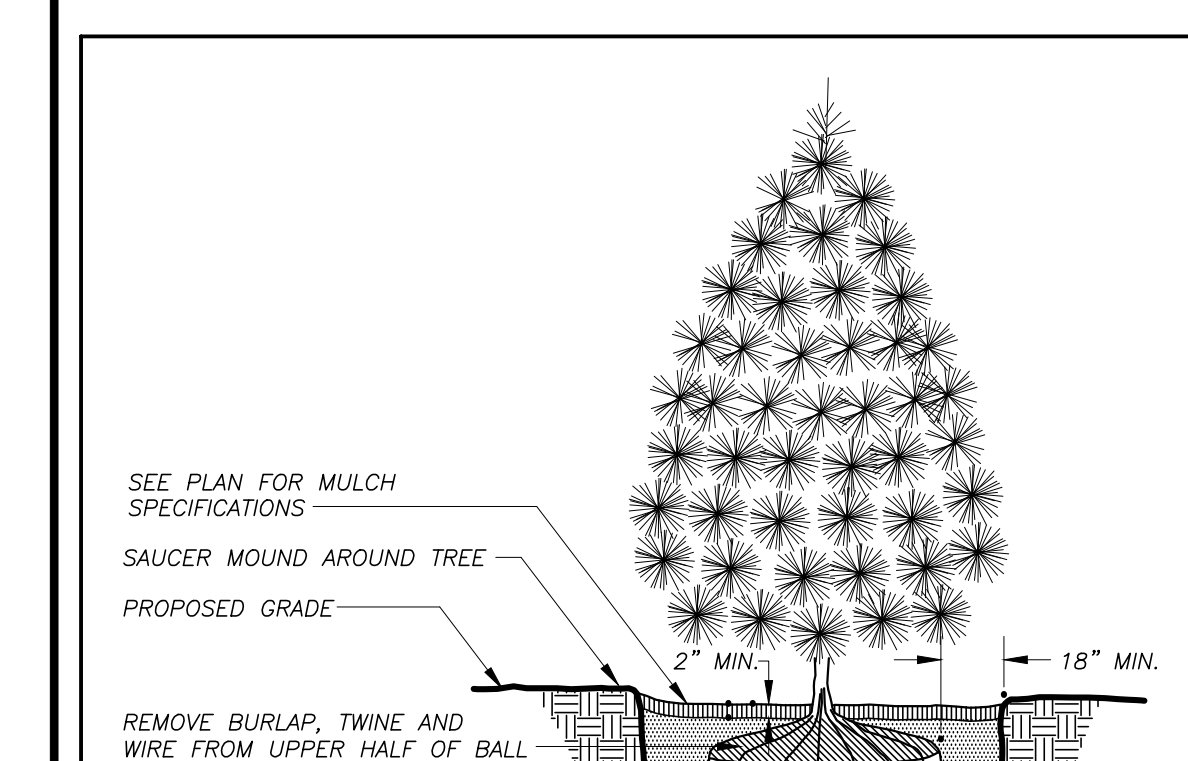
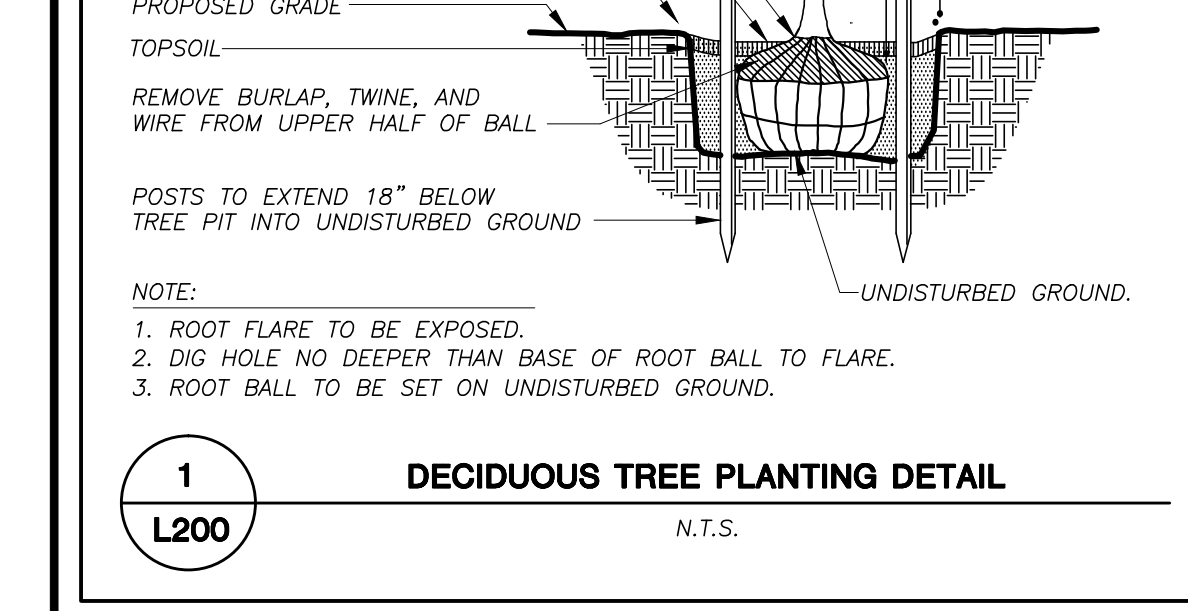
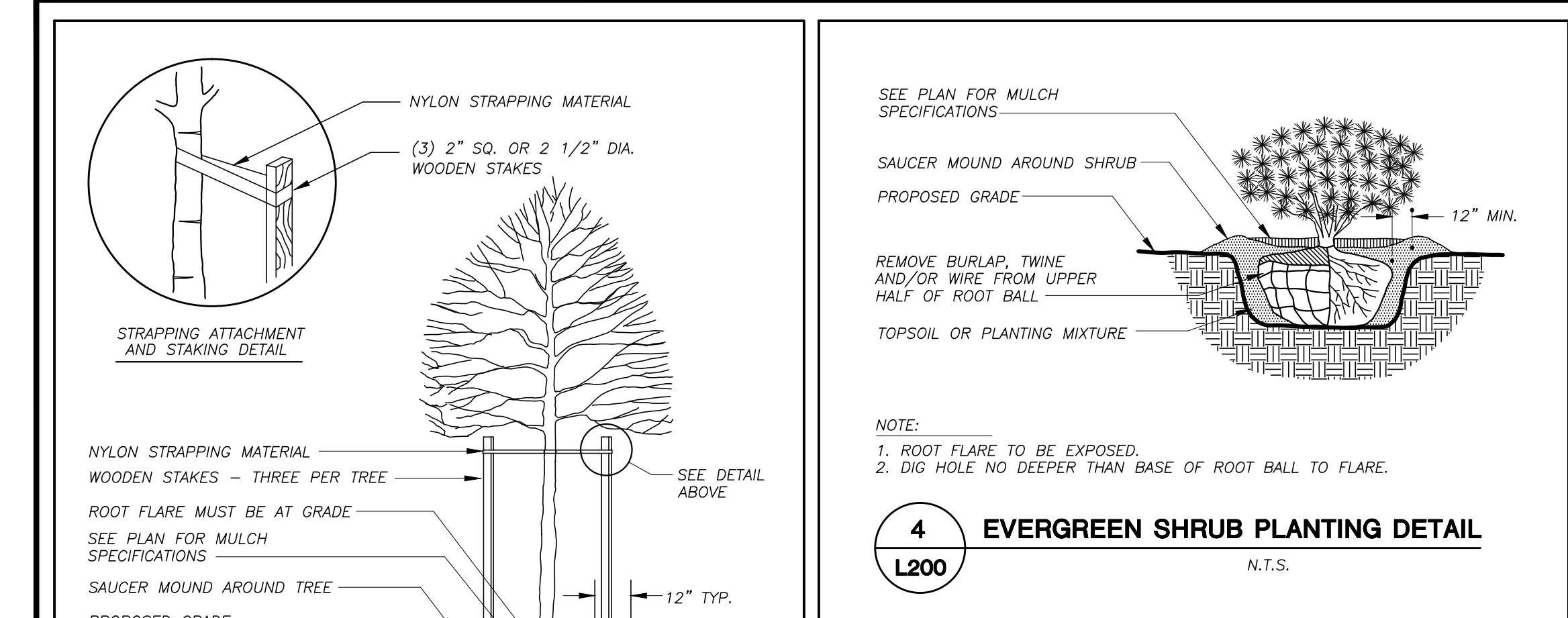
- TINY MONSTER GERANIUM
- LITTLE GOLDSTAR BLACK EYED SUSAN
- FINE LINE FERN LEAF BUCKTHORN

LANDSCAPE PLANT LIST - MOVABLE PLANTERS

SYM	QTY.	COMMON NAME	BOTANICAL NAME	SIZE	ROOT
LOW DECIDUOUS SHRUBS					
RF	3	Fine Line Fern Leaf Buckthorn	RHAMNUS frangula 'Ron Williams'	10-12" Min. Ht.	#1 Cont.
PERENNIALS					
TMG	24	Tiny Monster Geranium	GERANIUM 'Tiny Monster'	4 1/2" pot	#1 Cont.
LG	24	Little Goldstar Black-eyed Susan	RUDBECKIA fulgida var. sullivanii 'Little Goldstar'	4 1/2" pot	#1 Cont.



DRAFT
 NOT FOR CONSTRUCTION



LANDSCAPE NOTES AND SPECIFICATIONS

- GENERAL: ALL WORK IN THE R-O-W AND PUBLIC EASEMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF STOUTGTON REQUIREMENTS. JSD SHALL BE RESPONSIBLE FOR OBTAINING AND DOES NOT WARRANT ANY DEVIATIONS BY THE OWNER/CONTRACTOR FROM THE APPROVED CONSTRUCTION PLANS THAT MAY RESULT IN DISCIPLINARY ACTIONS BY ANY OR ALL REGULATORY AGENCIES. LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO UTILITIES. CONTRACTOR MUST CALL 1-800-382-5544 FOR UTILITY LOCATIONS AT LEAST THREE DAYS PRIOR TO DIGGING. HAND DIG AND INSTALL ALL PLANTS THAT ARE NEAR EXISTING UTILITIES. PROTECT PREVIOUSLY INSTALLED WORK OF OTHER TRADES. CONTRACTOR IS RESPONSIBLE FOR STAKING THE PLANT MATERIALS FOR REVIEW BY OWNER PRIOR TO DIGGING AND PLACEMENT. THE LANDSCAPE CONTRACTOR SHALL COORDINATE ALL FINE GRADING AND RESTORATION WITH THE GRADING CONTRACTOR.
- DELIVERY AND HANDLING: DO NOT DELIVER MORE PLANT MATERIALS THAN CAN BE PLANTED IN ONE DAY. DELIVER PLANTS WITH LEGIBLE IDENTIFICATION LABELS. PROTECT PLANTS DURING DELIVERY AND DO NOT PRUNE PRIOR TO DELIVERY. ALL TREES AND SHRUBS SHALL BE PLANTED ON THE DAY OF DELIVERY; IF THIS IS NOT POSSIBLE, PROTECT THAT STOCK NOT PLANTED BY STORING STOCK IN A SHADED AREA PROTECTING THE ROOT MASS WITH WET SOIL, MOSS OR OTHER SUITABLE MEDIA AND KEEPING WELL WATERED. DO NOT REMOVE CONTAINER GROWN STOCK FROM CONTAINERS BEFORE TIME OF PLANTING. DO NOT PICK UP CONTAINERS OR BALLED PLANTS BY STEM OR ROOTS. ALL PLANTS SHALL BE LIFTED AND HANDLED FROM THE BOTTOM OF THE BALL. PERFORM ACTUAL PLANTING ONLY WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE IN ACCORDANCE WITH LOCALLY ACCEPTED PRACTICES.
- GUARANTEE: THE CONTRACTOR SHALL GUARANTEE ALL PLANTS THROUGH ONE (1) YEAR AFTER ACCEPTANCE BY OWNER. PLANTS SHALL BE ALIVE AND IN GOOD HEALTHY AND FLOURISHING CONDITION AT THE END OF THE GUARANTEE PERIOD. THE CONTRACTOR SHALL REPLACE WITHOUT COST TO THE OWNER ANY PLANTS THAT ARE DEAD OR NOT IN A VIGOROUS THRIVING CONDITION. REPLACEMENT PLANTS SHALL BE OF THE SAME KIND AND SIZE AS ORIGINALLY SPECIFIED UNLESS OTHERWISE DIRECTED BY OWNER. RESTORE BEDS AS NECESSARY FOLLOWING PLANT REPLACEMENT, INCLUDING BUT NOT LIMITED TO BEDDING, EDGING, MULCH, ETC. REPAIR DAMAGE TO OTHER PLANTS OR PLANTING AREAS DURING PLANT REPLACEMENT AT NO COST TO OWNER. CONTRACTOR SHALL PROVIDE A TWO (2)-YEAR STRAIGHTENING GUARANTEE FOR ALL TREES.
- MATERIALS - PLANTS: ALL PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2004. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST 2 YEARS. PLANTS SHALL BE FRESHLY DUG (DURING THE MOST RECENT FAVORABLE HARVEST SEASON). PLANTS SHALL BE SO TRAINED IN DEVELOPMENT AND APPEARANCE AS TO BE UNQUESTIONABLY SUPERIOR IN FORM, COMPACTNESS, AND SYMMETRY. PLANTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL BRANCHED AND DENSELY FOLIATED WITH LEAF AND FREE OF DISEASE AND INSECTS (ADULT EGGS, PUPAE OR LARVAE) THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS AND SHALL BE FREE FROM PHYSICAL DAMAGE OR OTHER CONDITIONS THAT WOULD PREVENT THRIVING GROWTH. PLANTS SHALL BE OF THE HIGHEST QUALITY, HAVE TYPICAL GROWTH HABITS FOR THEIR SPECIES, BE SOUND, HEALTHY, VIGOROUS AND FREE OF INJURY. PARKWAY TREES AND PARKING LOT TREES SHALL HAVE A MINIMUM BRANCHING HEIGHT OF SIX (6) FEET ABOVE THE GROUND TO ALLOW ADEQUATE VISUAL AND PHYSICAL CLEARANCE.
- MATERIALS - SOIL: PLANTING SOIL SHALL MEET THESE REQUIREMENTS:
 - PLANTING AREAS = 24"
 - TREE PITS = SEE DETAILS
- PLANTING SOIL TO BE A MINIMUM 24" DEPTH, UNLESS OTHERWISE SPECIFIED AS ABOVE OR ON DETAILS. TOPSOIL TO BE CLEAN, FRIABLE LOAM FROM LOCAL SOURCE, FREE FROM STONES OR DEBRIS OVER 3/4" IN DIAMETER, AND FREE FROM TOXINS. TOPSOIL SHALL HAVE A pH VALUE BETWEEN 6 AND 7. TOPSOIL AND PLANTING SOIL SHALL BE TESTED TO CONFORM TO THESE SPECIFICATIONS AND SHALL BE AMENDED TO MEET THESE SPECIFICATIONS. DO NOT PLACE FROZEN OR MUDDY TOPSOIL. APPLY SOIL AMENDMENTS TO ALL LANDSCAPE BEDS PER SOIL TEST.
- MATERIALS - SHREDDED HARDWOOD BARK MULCH: ALL PLANTING AREAS SHALL RECEIVE SHREDDED HARDWOOD BARK MULCH OVER ENTIRE PLANTING AREA, UNLESS OTHERWISE SPECIFIED ON PLANS. SHREDDED HARDWOOD BARK MULCH SIZE & COLOR TO BE APPROVED BY OWNER PRIOR TO INSTALLATION. FERTILIZER SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, COUNTY AND STATE OF WISCONSIN REQUIREMENTS.
- MATERIALS - TREE & SHRUB RINGS: ALL TREES AND/OR SHRUBS PLANTED IN SEEDED LAWN AREAS TO BE INSTALLED WITH A MINIMUM 5" DIAMETER SHREDDED HARDWOOD MULCH TREE RING. SPREAD MULCH TO A CONSISTENT DEPTH OF 4 INCHES. ALL TREE RINGS SHOULD BE INSTALLED WITH A 5" DEPTH SHOVEL CUT EDGE, ANGLED 45 DEGREES INTO SOIL AT A 5" DIAMETER ABOUT THE CENTER OF THE TREE. PLANTING A PRE-EMERGENT GRANULAR HERBICIDE SHOULD BE MIXED WITH MULCH WHEN INSTALLING TREE RING AS WELL AS TOPICALLY APPLIED TO FINISHED INSTALLATION OF TREE RING.
- MATERIALS - WEED BARRIER FABRIC: ALL PLANTING BEDS SHALL BE INSTALLED WITH WOVEN WEED BARRIER FABRIC. NO PLASTIC/IMPERVIOUS BARRIERS WILL BE PERMITTED. EXAMPLE: BLACK VISQUEEN.
- MATERIALS - EDGING: EDGING SHALL BE 5" DEEP, POLYETHYLENE EDGING. OWNER SHALL APPROVE PRODUCT SPECIFICATION PROVIDED BY LANDSCAPE CONTRACTOR.
- MATERIALS - SEED: DISTURBED LAWN AREAS LABELED ON PLAN FOR SEEDING SHALL BE HAND SEEDED WITH EARTH CARPETS' MADISON PARKS' (OR APPROVED EQUIVALENT) AS APPROVED BY THE OWNER'S REPRESENTATIVE, INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. IN ADDITION TO LAWN SEED, ANNUAL RYE SHALL BE APPLIED TO ALL DISTURBED AREAS AT A RATE OF 1 1/2 LBS PER 1000 SQUARE FEET. FERTILIZE AND MULCH PER MANUFACTURER'S RECOMMENDATIONS.
- MATERIALS: SOD ALL AREAS LABELED ON PLAN PER THESE NOTES: TURFGRASS SOD: CLASS OF TURFGRASS SOD SHALL BE PREMIUM GRADE APPROVED TURFGRASS SOD, ONLY IMPROVED TYPES OF SOD (WHITE) ARE ACCEPTABLE. TURFGRASS SHALL BE MACHINE CUT AT A UNIFORM THICKNESS OF .60 INCH, PLUS OR MINUS .25 INCH, AT TIME OF CUTTING. MEASUREMENT FOR THICKNESS SHALL EXCLUDE TOP GROWTH AND THATCH. LARGE ROLL TURFGRASS SOD SHALL BE CUT TO THE SUPPLIER'S STANDARD WIDTH (36-48 INCHES) AND LENGTH. BROKEN PADS AND TORN OR UNEVEN ENDS WILL NOT BE ACCEPTABLE. STANDARD SIZE SECTIONS OF TURFGRASS SOD SHALL BE STRONG ENOUGH SO THAT IT CAN BE PICKED UP AND HANDLED WITHOUT DAMAGE. TURFGRASS SOD SHALL NOT BE HARVESTED OR TRANSPORTED WHEN MOISTURE CONTENT (EXCESSIVELY DRY OR WET) MAY ADVERSELY AFFECT ITS SURVIVAL. POST-PLANT IRRIGATION WILL BE NECESSARY TO ENSURE SOD STAYS ALIVE AND ROOTS INTO SOIL. THE CONTRACTOR IS RESPONSIBLE FOR WATERING SOD UNTIL TIME OF ACCEPTANCE. TURFGRASS SOD SHALL BE HARVESTED, DELIVERED, AND INSTALLED/TRANSPORTED WITH A PERIOD OF 24 HOURS. TURFGRASS SOD SHALL BE RELATIVELY FREE OF THATCH, UP TO .5 INCH ALLOWABLE (UNCOMPRESSED). TURFGRASS SOD SHALL BE REASONABLY FREE (10 WEEDS/100 SQ. FT.) OF DISEASES, NEMATODES AND SOIL-BORNE INSECTS. ALL TURFGRASS SOD SHALL BE FREE OF GRASSY AND BROAD LEAF WEEDS. THE SOD SUPPLIER SHALL MAKE RECOMMENDATIONS TO THE CONTRACTOR REGARDING WATERING SCHEDULE. THE WATERING SCHEDULE SHOULD BEGIN IMMEDIATELY AFTER SOD IS INSTALLED.
- PRUNING: THE CONTRACTOR SHALL PRUNE ALL TREES AND REPAIR ANY INJURIES THAT OCCURRED DURING THE PLANTING PROCESS. DOUBLE LEADERS, DEAD BRANCHES, AND LIMBS DAMAGED OR BROKEN DURING THE PLANTING PROCESS SHALL BE PRUNED. THIS SHALL BE THE ONLY PRUNING ALLOWED AT PLANTING. PRUNING SHALL CONFORM TO AMERICAN STANDARD FOR TREE CARE OPERATIONS, ANSI A300. PRUNE TREES IN ACCORDANCE WITH NAA GUIDELINES. DO NOT TOP TREES. PRUNE SHRUBS ACCORDING TO STANDARD HORTICULTURAL PRACTICES. ON CUTS OVER 3/4" IN DIAMETER AND BRUISES OR SCARS ON BARK, TRACE THE INJURED CAMBIAL LAYER BACK TO LIVING TISSUE AND REMOVE SMOOTH AND SHARP WOUNDS. DO NOT TO RETAIN WATER AND COAT THE TREATED AREA WITH AN APPROVED ANTISEPTIC TREE PAINT.
- CLEANUP: DISPOSED OF EXCESS SOIL. REMOVE ALL CUTTINGS AND WASTE MATERIALS. SOIL, BRANCHES, BINDING AND WRAPPING MATERIALS, REJECTED PLANTS, OR OTHER DEBRIS RESULTING FROM ANY PLANTING SHALL BE PROMPTLY CLEANED UP AND REMOVED. THE WORK AREA SHALL BE KEPT SAFE AND NEAT AT ALL TIMES UNTIL THE CLEANUP OPERATION IS COMPLETED. UNDER NO CONDITION SHALL THE ACCUMULATION OF SOIL, BRANCHES OR OTHER DEBRIS BE ALLOWED UPON A PUBLIC PROPERTY (SUCH AS TO RESULT IN A PUBLIC HAZARD). LIKEWISE, UNDER NO CIRCUMSTANCES SHALL ANY DEBRIS OR INCIDENTAL MATERIALS BE ALLOWED UPON ADJACENT PRIVATE PROPERTY.
- MAINTENANCE: (CONTRACTOR) FOR ALL PLANTINGS, SEEDED LAWN AREAS: THE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AND LAWN AREAS FOR AT LEAST A PERIOD OF 60 DAYS, OR UNTIL FINAL ACCEPTANCE FROM THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY WATERING PLANTS AND LAWN/TURFGRASS DURING THIS 60 DAY ESTABLISHMENT PERIOD. CONTRACTOR IS RESPONSIBLE FOR THE ESTABLISHMENT OF HEALTHY VIGOROUS PLANT MATERIALS AND LAWN/TURFGRASS GROWTH. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRUNING OF PLANT MATERIALS, AND SHAPING AND/OR REPLACEMENT OF DEFICIENT BARK MULCH DURING THIS PERIOD. LONG TERM PLANT MATERIALS AND LAWN/TURFGRASS MAINTENANCE AND ANY PROGRAM FOR SUCH IS THE RESPONSIBILITY OF THE OWNER. ALL PLANTINGS AND LAWN/TURFGRASS AREAS SHALL BE MAINTAINED IN A MANICURED CONDITION.
- MAINTENANCE: (OWNER) THE OWNER IS RESPONSIBLE FOR THE CONTINUED MAINTENANCE, REPAIR AND REPLACEMENT OF ALL LANDSCAPING MATERIALS AND WEED BARRIER FABRIC AS NECESSARY FOLLOWING THE ONE (1) YEAR CONTRACTOR GUARANTEE PERIOD.

POINT REQUIREMENT 1: BUILDING FOUNDATION REQUIREMENT		
Zoning: Planned Business	Planned Business: 937 Linear Feet of Building Foundation	
Calculation:	40 Landscape Points per 100 L.F.	
Calculation Formula:	(547 Linear Feet of Building Foundation / 100 Linear Feet) x 40 Points per 100 L.F. = 218.8	
Total Points Required:	219 Total Points	
Total Points Provided:	258 Total Points	
Code of Ordinances:	Screening of Utilities, HVAC, no Climax or Tall Trees To be located a maximum of 10' from building drip line	

Status:	Type:	QTY	POINTS	TOTAL POINTS
Annabelle Hydrangea	HYDRANGEA arborescens 'Annabelle'	10	3	30
Carol Meekie Daphne	DAPHNE x burkwoodii 'Carol Meekie'	8	1	8
Taunton Yew	TAXUS x media 'Tauntonii'	14	3	42
Compact Eur. Cranberrybush Viburnum	VIBURNUM opulus 'Compactum'	16	1	16
Red Sprite Winterberry	ILEX verticillata	6	1	6
Mini Arcade Juniper	JUNIPERUS sabina 'Mini Arcade'	18	3	54
Kelsey's Dwarf Redosier Dogwood	CORNUS sericea 'Kelsey'	5	1	5
Blue Arrow Juniper	JUNIPERUS scopulorum 'Blue Arrow'	5	12	60
Fine Line Fern Leaf Buckthorn	RHAMNUS frangula 'Ron Williams'	6	3	18
Ames St. Johnswort	HYPERICUM kalmianum 'Ames'	2	3	6
Hummingbird Summersweet Clethra	CLETHRA alnifolia 'Hummingbird'	7	1	7
New Jersey Tea	CEANOTHUS americanus	6	1	6
Total Points =				258

POINT REQUIREMENT 2: DEVELOPED LOTS (BUILDING SQ. FT.) REQUIREMENT		
Zoning: Planned Business	Planned Business: 21,758 Sq. Ft. of Proposed Combined Building Footprints	
Calculation:	10 Landscape Points per 1,000 Sq. Ft. of Building Footprint	
Calculation Formula:	(11909.5 Sq. Ft. of Building Footprint / 1,000 Sq. Ft.) x 10 Points = 119.10	
Total Points Required:	119 Total Points	
Total Points Provided:	126 Total Points	
Code of Ordinances:	Located away from and not contributing to Building Foundation Plantings.	

Status:	Type:	QTY	POINTS	TOTAL POINTS
State Street Maple	ACER miyabei 'State Street'	1	30	30
New Jersey Tea	CEANOTHUS americanus	3	1	3
Mounthatten Juniper	JUNIPERUS chinensis 'Mounthatten'	6	12	72
Compact Eur. Cranberrybush Viburnum	VIBURNUM opulus 'Compactum'	4	1	4
Mini Arcade Juniper	JUNIPERUS sabina 'Mini Arcade'	4	3	12
Kelsey's Dwarf Redosier Dogwood	CORNUS sericea 'Kelsey'	5	1	5
Total Points =				126

POINT REQUIREMENT 3: STREET FRONTAGE REQUIREMENT		
Zoning: Planned Business	Planned Business: 756.9 Linear Feet of Street Frontage	
Calculation:	40 Landscape Points per 100 L.F.	
Calculation Formula:	(507 Feet of Street Frontage / 100 Linear Feet) x 40 Points per 100 L.F. = 202.80	
Total Points Required:	203 Total Points	
Total Points Provided:	375 Total Points	
Code of Ordinances:	Mn. 50% of Points to be Climax Trees or Tall Trees, Mn. 30% of Points to be Medium Trees To be located a maximum of 10' from R-O-W, no shrubs used to meet requirement	

Species: Common Name	Species: Scientific Name	QTY	POINTS	TOTAL POINTS
Kentucky Coffeetree	GYMNOCLADIS dioica	2	75	150
Cleveland Select Pear	PYRUS Calleryana 'Cleveland Select'	0	15	0
Skyline Honeylocust	GLEDTISIA triacanthos f. inermis 'Skycole'	2	30	60
State Street Maple	ACER miyabei 'State Street'	3	30	90
Skymaster English Oak	QUERCUS robur 'Pyramich'	1	75	75
Total Points =				375

POINT REQUIREMENT 4: PAVED AREA REQUIREMENT		
Zoning: Planned Business	Planned Business: 94,237 Sq. Ft. of Pavement	
Calculation 1:	Greater of: 100 Landscape Points per 20 Stalls or 60 Points per 10,000 Sq. Ft. of Paved Area	
Calculation 2:	360 Sq. Ft. of landscape area for every 100 Points required	
Calculation 1 Formula:	(30552.97 Sq. Ft. of Paved Area / 10,000 Sq. Ft.) x 60 Points = 183.32 OR (81 stalls / 20) x 100 points = 405	
Calculation 2 Formula:	(183 Points / 100 Points) x 360 Sq. Ft. = 659.94	
Total Points Required:	405 Total Points	
Total Points Provided:	427 Total Points	
Total Landscape Area Required:	446 Sq. Ft.	
Total Landscape Area Provided:	3244 Sq. Ft.	
Code of Ordinances:	Mn. 30% of Points to be Climax Trees, Mn. 40% of Points to be Shrubs 360 Sq. Ft. of landscape area for every 100 Points required	

Species: Common Name	Species: Scientific Name	QTY	POINTS	TOTAL POINTS
Skymaster English Oak	QUERCUS robur 'Pyramich'	3	75	225
New Jersey Tea	CEANOTHUS americanus	12	1	12
Ames St. Johnswort	HYPERICUM kalmianum 'Ames'	5	3	15
Hummingbird Summersweet Clethra	CLETHRA alnifolia 'Hummingbird'	3	1	3
Mini Arcade Juniper	JUNIPERUS sabina 'Mini Arcade'	12	3	36
Kelsey's Dwarf Redosier Dogwood	CORNUS sericea 'Kelsey'	15	1	15
Compact Eur. Cranberrybush Viburnum	VIBURNUM opulus 'Compactum'	9	1	9
Fine Line Fern Leaf Buckthorn	RHAMNUS frangula 'Ron Williams'	12	3	36
Cleveland Select Pear	PYRUS Calleryana 'Cleveland Select'	4	15	60
Mini Arcade Juniper	JUNIPERUS sabina 'Mini Arcade'	4	3	12
Red Sprite Winterberry	ILEX verticillata	4	1	4
Total Points =				427
Total Project Points =				1186

JSD Professional Services, Inc.
 Engineers • Surveyors • Planners

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MADISON REGIONAL OFFICE
161 HORIZON DRIVE, SUITE 101
VERONA, WISCONSIN 53593
608.848.5060 PHONE | 608.848.2255 FAX

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www.jsdinc.com

SERVICES PROVIDED TO:

FORWARD DEVELOPMENT GROUP

161 Horizon Drive, Suite 101A
Verona, WI 53593

PROJECT:

KETTLE PARK WEST LOT 7

PROJECT LOCATION:
STOUTGTON, WI
DAUNE COUNTY

JSD PROJECT NO.: 15-7106

SEALS/SIGNATURE:

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR AND SUBCONTRACTORS MUST CHECK ALL DETAIL AND DIMENSIONS OF THEIR TRADE AND BE RESPONSIBLE FOR THE SAME.

DESIGN:	KTK	12-18-15
DRAWN:	KTK	12-18-15
APPROVED:	MJS	01-25-16

PLAN MODIFICATIONS:	DATE:
SIP SUBMITTAL	01-25-16
SIP SUBMITTAL	02-04-16
SIP RESUBMITTAL	02-25-16

DIGGERS HOTLINE

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SHEET TITLE:
LANDSCAPE SPECIFICATIONS & DETAILS

SHEET NUMBER:
L200

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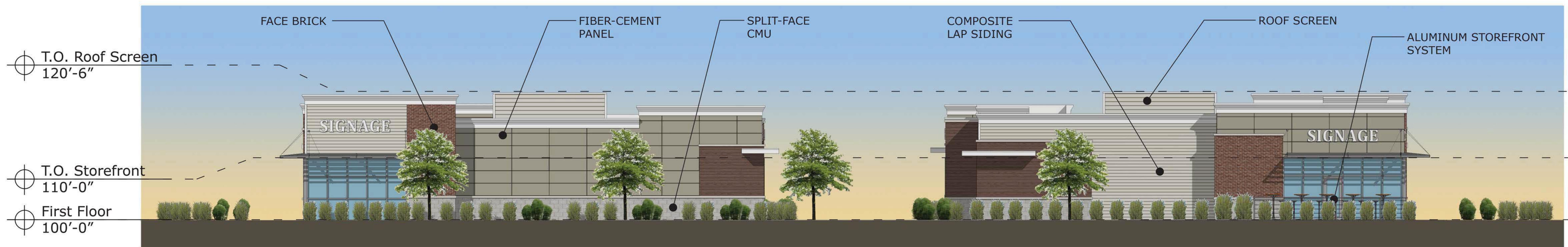
File: I:\2015\157106\DWG\157106_Lot 7b_Landscape_Plan.dwg Layout: L200 User: kyska Plotfile: Feb 25, 2016 5:53pm Xref's:

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Attachment D



South Elevation
Scale: 1/8" = 1'-0"



East Elevation
Scale: 1/8" = 1'-0"

West Elevation
Scale: 1/8" = 1'-0"



North Elevation
Scale: 1/8" = 1'-0"



COMPOSITE PLANK
NICHIBA
VINTAGEWOOD
BARK



SPLIT-FACE CMU
COUNTY MATERIALS
SANDSTONE
18-314C



FACE BRICK
INTERSTATE BRICK
BRONZESTONE



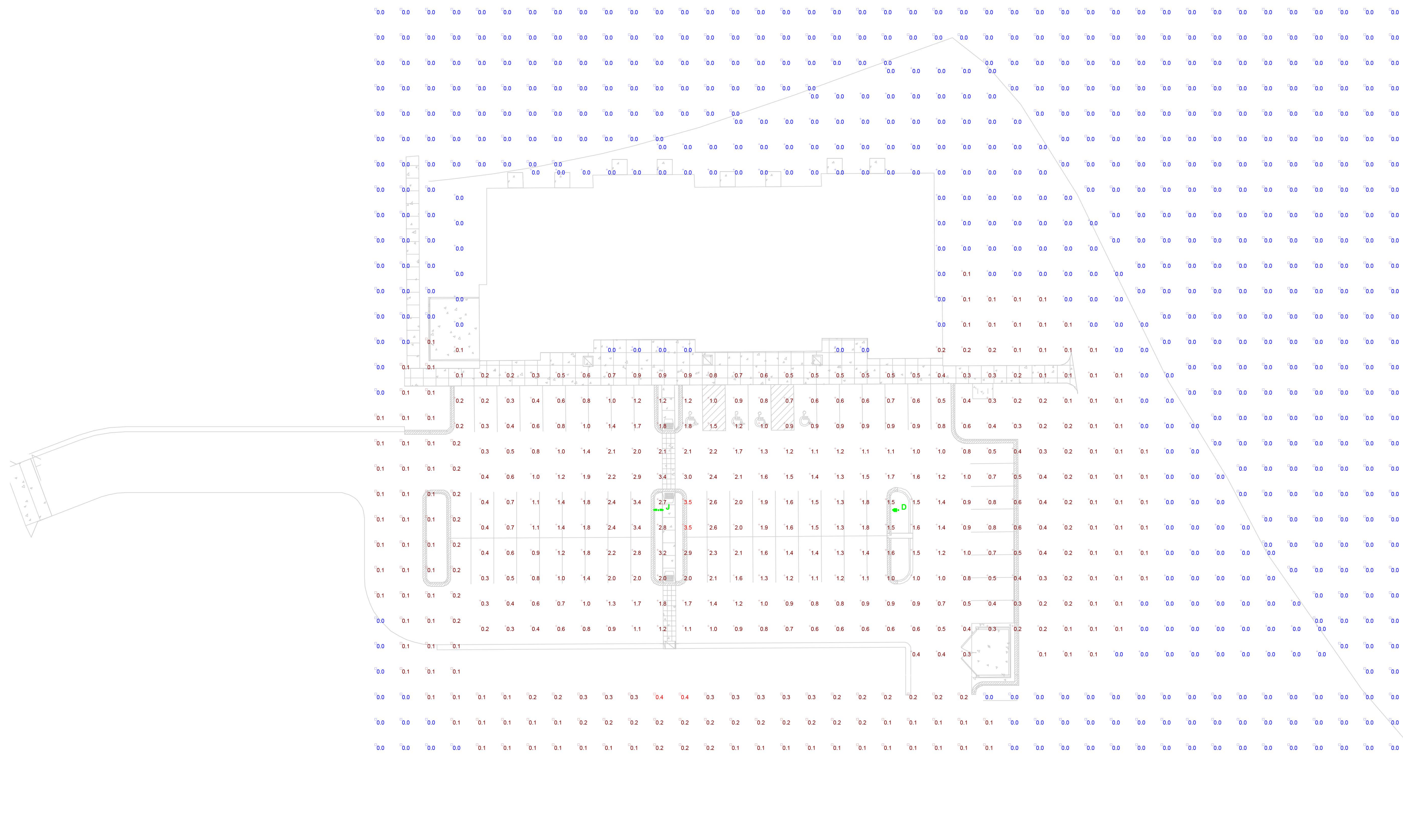
COMPOSITE LAP SIDING
LP SMART SIDE
WOOL SKEIN
SW 6148



FIBER-CEMENT PANEL
NICHIBA
ILLUMINATION SERIES
UNIVERSAL KHAKI
SW 6150



KETTLE PARK WEST LOT 7



LUMINAIRE SCHEDULE				
Symbol	Label	Qty	Catalog Number	Watts
■	D	1	ARE-EDG-5M-DA-12-D-UH-BK-525-57K (22ft Pole on 3ft base)	202
■	J	1	ARE-EDG-5M-DA-08-UL-525-57K (22ft Pole on 3ft base)	266

Plan View
Scale 1" = 20'

STATISTICS						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA OUT SIDE OF LOT LINE	□	0.0 fc	0.4 fc	0.0 fc	N / A	N / A
PARKING LOT ONLY	+	1.2 fc	3.5 fc	0.2 fc	17.5:1	6.0:1
PARKING LOT WITH COMPLETE SITE	+	0.6 fc	3.5 fc	0.0 fc	N / A	N / A

Designer _____
Date
FEB 4, 2016
Scale _____
Drawing No. _____

ARE-EDG-5M-DA

Cree Edge™ Area Luminaire - Type V Medium - Direct Arm Mount

Product Description

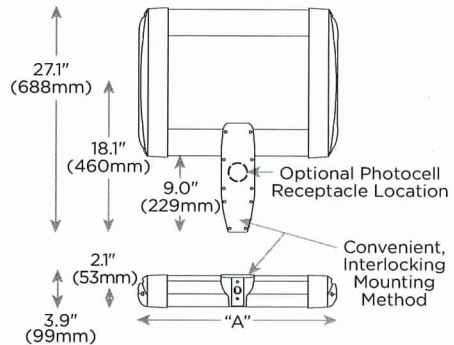
Slim, low profile design minimizes wind load requirements. Luminaire sides are rugged cast aluminum with integral, weathertight LED driver compartments and high performance aluminum heat sinks. Convenient, interlocking mounting method. Mounting housing is rugged die cast aluminum and mounts to 3-6" (76-152mm) square or round pole. Luminaire is secured by two 5/16-18 UNC bolts spaced on 2" (51mm) centers.

Performance Summary

- Utilizes BetaLED® Technology
- Patented NanoOptic® Product Technology
- Made in the U.S.A. of U.S. and imported parts
- CRI: Minimum 70 CRI
- CCT: 5700K (+ / - 500K) Standard, 4000K (+ / - 300K)
- Limited Warranty*: 10 years on luminaire / 10 years on Colorfast DeltaGuard® finish
- EPA and Weight: Reference EPA and Weight spec sheet

Accessories

Field Installed Accessories
XA-BRDSPK Bird Spikes



LED Count (x10)	Dim. "A"
04	12.1" (306mm)
06	14.1" (357mm)
08	16.1" (408mm)
10	18.1" (459mm)
12	20.1" (510mm)
14	22.1" (560mm)
16	24.1" (611mm)
20	28.1" (713mm)
24	32.1" (814mm)

Ordering Information

Example: ARE-EDG-5M-DA-04-E-UL-SV-350-OPTIONS

ARE-EDG	5M	DA	12	E	UH	BK	525	57K
Product	Optic	Mounting	LED Count (x10)	Series	Voltage	Color Options	Drive Current	Options
ARE-EDG	5M Type V Medium	DA Direct Arm	04 06 08 10 12 14 16 20 24	E	UL Universal 120-277V UH Universal 347-480V 34 347V	SV Silver (Standard) BK Black BZ Bronze PB Platinum Bronze WH White	350* 350mA 525** 525mA 700*** 700mA	57K 5700K Color Temperature - Color temperature per luminaire DIM 0-10V Dimming - Control by others - Refer to dimming spec sheet for details - Can't exceed specified drive current F Fuse - When code dictates fusing, use time delay fuse - Not available with all ML options. Refer to ML spec sheet for availability with ML options HL Hi / Low (175 / 350 / 525 Dual Circuit Input) - Refer to ML spec sheet for details - Sensor not included P Photocell - Not available with all ML options. Refer to ML spec sheet for availability with ML options - Must specify voltage other than UH R NEMA Photocell Receptacle - Not available with all ML options. Refer to ML spec sheet for availability with ML options - Photocell by others ML Multi-Level - Refer to ML spec sheet for details

* See www.cree.com/lighting/products/warranty for warranty terms
 * Available on luminaires with 60-240 LEDs.
 ** Available on luminaires with 40-160 LEDs.
 *** Available on luminaires with 40-60 LEDs.



Rev. Date: 09/27/13



Product Specifications

CONSTRUCTION & MATERIALS

- Slim, low profile, minimizing wind load requirements
- Luminaire sides are rugged die cast aluminum with integral, weathertight LED driver compartments and high performance heat sinks
- Convenient interlocking mounting method. Mounting housing is rugged die cast aluminum mounting to 3-6" (76-152mm) square or round pole, secured by two 5 / 16-18 UNC bolts spaced on 2" (51mm) centers
- Includes leaf / debris guard
- Exclusive Colorfast DeltaGuard® finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. Standard is silver. Bronze, black, white, and platinum bronze are also available

ELECTRICAL SYSTEM

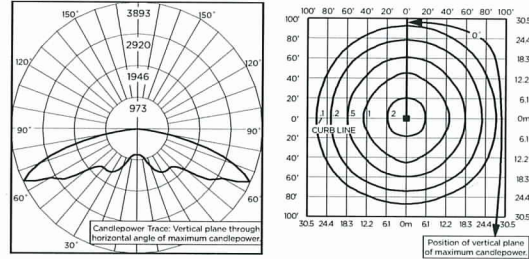
- **Input Voltage:** 120-277V or 347-480V, 50 / 60Hz, Class 1 drivers
- **Power Factor:** > 0.9 at full load
- **Total Harmonic Distortion:** < 20% at full load
- Integral weathertight electrical box with terminal strips (12Ga-20Ga) for easy power hookup
- Integral 10kV surge suppression protection standard
- To address inrush current, slow blow fuse or type C / D breaker should be used

REGULATORY & VOLUNTARY QUALIFICATIONS

- cULus Listed
- Suitable for wet locations
- Enclosure rated IP66 per IEC 60529 when ordered without P or R options
- Consult factory for CE Certified products
- Certified to ANSI C136.31-2001, 3G bridge and overpass vibration standards
- 10kV surge suppression protection tested in accordance with IEEE / ANSI C62.41.2
- Luminaire and finish endurance tested to withstand 5,000 hours of elevated ambient salt fog conditions as defined in ASTM Standard B 117
- Product qualified on the DesignLights Consortium™ ("DLC") Qualified Products List ("QPL") when ordered without full backlight control shield
- Meets Buy American requirements within ARRA

Photometry

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP certified laboratory.



CSA Test Report #: 6416
 ARE-EDG-5M-**-06-E-UL-700-40K
 Initial Delivered Lumens: 12,022

ARE-EDG-5M-**-12-E-UL-525-40K
 Mounting Height: 25' (7.6m) A.F.G.
 Initial Delivered Lumens: 18,630
 Initial FC at grade

IES Files
 To obtain an IES file specific to your project consult:
<http://www.cree.com/lighting/tools-and-support/exterior-ies-configuration-tool>

Lumen Output, Electrical, and Lumen Maintenance Data

LED Count (x10)	Type V Medium Distribution										50K Hours Projected Lumen Maintenance Factor @ 15' C (59' F)***	
	5700K		4000K		System Watts 120-480V	TOTAL CURRENT						
	Initial Delivered Lumens*	BUG Ratings** Per TM 15-11	Initial Delivered Lumens*	BUG Ratings** Per TM 15-11		120V	208V	240V	277V	347V		480V
350mA @ 25° C (77° F)											93%	
06	6,926	B3 U0 G2	6,670	B3 U0 G2	66	0.52	0.31	0.28	0.26	0.20		0.15
08	9,235	B3 U0 G2	8,893	B3 U0 G2	90	0.75	0.44	0.38	0.34	0.26		0.20
10	11,516	B4 U0 G2	11,089	B4 U0 G2	110	0.92	0.53	0.47	0.41	0.32		0.24
12	13,819	B4 U0 G3	13,307	B4 U0 G3	130	1.10	0.63	0.55	0.48	0.38		0.28
14	16,020	B4 U0 G3	15,427	B4 U0 G3	158	1.32	0.77	0.68	0.62	0.47		0.35
16	18,309	B4 U0 G3	17,651	B4 U0 G3	179	1.49	0.87	0.77	0.68	0.53		0.39
20	22,886	B5 U0 G3	22,038	B5 U0 G3	220	1.84	1.06	0.93	0.83	0.64	0.47	
24	27,463	B5 U0 G4	26,446	B5 U0 G4	261	2.19	1.26	1.10	0.97	0.76	0.56	
525mA @ 25° C (77° F)											92%	
04	6,539	B3 U0 G2	6,297	B3 U0 G2	70	0.58	0.34	0.31	0.28	0.21		0.16
06	9,697	B3 U0 G2	9,338	B3 U0 G2	101	0.84	0.49	0.43	0.38	0.30		0.22
08	12,929	B4 U0 G3	12,450	B4 U0 G3	133	1.13	0.66	0.58	0.51	0.39		0.28
10	16,122	B4 U0 G3	15,525	B4 U0 G3	171	1.43	0.83	0.74	0.66	0.50		0.38
12	19,347	B4 U0 G3	18,630	B4 U0 G3	202	1.69	0.98	0.86	0.77	0.59		0.44
14	22,428	B5 U0 G3	21,598	B5 U0 G3	232	1.94	1.12	0.98	0.87	0.68		0.50
16	25,632	B5 U0 G3	24,683	B5 U0 G3	263	2.21	1.27	1.11	0.97	0.77	0.56	
700mA @ 25° C (77° F)											90%	
04	7,987	B3 U0 G2	7,691	B3 U0 G2	92	0.78	0.46	0.40	0.36	0.27		0.20
06	11,844	B4 U0 G3	11,405	B4 U0 G2	134	1.14	0.65	0.57	0.50	0.39	0.29	

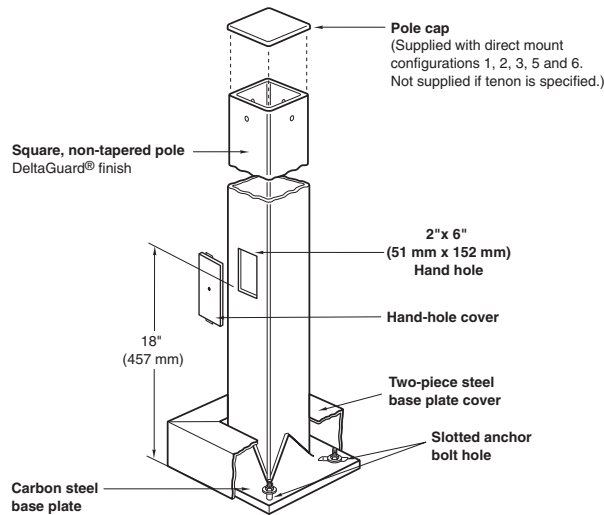
* Actual production yield may vary between -4 and +10% of initial delivered lumens.
 ** For more information on the IES BUG (Backlight Uplight Glare) Rating visit www.iesna.org/PDF/Erratas/TM15-11BUGRatingsAddendum.pdf.
 *** For recommended lumen maintenance factor data see TD-13. Calculated L₈₀ based on 6,000 hours LM-80-08 testing; > 150,000 hours.

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PS Crown-Weld® Square Straight Steel Poles

Beta Catalog Number:



Notes:

Catalog Number	Height (feet) x Width (inches) x Wall (inches)	Bolt Circle/Range (inches)	Bolt Size (inches)	Pole "EPA" Ratings Pole Base Wind Velocity								Mount Configuration*	Color Options†	
				70	80	90	100	110	120	130	140			
PS3S10C*†	10 x 3 x 0.125	10/9.3-11	3/4	31.4	23.6	18.2	14.3	11.5	9.3	7.0	6.3	1	■ Single ¹	BZ
PS3S15C*†	15 x 3 x 0.125	10/9.3-11	3/4	18.5	13.4	9.9	7.4	5.5	4.1	3.0	2.2			BK
PS3S20C*†	20 x 3 x 0.125	10/9.3-11	3/4	11.5	7.8	5.2	3.3	2.0	0.9	0.1	0.0	2	■ Twin @ 180° ¹	WH
PS4S10C*†	10 x 4 x 0.125	10/9.3-11	3/4	59.9	45.2	35.1	27.9	22.6	18.5	15.4	12.9			PB
PS4S12C*†	12 x 4 x 0.125	10/9.3-11	3/4	48.4	36.2	27.9	21.9	17.5	14.2	11.6	9.5			SV
PS4S15C*†	15 x 4 x 0.125	10/9.3-11	3/4	36.5	26.9	20.3	15.6	12.1	9.5	7.4	5.8	3	■ Twin @ 90° ¹	
PS4S17C*†	17 x 4 x 0.125	10/9.3-11	3/4	30.7	22.3	16.6	12.5	9.41	7.1	5.3	3.9			
PS4S20C*†	20 x 4 x 0.125	10/9.3-11	3/4	24.0	16.9	12.1	8.7	6.1	4.2	2.7	1.5			
PS4S22C*†	22 x 4 x 0.125	10/9.3-11	3/4	20.4	14.0	9.7	6.6	4.3	2.5	1.2	0.1	5	■ Triple ¹	
PS4S25C*†	25 x 4 x 0.125	10/9.3-11	3/4	15.9	10.4	6.6	3.9	1.9	0.4	0.0	0.0			
PS4S25S*†	25 x 4 x 0.188	10/9.3-11	3/4	25.3	17.6	12.3	8.5	5.7	3.6	1.9	0.6	6	■ Quad ¹	
PS4S27R*†	27 x 4 x 0.125	10/9.3-11	3/4	22.0	14.9	10.0	6.6	4.0	2.0	0.0	0.0			
PS4S30R*†	30 x 4 x 0.125	10/9.3-11	3/4	17.7	11.4	7.1	4.0	1.7	0.0	0.0	0.0	T	Tenon ²	
PS4S30H*†	30 x 4 x 0.188	10/9.3-11	3/4	19.5	12.5	7.8	4.4	1.9	0.0	0.0	0.0			
PS5S25S*†	25 x 5 x 0.188	10/9.7-11.3	1	43.9	31.4	22.8	16.6	12.1	8.7	6.0	3.8			
PS5S30S*†	30 x 5 x 0.188	10/9.7-11.3	1	32.2	21.9	14.9	9.9	6.2	3.4	1.2	0.0			
PS6S30S*†	30 x 6 x 0.188	11.5/11.3-12.8	1	50.8	35.7	25.3	17.9	12.4	8.2	4.9	2.4			

Field-Installed Accessories



GFI Outlet Accessory - 120V	
REC-GF1BZ	REC-GF1PB
REC-GF1BK	REC-GF1SV
REC-GF1WH	

1-Direct mount pole configuration; add prefix "2" to conugation numbers for fixtures with Fixed 20° mount (i.e. "21", "22", "23", "25", "26") Example PS6S30S21BZ

2-Order tenon separately

General Description

Non-tapered square steel poles are supplied with welded base with cover, four galvanized anchor bolts, masonite mounting template and a pole cap (except tenon mount). Each anchor bolt is provided with two washers and two nuts. Steel pole base has slotted holes. Per National Electrical Code requirements, pole is standard with a 2" x 6" (51 x 152 mm) hand hole, located 18" (457 mm) above bottom of pole base. A #10-32 stainless-steel weld stud with grounding lug is located inside pole, opposite hand hole; a hand hole cover is supplied but shipped separately. In addition, 4" x 27" and 4" x 30" poles include an internal 5/16" steel reinforced sleeve welded inside the bottom 24" of the pole, as well as a reinforcement welded around the hand hole for added strength.

Materials

Square, non-tapered pole of structural steel tubing (ASTM A 500); with a minimum yield strength of 46,000 p.s.i. Welded to a formed carbon steel base plate with a minimum yield strength of 36,000 p.s.i.

Finish

Exclusive Colorfast DeltaGuard™ finish features an E-Coat epoxy primer with an ultra-durable powder topcoat, providing excellent resistance to corrosion, ultraviolet degradation and abrasion. The finish is covered by our 7 year limited warranty.

Labels

Beta Lighting square steel poles meet or exceed National Electrical Code Requirements. In the US, Beta square poles are classified by Underwriters Laboratories Inc. for electrical ground bonding; in Canada, they are CSA certified for electrical ground bonding and structural strength.

Patents

US 5,820,255; 6,640,517; Patent pending

PS3S10C(a)BZ

10' (3.0 m) x 3" (76 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.50" (13 mm) thick
 Anchor bolts – 3/4"-10 x 18" (457 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 250 lbs. (114 Kg)
 Approximate shipping weight – 58 lbs. (26 Kg)

PS3S15C(a)BZ

15' (4.6 m) x 3" (76 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 18" (457 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 250 lbs. (114 Kg)
 Approximate shipping weight – 82 lbs. (37 Kg)

PS3S20C(a)BZ

20' (6.1 m) x 3" (76 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 18" (457 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 250 lbs. (114 Kg)
 Approximate shipping weight – 119 lbs. (54 Kg)

PS4S10C(a)BZ

10' (3.0 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 18" (457 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 350 lbs. (159 Kg)
 Approximate shipping weight – 78 lbs. (35 Kg)

PS4S12C(a)BZ

12' (3.7 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 18" (457 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 300 lbs. (136 Kg)
 Approximate shipping weight – 99 lbs. (45 Kg)

PS4S15C(a)BZ

15' (4.6 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 350 lbs. (159 Kg)
 Approximate shipping weight – 119 lbs. (54 Kg)

PS4S17C(a)BZ

17' (5.2 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 300 lbs. (136 Kg)
 Approximate shipping weight – 131 lbs. (59 Kg)

PS4S20C(a)BZ

20' (6.1 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 350 lbs. (159 Kg)
 Approximate shipping weight – 150 lbs. (68 Kg)

PS4S22C(a)BZ

22' (6.7 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 310 lbs. (141 Kg)
 Approximate shipping weight – 163 lbs. (74 Kg)

PS4S25C(a)BZ

25' (7.6 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 350 lbs. (159 Kg)
 Approximate shipping weight – 182 lbs. (83 Kg)

PS4S25S(a)BZ

25' (7.6 m) x 4" (102 mm)
 Wall thickness – 0.188" (5 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 350 lbs. (159 Kg)
 Approximate shipping weight – 252 lbs. (114 Kg)

PS4S27R(a)BZ

27' (8.2 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 280 lbs. (127 Kg)
 Approximate shipping weight – 232 lbs. (105 Kg)

PS4S30R(a)BZ

30' (9.1 m) x 4" (102 mm)
 Wall thickness – 0.125" (3 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 315 lbs. (143 Kg)
 Approximate shipping weight – 301 lbs. (137 Kg)

PS4S30H(a)BZ

30' (9.1 m) x 4" (102 mm)
 Wall thickness – 0.188" (5 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 3/4"-10 x 30" (762 mm) + 3" (76 mm)
 Bolt circle diameter – 10" (254 mm) 9.3" – 11" (235 mm – 279 mm)
 Maximum fixture weight – 340 lbs. (155 Kg)
 Approximate shipping weight – 337 lbs. (153 Kg)

PS5S25S(a)BZ

25' (7.6 m) x 5" (127 mm)
 Wall thickness – 0.188" (5 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 1"-8 x 36" (914 mm) + 4" (102 mm)
 Bolt circle diameter – 10" (254 mm) 9.7" – 11.3" (248 mm – 287 mm)
 Maximum fixture weight – 450 lbs. (204 Kg)
 Approximate shipping weight – 320 lbs. (145 Kg)

PS5S30S(a)BZ

30' (9.1 m) x 5" (127 mm)
 Wall thickness – 0.188" (5 mm)
 Base plate – 10" (254 mm) square x 0.750" (19 mm) thick
 Anchor bolts – 1"-8 x 36" (914 mm) + 4" (102 mm)
 Bolt circle diameter – 10" (254 mm) 9.7" – 11.3" (248 mm – 287 mm)
 Maximum fixture weight – 375 lbs. (170 Kg)
 Approximate shipping weight – 379 lbs. (172 Kg)

PS6S30S(a)BZ

30' (9.1 m) x 6" (152 mm)
 Wall thickness – 0.188" (5 mm)
 Base plate – 12" (305 mm) square x 1" (25 mm) thick
 Anchor bolts – 1"-8 x 36" (914 mm) + 4" (102 mm)
 Bolt circle diameter – 11.5" (292 mm) 11.3" – 12.8" (286 mm – 324 mm)
 Maximum fixture weight – 525 lbs. (238 Kg)
 Approximate shipping weight – 457 lbs. (207 Kg)





CITY OF STOUGHTON
DEPARTMENT OF PLANNING & DEVELOPMENT
381 East Main Street, Stoughton, WI. 53589
www.cityofstoughton.com/planning

RODNEY J. SCHEEL
DIRECTOR
(608) 873-6619
fax: (608) 873-5519

February 26, 2016

JSD Professional Services, Inc.
Kevin Yeska
161 Horizon Drive, Suite 101
Verona, WI. 53593

Dear Mr. Yeska:

I have completed a review of the proposed Specific Implementation Plan (SIP) Kettle Park West Commercial Center, Lot 7, Stoughton – Plans received 2/26/16.

1. The property at Kettle Park West Commercial Center, Lot 7 is zoned PD-GDP – Planned Development-General Development Plan. The SIP will be reviewed according to zoning code section 78-914(8), PD process Step 4: Specific Implementation Plan. The typical zoning for this type of use is PB – Planned Business. The proposed use of Lot 7B is retail sales and indoor commercial entertainment. Indoor sales and service uses are a permitted land use in the PB district while indoor commercial entertainment is permitted as a conditional use. This submittal will be reviewed by the Planning Commission on March 14, 2016.
2. The Planned Development: Specific Implementation Plan requirements per zoning code section 78-914(8) are as follows:
 - A. A location map of the subject property as depicted on the planned land use map shall be provided. **Provided**
 - B. A map of subject property showing all lands within 300 feet of the boundaries of the subject property, together with the names and addresses of the owners of all lands on said map including indication of current zoning of subject property. **N/A**
 - C. A general description of the specific implementation plan including:
 - a. Specific project themes and images; **Provided**
 - b. The specific mix of dwelling units and/or land uses; **Provided**
 - c. Specific densities and intensities as described by dwelling units per acre, floor area ratio and impervious surface area ratio; **Provided**
 - d. Specific treatment of natural resources; **N/A**
 - e. Specific relationship to nearby properties and streets; **Provided**
 - f. A statement of rationale as to why the PD zoning is proposed which identifies barriers the applicant perceives in the form of requirements of standard zoning districts and opportunities for community betterment the applicant suggests are available through the proposed PD zoning; **Provided during GDP process.**

- g. A complete list of zoning standards which will not be met and which will be more than met by the proposed SIP and the locations in which they apply shall be identified as compared to the most comparable zoning district. (In this case, the PB – Planned Business zoning district). **Provided**
- D. A specific implementation plan drawing shall be provided with at least the following information in sufficient detail to make an evaluation against criteria for approval:
 - a. A site plan conforming to all requirements of subsection 78-908(3), site plan review and approval requirements. If the proposed development is a large development per section 78-205(11), a proposed preliminary plat or conceptual plat may be required by the zoning administrator; **Site Plan provided**
 - b. Location of recreational and open spaces areas and facilities; **Provided as part of the detailed neighborhood plan process.**
 - c. Statistical data on minimum lot sizes in the development, the precise area of all development lots and pads, density/intensity of various parts of the development, floor area ratio, impervious surface area ratio and landscape surface area ratio of various land uses, expected staging, and any other plans required by the plan commission or common council; and **Determined as part of the GDP approval.**
 - d. Notations related to the written information provided in C a) through g) above to specific areas on the GDP drawing. **Provided.**
- E. A landscaping plan for subject property, specifying location, species, and installed size of all trees and shrubs. The plan shall include a chart which provides cumulative totals for each species, type and required location (foundation, yard, street, paved area and bufferyard) of all trees and shrubs. **The plan meets this requirement.**
- F. A series of building elevations for the entire exterior of the buildings including notes on materials and colors proposed. **Provided**
- G. A general signage plan for the subject property. **Provided**
- H. A general outline of the intended organizational structure for a property owners association, if any; deed restrictions and provisions for private provision of common services. **Needed once determined.**
- I. A written description which demonstrates the full consistency of the proposed SIP with the approved GDP. **Provided.**
- J. All variations between the requirements of the approved GDP zoning district and the proposed SIP development. **No variations proposed.**
- K. Proof of financing capability pertaining to construction and maintenance and operation of public works elements of the proposed development. **N/A.**
- L. The area of the SIP may be only a portion of the area included in a previously approved GDP. **The submittal complies with this requirement.**
- M. The SIP submission may include site plan and design information, allowing the plan commission to combine the design review and SIP review. Design review may, at the choice of the applicant, be deferred until a later time when specific site and building developments will be brought forth. **Site and design review is proposed.**
- N. The plan commission or common council may specify other plans, documents, or schedules that must be submitted prior to consideration of approval of the SIP. **To be determined.**

- O. The process for review and approval shall be identical to that for site plans per section 78-908, site plan review and approval and if the land is being divided per Chapter 66, Land Division.
 - P. All portions of the SIP not fully developed within 5 years of final council approval shall expire. The common council may extend this 5 year period by up to 5 additional years via a majority vote following public hearing. Completed portions of the GDP shall retain the GDP status. **Expected.**
3. Large development requirements per zoning code section 78-205(11) are as follows:
- A. Compatibility with city plans. A written compatibility report shall be submitted with the rezoning request providing adequate evidence that the proposed building and overall development will be compatible with the city's comprehensive plan, detailed neighborhood plan and any other plans officially adopted by the city. **The proposed development is compatible with the comprehensive plan, detailed neighborhood plan and general development plan.**
 - B. A large development questionnaire shall be completed when a development reaches a defined threshold as outlined in figure 2.1. The threshold is set at >20,000 square feet. The large development questionnaire shall be in a format as shown in figure 2.2. **Completed as part of the GDP.**
 - C. *Traffic impact analysis.* A traffic impact analysis is required when a development reaches a defined threshold as outlined in Figure 2.1. The traffic impact analysis shall be completed in accordance with the most current revision of the Traffic Impact Analysis Guidelines published by the State of Wisconsin DOT. In addition, the following are required: **Provided for KPW phase 1.**
 - D. All projects shall have direct access to an arterial street, or to a collector level street deemed appropriate by the planning commission; **US Highway 51 is accessed via Kettle Park Way and the private Access Drive which was approved as part of detailed neighborhood plan, GDP and TIA.**
 - E. Vehicle access shall be designed to accommodate peak on-site traffic volumes without disrupting traffic on public streets or impairing pedestrian safety. This shall be accomplished through adequate parking lot design and capacity; access drive entry throat length, width, design, location, and number; traffic control devices; and sidewalks; **Determined as part of phase 1 TIA.**
 - F. The site design shall provide direct connections to adjacent land uses if required by the city; **Determined as part of GDP.**
 - G. The applicant shall provide funding to the city to hire a traffic engineer of the city's choice to complete and present a traffic impact analysis; **Determined as part of phase 1 TIA.**
 - H. Where the applicant's or the city's traffic impact analysis indicates that a project may cause off-site public roads, intersections, or interchanges to function below level of service (LOS) C, then the city may deny the application, may require a size reduction in the proposed development, and/or may require the developer to construct and/or pay for required off-site improvements to achieve LOS C for a planning horizon of a

minimum of ten years assuming full build-out of the development. **Determined as part of phase 1 TIA.**

- I. The city has the option to require a trip generation study. **Determined as part of GDP.**
4. *Economic and fiscal impact analysis.* An economic and fiscal impact analysis is required when a development reaches a defined threshold as outlined in Figure 2.1. The economic and fiscal impact analysis shall include all of the items identified in Figure 2.3 of this section. In addition, the economic and fiscal impact analysis shall include the following: **Provided as part of the GDP.**
 - A. Identify and assess the economic and fiscal impacts on the community;
 - B. Propose measures to mitigate adverse impacts and/or maximize positive impacts including provision of infrastructure or public services improvements sufficient to support the project. Any adverse impacts that cannot be mitigated shall be identified. Mitigation measures to be implemented by the applicant shall be identified;
 - C. The applicant shall provide the necessary funding to the city to hire a consultant of the city's choice, with appropriate experience to complete and present an economic and fiscal impact analysis to the city.
 5. *Detailed neighborhood plan.* In the absence of an adopted detailed neighborhood plan for the subject property, the conditional use or planned unit development application for a development exceeding 80,000 square feet in total gross floor area of all combined buildings within the development shall be accompanied or preceded by a new city-approved detailed neighborhood plan for all areas within 1,500 feet of the subject property, as measured from the outer perimeter of the subject property or group of properties proposed for development, and any other nearby lands as determined by the planning commission and common council to be part of the defined neighborhood. The detailed neighborhood plan shall clearly demonstrate the provision of land use, multi-modal transportation, utility, stormwater management and community character components, and patterns that support the objectives of the city's comprehensive plan, as determined by the planning commission and common council. **Detailed neighborhood plan was adopted and was made part of the City comprehensive plan on June 26, 2012.**

As part of the detailed neighborhood plan approval there are a number of recommendations by the Capital Area Regional Planning Commission that have been agreed to by the City. These recommendations are primarily related to stormwater management and are delineated at the end of the detailed neighborhood plan. **These recommendations will be addressed during the stormwater management planning.**
 6. The detailed neighborhood plan shall contain the following specific elements at a scale of not less than one inch equals 400 feet: **Previously Approved**

- A. Land use with specific zoning districts and/or land uses;
- B. Transitional treatments such as berms and/or landscaping between areas with differing land uses or character;
- C. Complete public road network;
- D. Pedestrian and bicycle network;
- E. Transit routes and stops, where applicable;
- F. Conceptual stormwater management network;
- G. Public facility sites including parks, schools, conservation areas, public safety facilities and public utility facilities;
- H. Recommendations for community character themes including building materials, landscaping, streetscaping and signage.

7. *Facilities and associated features.*

A. Building location. Where buildings are proposed to be distant from a public street, as determined by the planning commission, the overall development design shall include smaller buildings on pads or outlots closer to the street. Placement and orientation must facilitate appropriate land use transitions and appropriate traffic flow to adjoining roads and neighboring commercial areas, and neighborhoods, and must forward community character objectives as described in the city's comprehensive plan. **Determined by the Planning Commission. Much of this requirement was already deemed appropriate through the detailed neighborhood plan and general development planning process.**

B. Building materials. Exterior building materials shall be of comparable aesthetic quality on all sides. Building materials such as glass, brick, tinted and decorative concrete block, wood, stucco, and exterior insulation and finish systems (EIFS) shall be used, as determined appropriate by the planning commission. Decorative architectural metal with concealed fasteners or decorative tilt-up concrete panels may be approved if incorporated into the overall design of the building. **To be determined by the Planning Commission.**

C. Building design. The building exterior shall complement other buildings in the vicinity, and shall be of a design determined appropriate by the planning commission, including the following: **All of the following shall be determined by the Planning Commission. (Consideration should be given that some of these requirements appear to be for a much larger building/site)**

a. The building shall employ varying setbacks, heights, roof treatments, doorways, window openings, and other structural or decorative elements to reduce apparent size and scale of the building;

b. A minimum of 20 percent of the structure's facades that are visible from a public street shall employ actual protrusions or recesses with a depth of at least six feet. No uninterrupted facade shall extend more than 100 feet;

c. A minimum of 20 percent of all of the combined linear roof eave or parapet lines of the structure shall employ differences in height, with such differences being six feet or more as measured eave to eave or parapet to parapet;

d. Roofs with particular slopes may be required by the city to complement existing buildings or otherwise establish a particular aesthetic objective;

e. Ground floor facades that face public streets shall have arcades (a series of outdoor spaces located under a roof or overhang and supported by columns or arches), display windows, entry areas, awnings, or other such features along no less than 50 percent of their horizontal length. The integration of windows into building design is required, and shall be transparent, clear glass (not tinted) or spandrel glass between three to eight feet above the walkway along any facades facing a public street. The use of blinds shall be acceptable where there is a desire for opacity;

f. Building facades shall include a repeating pattern that includes no less than three of the following elements: (i) color change, (ii) texture change, (iii) material modular change, (iv) expression of architectural or structural bay through a change in plane no less than 24 inches in width, such as an offset, reveal or projecting rib. At least one of these elements shall repeat horizontally. All elements shall repeat at intervals of no more than 30 feet, either horizontally or vertically.

D. Building entrances. Public building entryways shall be clearly defined and highly visible on the building's exterior design, and shall be emphasized by on-site traffic flow patterns. Two or more of the following design features shall be incorporated into all public building entryways: canopies or porticos, overhangs, projections, arcades, peaked roof forms, arches, outdoor patios, display windows, distinct architectural details. When additional stores located in the principal building exceed 30 percent of the gross floor area, separate entrances may be considered for each such store that shall conform to the above requirements. **The plan meets these requirements.**

E. Building color. Building facade colors shall be non-reflective, subtle, neutral, or earth tone. The use of high intensity colors, metallic colors, fluorescent colors or black on facades shall be prohibited. Building trim and architectural accent elements may feature bright colors or black, but such colors shall be muted, not metallic, not fluorescent, and not specific to particular uses or tenants. Standard corporate and trademark colors shall be permitted only on signage, subject to the limitations in chapter 78, article VIII. **The plan meets these requirements.**

F. Screening.

a. All ground-mounted and wall-mounted mechanical equipment, refuse containers and any permitted outdoor storage shall be fully concealed from on-site and off-site ground level views, with materials identical to those used on the building exterior; **Details to be provided.**

b. All rooftop mechanical equipment shall be screened by parapets, upper stories, or other areas of exterior walls or roofs so as to not be visible from public streets adjacent or within 1,000 feet of the subject property. Fences or similar rooftop screening devices may not be used to meet this requirement; **Details to be provided.**

c. Loading docks shall be completely screened from surrounding roads and properties. Said screening may be accomplished through loading areas internal to buildings, screen walls, which match the building exterior in materials and design, fully opaque landscaping at time of planting, or combinations of the above; **N/A**

d. Gates and fencing may be used for security and access, but not for screening, and they shall be of high aesthetic quality. Decorative metal picket fencing and screening is acceptable. Chain link, wire mesh or wood fencing is unacceptable. Decorative, heavy-duty wood gates may be used. N/A

G. Parking.

a. Parking lots in which the number of spaces significantly exceeds the minimum number of parking spaces required in section 78-704 shall be allowed only with specific and reasonable justification; **An exception has been requested to exceed the maximum required parking. The City requirement is 1 space per 300 square feet of gross floor area for retail uses while the applicant is seeking 5.21 stalls per 1,000 square feet of gross floor area. The City requirement is 34 parking stalls for retail while the applicant proposes 61 parking stalls. We will need more details when available for any proposed restaurant use to review the parking requirement. Also see #15 below.**

b. Parking lot design shall employ interior, curbed landscaped islands at all parking aisle ends. In addition, the project shall provide landscaped islands within each parking aisle spaced at intervals no greater than one island per every 20 spaces in that aisle. Islands at the ends of aisles shall count toward meeting this requirement. Each required landscaped island shall be a minimum of 360 square feet in landscaped area; **See #33 below which requires a 400 sq. ft. landscaped island. An exception has been requested.**

c. Landscaped and curbed medians, a minimum of ten feet in width from back-of-curb to back-of-curb, shall be used to create distinct parking areas of no more than 120 parking stalls. **This requirement has not been met. An exception has been requested.**

H. Bicycle and pedestrian facilities.

a. The entire development shall provide for safe pedestrian and bicycle access to all uses within the development, connections to existing and planned public pedestrian and bicycle facilities, and connections to adjacent properties; **As determined during the GDP process. There is a public sidewalk or shared use path around the perimeter of lot 7.**

b. Pedestrian walkways shall be provided from all building entrances to existing or planned public sidewalks or pedestrian/bike facilities. The minimum width for sidewalks adjacent to buildings shall be ten feet; and the minimum width for sidewalks elsewhere in the development shall be five feet; **The plan meets this requirement. Public sidewalk shall be a minimum of 6" thick through driveways and minimum 4" thick elsewhere.**

c. Sidewalks other than street sidewalks or building aprons shall have adjoining landscaping along at least 50 percent of their length. Such landscape shall match the landscaping used for the street frontages; **The plan appears to meet this requirement.**

d. Crosswalks shall be distinguished from driving surfaces to enhance pedestrian safety by using different pavement materials, or pavement color, or pavement textures, and signage; **The plan meets this requirement.**

e. The development shall provide secure, integrated bicycle parking at a rate of one bicycle rack space for every 50 vehicle parking spaces; **This requires 2 bike stalls while 4 stalls are shown.**

f. The development shall provide exterior pedestrian furniture in appropriate locations at a minimum rate of one seat for every 20,000 square feet of gross floor area; **N/A.**

g. The development shall provide interior pedestrian furniture in appropriate locations at a minimum rate of one bench seat for every 10,000 square feet of gross floor area. Seating in food service areas, or other areas where food or merchandise purchasing activities occur shall not count toward this requirement. A minimum of four seats shall be located within the store, with a clear view through exit doors to a passenger pick-up or drop-off area. **This requirement may have been intended for large retail and food services. The building will be split up in smaller spaces less than 10,000 sq. ft. in area.**

I. Central areas and features. Each development exceeding 80,000 square feet in total gross floor area shall provide central area(s) or feature(s) such as a patio/seating area, pedestrian plaza with benches, outdoor playground area, water feature, and/or other such deliberately designated areas or focal points that adequately enhance the development or community. All such areas shall be openly accessible to the public, connected to the public and private sidewalk system, designed with materials compatible with the building and remainder of the site, and shall be maintained over the life of the building project. **N/A.**

J. Cart returns. A minimum of one 200-square foot cart return area shall be provided for every 100 parking spaces. Cart corrals shall be of durable, non-rusting, all season construction, and shall be designed and colored to be compatible with the building and parking lot light standards. There shall be no exterior cart return or cart storage areas located within 25 feet of the building. **N/A.**

K. Outdoor display areas. Exterior display areas shall be permitted only where clearly depicted on the approved site plan. All exterior display areas shall be separated from motor vehicle routes by a physical barrier visible to drivers and pedestrians, and by a minimum of ten feet. Display areas on building aprons must maintain a minimum walkway width of ten feet between the display items and any vehicle drives. **Details of any proposed outdoor display areas shall be shown on the plan. None currently proposed.**

L. Outdoor storage uses and areas. Exterior storage structures or uses, including the parking or storage of service vehicles, trailers, equipment, containers, crates, pallets, merchandise, materials, forklifts, trash, recyclables, and all other items shall be permitted only where clearly depicted and labeled on the approved site plan, such outdoor storage uses and areas shall be appropriately screened as required by subsection 78-205(11)(f)6f. **No storage currently proposed.**

M. Landscaping. On-site landscaping shall be provided at time of building occupancy and maintained per the following landscaping requirements:

a. Landscaping plan shall be submitted to the planning commission for approval, as part of the site plan. **Submitted.**

b. Building foundation landscaping is required for all building frontages facing public streets in order to provide visual breaks in the mass of the building. Such foundation landscaping shall be placed along 30 percent of facades facing public streets. Foundation landscaping may be planted between the building and drive lane. One ornamental tree with a

minimum one and one-half inch caliper or one minimum six-foot tall tree ("whips" not permitted), and four shrubs at a minimum height of 18 inches tall shall be planted for every ten linear feet of building foundation planter area. Appropriate trees and shrubs include crabapple, birch, cherry, hawthorne, service berry, arborvitae, dogwood, lilac, viburnum, cotoneaster, forsythia, hazelnut, barberry, spirea, juniper, yew, or similar species and varieties approved by the city; **An exception has been requested to deviate from the foundation landscaping requirements.**

c. One street tree at a minimum of two-inch caliper shall be planted at 50-foot centers along, and within ten feet of, all public and private streets and drives, including parking lot connections and circulation drives, and loading areas. Such tree plantings shall be planted in tree wells along the circulation drives adjacent to the sides of the store that face a public or private street, along both sides of internal drives, and along the outside edge of loading areas. Appropriate trees include sugar maple, pin oak, ginkgo, or similar species and varieties approved by the city; **The plan appears to meet this requirement.**

d. One shade tree at a minimum of two-inch caliper shall be planted on each parking lot peninsula and island. Appropriate trees include honey locust, linden, sugar maple, red maple, or similar species and varieties approved by the city; **The plan complies with this requirement.**

e. Where possible, all landscaped areas shall be at least ten feet wide in their smallest dimension, except that tree wells may be a minimum of 36 square feet; **The curbed islands are less than the ten foot requirement. An exception has been requested.**

f. For development exceeding 40,000 square feet in total gross floor area, and where the subject property abuts an area zoned or planned for residential, institutional, or office use, a minimum six-foot high berm shall be provided. The berm shall be planted with a double row of white, green or blue spruce plantings, or similar species and varieties approved by the city, spaced 15 feet on center. N/A

N. Lighting. On-site exterior lighting shall meet all the standards of section 78-707, except that in addition:

a. Total cut-off luminaries with angles of less than 90 degrees shall be required for all poles and building security lighting to ensure no fugitive up lighting occurs; **Expected.**

b. At a minimum, as measured over ambient lighting conditions on a clear night, exterior lighting shall not exceed more than one-half foot-candles above ambient levels along all property lines, and shall not exceed an average illumination level of 3.6 foot-candles nor provide below a minimum of 0.9 foot-candles in public parking and pedestrian areas; **The plan meets these requirements.**

c. The color and design of pole lighting standards shall be compatible with the building and the city's public lighting in the area, and shall be uniform throughout the entire development site. **We have been informed the poles will be consistent with phase 1.**

d. Outdoor lighting shall be full cut-off fixtures and downward facing and no direct light shall bleed onto adjacent properties. Reflected glare onto nearby buildings, streets or pedestrian areas is prohibited. The applicant must provide to the city information on how outdoor lighting will be accomplished to minimize impacts on adjacent properties and roadways. To

minimize any indirect overflow of light on adjacent properties, the height of any proposed parking lot light standard should be as short as possible and should stair step down to a lower height when close to residential uses. **Lighting elements shall not be visible from residentially zoned property.**

e. The applicant shall submit to the city sufficient information, in the form of an overall exterior lighting plan, to enable the city to determine that the requirements of this section will be satisfied. The exterior lighting plan shall include at least the following: **These requirements have been met.**

1. Manufacturer specification sheets, cut-sheets or other information provided by the manufacturer for all proposed lighting fixtures.

2. The proposed location, mounting height, and aiming point of all exterior lighting fixtures.

3. If building elevations are proposed for illumination, drawings shall be provided for all relevant building elevations showing the fixtures, the portions of the elevations to be illuminated, the luminance levels of the elevations, and the aiming point for any remote light fixture.

4. A brief written narrative, with accompanying plan or sketch, which demonstrates the objectives of the lighting and a computer generated photometric grid showing foot-candle readings every ten feet within the property or site, and ten feet beyond the property lines at a scale specified by city staff. Iso-footcandle contour line style plans are also acceptable.

O. Signage. The plan for exterior signage shall provide for modest, coordinated, and complimentary exterior sign locations, configurations, and color throughout the development, including outlots. All freestanding signage within the development shall complement on-building signage. Monument style ground signs are required, and shall not exceed a height of eight feet. Consolidated signs for multiple users may be required instead of multiple individual signs. The city may require the use of muted corporate colors on signage if proposed colors are not compatible with the city's design objectives for the area. The use of logos, slogans, symbols, patterns, striping and other markings, and colors associated with a franchise or chain is permitted, and shall be considered as contributing to the number and area of permitted signs.

The wall signage appears to meet these requirements.

P. Noise. Noise associated with activities at the site shall not create a nuisance to nearby properties, and shall comply with applicable city noise requirements. **Expected.**

Q. Natural resources protection. Each project shall meet the erosion control and stormwater management standards found in article V and other [applicable] city ordinances. In addition, post-development runoff rates shall not exceed pre-settlement rates. In general, existing natural features shall be integrated into the site design as a site and community amenity. Maintenance of any storm water detention or conveyance features are solely borne by the developer/owner unless dedicated and accepted by the city. **The City contracts with Dane County Land and Water Resources Department to review plans and inspect sites for erosion control and stormwater management. The application and fees shall be provided to the City.**

a. Additional requirements. All large scale retail and commercial buildings and developments in excess of 20,000 square feet are subject to the following additional requirements:

1. Policy on vacation of existing sites. Where such a building is proposed as a replacement location for a business already located within the city, the city shall prohibit any privately imposed limits on the type or reuse of the previously occupied building through conditions of sale or lease. **N/A.**

2. Developer's agreement. The developer shall enter into a development agreement with the city, which shall include the payment of all utilities including but not limited to storm water, sanitary sewer, and street infrastructure, and the commitment to adhere to the policy on vacation of existing sites per subsection (1) above. Off-site improvements may also be required as part of the development agreement. **Per Developer's Agreement.**

3. Absolute building area cap. No individual building shall exceed a total of 155,000 square feet in gross floor area. This cap may not be exceeded by the granting of a planned development permit. **N/A.**

4. Outlots. All buildings on outlots shall be of architectural quality comparable to the primary structure as determined by the planning commission. **N/A**

8. Exceptions. Section 78-205(11) establishes standards for the development of buildings over 20,000 square feet of gross floor area. In the event the applicant desires a deviation or exception from such requirements, the applicant shall present justification for such deviation or exception, which may be approved or denied by the common council after recommendation by the planning commission. **N/A**

9. Site plan review and approval procedures per Section 78-908 summarized as follows:

A. Written description of the intended use per section 78-908(3) (a)1-12. **Provided**

B. Property site drawing per section 78-908(3)(c)1-17. **Provided**

C. A detailed landscaping plan of the subject property showing location of all required bufferyard and landscaping areas in complete compliance with the requirements of Article VI. **A landscaping plan is provided. A bufferyard is not required since the adjacent zoning is consistent.**

D. A grading and erosion control plan showing existing and proposed grades. **A grading plan is provided. Erosion control plan to be submitted at a later date.**

E. Elevation drawings of proposed buildings. **Provided.**

F. A detailed photometric plan with an illumination limit of 0.5 foot-candles at the property line. The plan must meet the requirements of section 78-707(4)(b). **The plan appears to meet this requirement.**

G. A development impact study is required for all forms of development that require site plan approval. **The economic impact analysis and traffic impact study have been provided for phase 1.**

- H. A detailed site analysis shall be required for any lot containing a protected natural resource covered in Article V, as determined by city staff. These protected areas include: floodplains, shoreland-wetlands, lakeshores, woodlands, and steep slopes. The analysis must be submitted in accordance with section 78-908((3)(j)1-4. **This is being done as part of the KPW development and will continue with further phases of development.**
- I. Review by the plan commission in accordance with section 78-908(4)(a)-(b).
1. The plan commission, in its consideration of the submitted complete application, shall take into account the basic intent of the zoning ordinance to ensure attractive, efficient, and appropriate development of land in the community, and to ensure particularly that every reasonable step has been taken to avoid depreciating effects on surrounding property and the natural environment. The plan commission, in reviewing the application may require such additional measures and/or modifications as it deems necessary to accomplish this objective. If such additional measures and/or modifications are required, the plan commission may withhold approval of the site plan until revisions depicting such additional measures and/or modifications are submitted to the satisfaction of the plan commission, or may approve the application subject to the provision of a revised application reflecting the direction of the plan commission to the satisfaction of the zoning administrator. Such amended plans and conditions applicable to the proposed use shall be made a part of the official record, and development activity on the subject property may not proceed until the revised application has been approved by one of the two above procedures as directed by the plan commission. **To be determined by the Planning Commission.**
 2. In reviewing said application the plan commission may make findings on each of the following criteria to determine whether the submitted site plan shall be approved, approved with modification, or denied:
 - a. All standards of the zoning ordinance and other applicable city, state and federal regulations are met.
 - b. The public health and safety is not endangered.
 - c. Adequate public facilities and utilities are provided.
 - d. Adequate control of stormwater and erosion are provided and the disruption of existing topography, drainage patterns, and vegetative cover is maintained insofar as is practical.
 - e. Appropriate traffic control and parking are provided.
 - f. Appropriate landscaping and open space areas are provided.
 - g. The appearance of structures maintains a consistency of design, materials, colors, and arrangement with nearby properties of similar use, which comply with the general architectural guidelines provided in subsections a. through e. below:

- i. Exterior construction materials shall be consistent with section 78-716.
- ii. Exterior building design or appearance shall not be of such unorthodox or abnormal character in relation to its surroundings as to be unsightly or offensive to generally accepted taste and community standards.
- iii. Exterior building design or appearance shall not be so identical with nearby buildings so as to create excessive monotony or drabness. A minimum of five basic home styles shall be provided in each residential subdivision.
- iv. Exterior building design or appearance shall not be constructed or faced with an exterior material which is aesthetically incompatible with other nearby buildings or which presents an unattractive appearance to the public and from surrounding properties.
- v. Exterior building, sign, and lighting design or appearance shall not be sited on the property in a manner which would unnecessarily destroy or substantially damage the natural beauty of the area.

To be determined by the Planning Commission.

- J. Modification of approved site plan is a violation of chapter 78. An approved site plan shall be revised and approved via the procedures of sections 78-908(2) & (4) prior to initiation.
- K. Sunset clause. All buildings on an approved site plan not fully developed within two years of final approval shall expire. The plan commission may extend this period, as requested by the applicant, through site review process.

Requirements pertaining to the PB – Planned Business District.

- 10. Indoor Sales and Service is defined in part, as follows: *Description:* Indoor sales and service land uses include all land uses which conduct or display sales or rental merchandise or equipment, or non-personal or non-professional services, entirely within an enclosed building. Depending on the zoning district, such land uses may or may not display products outside of an enclosed building. Such activities are listed as “Outdoor Display incidental to indoor sales” under accessory uses in the Table of Land Uses. A land use which contains both indoor sales and outdoor sales exceeding 15 percent of the total sales area of the building(s) on the property shall be considered an outdoor sales land use. **Indoor retail sales are allowable uses.**
- 11. Parking requirements related to Indoor Sales and Service uses are one space per 300 square feet of gross floor area. **The plan meets this requirement.**
- 12. Indoor commercial entertainment is defined as follows: Indoor commercial entertainment land uses include all land uses which provide entertainment services primarily within an enclosed building. Outdoor seating or patio areas associated with a proposed indoor commercial entertainment land use shall be allowed subject to city approval of a site plan

showing any such proposed outdoor seating or patio area. Such activities often have operating hours which extend significantly later than most other commercial land uses. Examples of such land uses include restaurants, taverns, theaters, health or fitness centers, all forms of training studios (dance, art, martial arts, etc.), bowling alleys, arcades, roller rinks, and pool halls. **Indoor Commercial Entertainment (restaurant/bar) is allowable as a conditional use. A restaurant use is only mentioned within the parking summary. The PD process typically eliminates the need for a conditional use process. However, since we don't currently know what uses will be present, a future restaurant use may need to go through a conditional use permitting process at that time.**

13. Regulations applicable to indoor commercial entertainment is as follows:
 - a. If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property. **N/A**
 - b. Facility shall provide bufferyard with minimum opacity of .60 along all borders of the property abutting residentially zoned property (see section 78-610). **N/A**
14. Parking requirements for indoor commercial entertainment uses are one space per every three patron seats or lockers (whichever is greater); or one space per three persons at the maximum capacity of the establishment; (whichever is greater). **We will need more details in the future to confirm this requirement.**
15. Per zoning code section 78-704(7)(c), "Limit on the maximum number of required parking spaces. No site plan may be approved, for a non-residential use, which contains more than 120 percent of the development's minimum number of required parking spaces, except as granted through a conditional use permit. An exception has been requested.
16. Public sidewalk is required along all public frontages and shall be delineated on the site plan. Sidewalk shall be 5 feet wide and a minimum of 6" through driveways and a minimum of 4" thick otherwise. **The plan meets this requirement.**
17. All off-street parking and traffic circulation areas shall be paved with a hard, all-weather surface and completed prior to building occupancy. All parking spaces shall be clearly marked to indicate required spaces. **Expected.**
18. Handicap parking spaces shall be installed at a size, number, location, and with signage as specified by state and federal regulations. **Expected.**
19. Except for handicap parking stalls, the minimum parking stall length shall be 18 feet with a minimum width of 9 feet. **The plan meets this requirement.**
20. The parking aisle width for 90 degree parking shall be a minimum of 24 feet. **The plan meets this requirement.**
21. The building minimum setback and maximum height requirements are as follows: Front: 20 feet; Side: 10 feet; Rear: 20 feet; Maximum building height: 45 feet. **The plan meets these**

requirements. An as-built survey will be required to confirm setbacks after construction.

22. The minimum landscape surface ratio (LSR) is 25%. **The plan meets this requirement.**
23. The maximum floor area ratio is 1. This is calculated by dividing the total floor area of all buildings by the gross site area. **The plan meets this requirement.**
24. All access drives shall have a minimum width of 18 feet. **The plan meets this requirement.**
25. All curb openings for access drives shall have a maximum width of 30 feet for non-residential uses, as measured at the right-of-way line. Access drives may be flared between the right-of-way line and the roadway up to a maximum of five additional feet and may be exceeded with explicit Plan Commission approval. **The plan meets this requirement.**
26. The off-street loading standards for large truck deliveries shall meet the zoning standards of 78-705 and Table 78-705(4). **If large trucks are anticipated, details will need to be provided to confirm this requirement.**
27. The minimum paved surface setback from a side and rear lot line is 5 feet while the minimum is 10 feet from a right-of-way line. **The plan meets this requirement.**
28. Access near street intersections of arterial and collector streets shall not be closer than 100 feet from the intersection of any two street rights-of-way unless the street is the only available frontage on the subject property. **N/A**
29. Per section 78-704 (13) (a), bicycle parking is required equal to 10% of the automobile parking space requirement. **The plan meets this requirement.**
30. Off-street loading stall requirements per section 78-705(11)(b). One loading berth shall be required for each building having a gross floor area of 6,000 square feet to 99,999 square feet. **A loading stall is required if deliveries from large trucks is anticipated such as for a restaurant.**
31. Except for exposed foundations not to exceed three feet in height from adjacent grade, non-single family development shall employ only high-quality, decorative exterior construction materials on the visible exterior of the following portions of all structures:
 - Any portion of the structure within 50 feet of an adjacent residentially zoned property;
 - Any portion of the structure located within 50 feet of a public right-of-way;
 - Any other portion of the structure visible from a public street... The following exterior construction materials shall not be considered “high quality, decorative”:
non-decorative concrete or cinder block, non-decorative concrete foundation walls or panels, non-decorative plywood, asphaltic siding, or other materials using exposed fastener systems or non-decorative surfaces as determined by the Planning

Commission. However, such materials may be allowed by the Planning Commission as decorative elements.

The proposed exterior materials appear to meet these requirements.

32. Architectural and design elements shall be compatible with the surrounding area and community standards and shall minimize user specific elements as determined by the plan commission. Metal panels with exposed exterior fasteners of the same color may be used on a maximum of 50 percent of the front side of the building. This material is not allowed within 50 feet of any customer or visitor entrance. **As determined by the Planning Commission.**
33. A landscaping plan which meets the requirements of Article VI must be provided. **The parking lot design shall employ interior landscaped islands with a minimum of 400 square feet at all parking aisle ends. An exception has been requested.**
34. According to section 10-2(d) street trees are required for construction of a commercial building. The applicant or owner will need to work with the Street Superintendent regarding street tree installation prior to occupancy. **Contact Karl Manthe, Street Superintendent at 608-873-6303 or kmanthe@ci.stoughton.wi.us.**
35. Section 78-707, Exterior lighting standards, requires a maximum average on-site lighting of 2.4 footcandles. **The maximum lighting as measured at the property line is 0.5 footcandles. The maximum fixture height shall be 25 feet from grade. The minimum lighting standard for parking areas used after sunset shall be 0.2 foot-candles. The lighting element shall not be visible from a residentially zoned property. The photometric plan appears to meet these requirements.**
36. A gated trash enclosure with 6-foot fencing shall be delineated on the plan for the handling of waste. **This requirement has been met.**
37. A stormwater management and erosion control plan, application and fees are required. Dane County Land Conservation, the City's consultant, will review the plan and perform inspections. **The plan, application and fees shall be submitted to the Department of Planning & Development office at City Hall.**
38. Proposed utilities-including electrical transformers and HVAC locations shall be shown on the plan. **Contact Stoughton Utilities for electric, water and wastewater services.**
39. Required off-street parking shall not be used for snow storage. **This is expected.**
40. Any proposed signage will require a detailed plan and permit prior to installation. **This is expected.**
41. State of Wisconsin approved building plans will be necessary prior to issuance of a building permit but are not necessary to begin the City review process.

If you have any questions, please contact me at 608-646-0421

Sincerely,
City of Stoughton

Michael P. Stacey

Michael P. Stacey
Zoning Administrator/Assistant Planner

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