

# MEETING NOTICE

The **City of Stoughton** will hold a joint meeting of the **Planning Commission and Business Park North Committee** on **Monday, June 13, 2011 at 5:30 pm**, in the **Council Chambers**, Second Floor, **Public Safety Building**, 321 S. Fourth Street, Stoughton WI.

## AGENDA:

1. Call to Order
2. Elect Chair and Vice-Chair.
3. Discuss meeting times and dates.
4. Consider approval of the Business Park North Committee meeting minutes of February 14, 2011.
5. Request by TJK Design Build, representing Heckman & Associates, Inc. to approve construction of a new building at Park Place, 160 Business Park Circle.
6. Any other business as deemed necessary.
7. Adjournment.

Donna Olson, Mayor – Chair, Planning Commission  
Randy McLaury – Chair, Business Park North Committee

6/7/11mps

Packets sent to:

### Planning Commission

Mayor Donna Olson, Chair  
Eric Hohol, Council member & Vice-Chair  
Ron Christianson, Council member  
Carl Chenoweth, Council member  
Troy Wieser  
Todd Krcma  
Rollie Odland

### Business Park North Committee

Randy McLaury, Chamber Rep., Chair  
Keith Comstock, Vice-Chair  
Dave Phillips, Chamber Executive Director  
Mike Sasse, Chamber Rep.  
Planning Director Rodney Scheel  
Finance Director Laurie Sullivan  
Ross Scovotti, Council member  
Carl Chenoweth, Council member

**cc:** Zoning Administrator Michael Stacey (3 Packets)  
Utilities Director Bob Kardasz (Packet)  
Stoughton Newspapers/Wisconsin State Journal (fax)  
City Attorney Matt Dregne (e-mail)  
Department Heads & Council Members (e-mail)  
Pili Hougan (e-mail)  
Area Towns (e-mail)  
Derek Westby (email)  
TJK Design Build, John Bieno, 634 West Main Street, Madison, WI., 53703

"IF YOU ARE DISABLED AND IN NEED OF ASSISTANCE, PLEASE CALL 608-873-6677 PRIOR TO THIS MEETING."  
**AN EXPANDED MEETING MAY CONSTITUTE A QUORUM OF THE COUNCIL.**

## **Business Park North Committee Meeting Minutes**

**Monday, February 14, 2011 - 9:00 a.m.**

**Public Safety Building, Council Chambers, Second Floor, 321 S. Fourth Street, Stoughton, WI.**

**Members Present:** Randy McLaury, Chair; Keith Comstock, Vice-Chair; Dave Phillips; and Rodney Scheel.

**Absent and Excused:** Dick Entwistle; Laurie Sullivan; Dave McKichan; and Eric Olstad.

**Staff:** Street Superintendent, Karl Manthe; Zoning Administrator, Michael Stacey; Utilities Director, Bob Kardasz; Police Chief, Greg Leck and Mayor, Donna Olson.

**Guests:** Mike Sasse, Ted DeGroff and Mark Halverson.

- 1. Call to order.** McLaury called the meeting to order at 9:00 a.m.
- 2. Safety and security with the street lights.** Kardasz provided information regarding the policy for installation of street lighting. The group discussed pedestrian safety and possible modification of the street lighting at the southwest curve of the Business Park. Kardasz noted if the group decides they want to modify any of the street lighting, a request should be made to him and the request would go to the Utilities Committee and Council. Kardasz checked with his staff and found the lighting in the southwest curve of the Business Park is not the box type rather the lighting currently installed does illuminate farther out.
- 3. Snow plowing.** McLaury stated he has heard the snowplowing has improved. Manthe explained how streets are categorized for snow removal and noted the business park typically gets plowed sooner than where they are on the list. Comstock suggested the snow be plowed back farther toward the curb. Manthe stated he would talk to his plow driver about the timing of plowing the park and plowing closer to the curb.
- 4. Update on the City's overall marketing of the remaining lot and proposed business park expansion.** Mayor Olson stated there are ongoing discussions with the Moe family to expand the Park. The City has the remaining lot for sale and there are currently no offers. The group discussed the marketing history of the Business Park. Phillips stated he will seek including the vacant lot on the Chamber website.
- 5. Update on the Storage Shop property relating to the minimum asset value versus the actual assessment. What are the plans for this site going forward?** Scheel explained that due to the timing of the transition of the Finance Director position and new City Attorney, he believes the condition to require a minimum asset value for this property was missed on the purchase agreement.
- 6. Update on Stellar Services (fill dirt).** Scheel explained they have until May 30, 2011 to remove the pile of dirt as per the Dane County Land Conservation review.
- 7. Signage improvement for the Park.** The group discussed the need to spruce up the area around the sign for the Business Park. Manthe stated his staff can trim back the shrubbery and trees this spring.

- 8. Parking on the streets.** Scheel explained the final plat for the business park includes a path on both sides of the street which prohibits parking. Scheel stated the final plat would have to be amended to allow parking and an ordinance would also have to be approved for parking. Scheel also found the business park covenants may also need to be amended. Leck stated if a business has a special need for temporary parking, the business should contact him directly and work out arrangements. A lengthy discussion took place regarding parking in the street. After the meeting, Scheel found a bike lane is delineated on the southern portion of business park circle. Motion by **McLaury** to allow Comstock to contact the business park owners regarding allowing parking in the street within the park, 2<sup>nd</sup> by **Sasse**. Motion carried unanimously.

**Planning Department Staff findings after the meeting.**

**Ordinance 70-176(47) prohibits parking at all times on both sides of Business Park Circle, Commerce Road and Progress Lane.**

**The Business Park North Plat identifies a bike lane on the south side of Business Park Circle (except the north leg that runs east and west), the east side of Progress Lane and the east side of Commerce Road.**

**The Covenants for Business Park North don't specifically state parking is not allowed on the streets contained within, however, it states the following: "All present and future vehicular parking, including trucks, trailers, employee and visitor parking shall be provided on the premises and shall comply with all the provisions of the applicable Stoughton City Zoning regulations."**

- 9. Mike Sasse joining the committee in place of Dick Entwistle.** A discussion took place regarding the process to replace Entwistle with Sasse. Mayor Olson stated a letter of resignation is expected from Entwistle. Motion by **Phillips** to have Sasse join the business park north committee, 2<sup>nd</sup> by **Comstock**. Motion carried unanimously.
- 10. Any other business as deemed necessary.** None
- 11. Adjournment.** Motion by **Phillips** to adjourn, 2<sup>nd</sup> by **Comstock**.



DESIGNBUILD

634 W. Main Street  
Madison, WI 53703  
Office 608-257-1090  
Fax 608-257-1092  
[www.tjkdesignbuild.com](http://www.tjkdesignbuild.com)

**DATE:** May 31, 2011

**TO:** Rodney J. Scheel, Director  
City of Stoughton  
Department of Planning and Development  
381 E. Main Street  
Stoughton, WI 53589

**FROM:** John J. Bieno, AIA  
TJK Design Build Inc.  
634 W. Main Street  
Madison, WI 53703

**RE: Proposed Pharmacy Audit Assistance Services**

This building will be an office expansion for the headquarters for Pharmacy Audit Assistance Services (PAAS) as well as Heckman & Associates, Inc. a pharmacy consulting services corporation. There is a small storage area in the building to accommodate the needs of the tenant. There is also a mezzanine proposed for further office uses.

Park Place is a metal building in the Business Park North of the Stoughton Industrial Park development. This 10,004 sf building doesn't fit the typical metal building stereotype. This metal building is a prairie style architecture complete with hip roof. The owner requested this style for a couple of reasons: First, it creates an architectural form or style that was easy for him and his clients to get their arms around and associate with. Second, this aesthetic set itself apart from the other buildings in the park. The pre-engineered system coupled with the prairie style offers multiple options for variety in future additions, materials and tenant layouts.

The facility falls under the I-1 Light Industrial District under (b) permitted uses, (5) Service uses, including computer and data processing services, miscellaneous business services, offices (business and professional) and communication services. Since all I-1 uses are permitted in the I-2 classification, the facility is a permitted use.



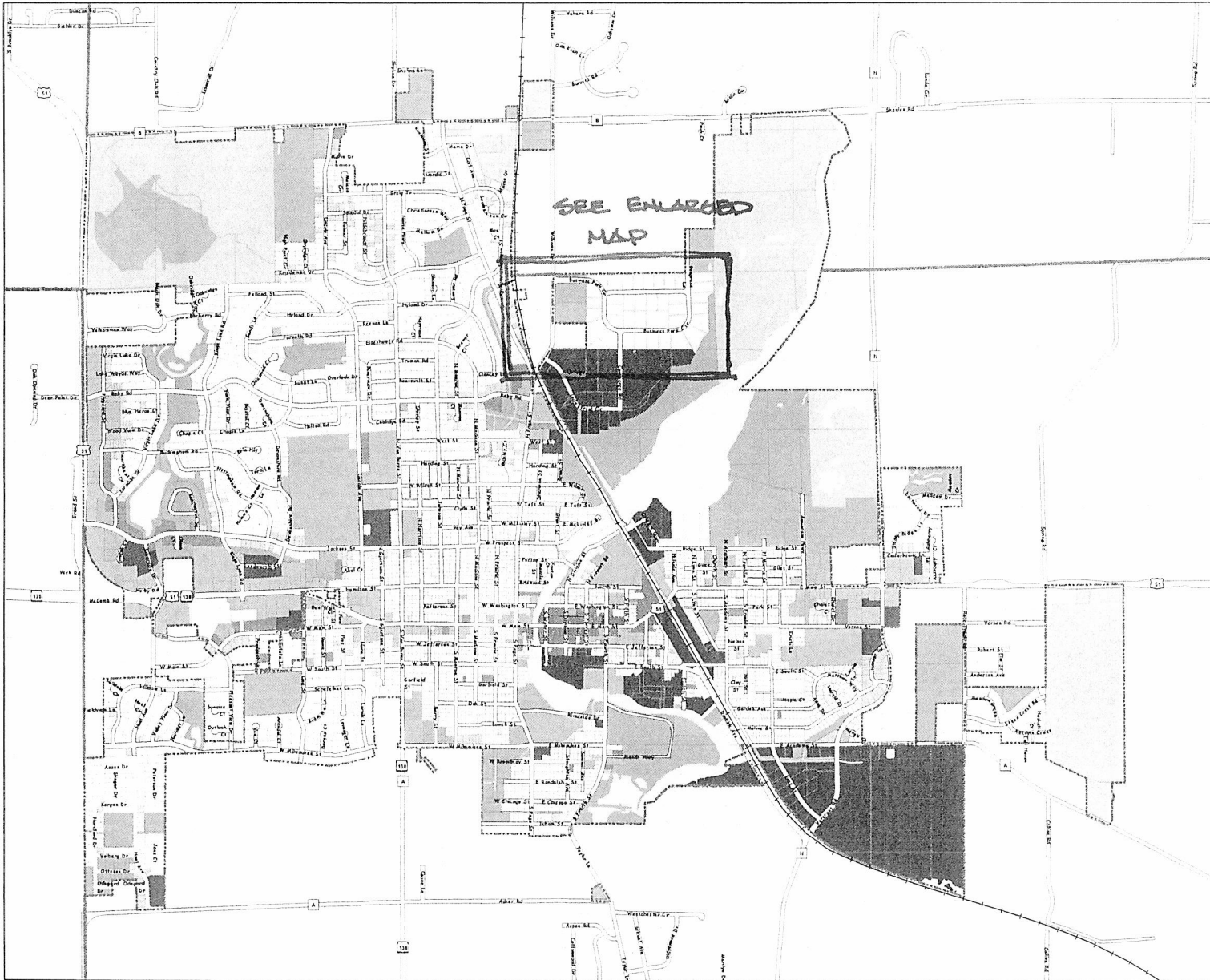
## Zoning Map

- City of Stoughton Boundary
- Town Boundary
- Parcel Lines
- Surface Water
- Right of Way
- Railroad

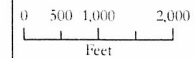
### Base Zoning Districts

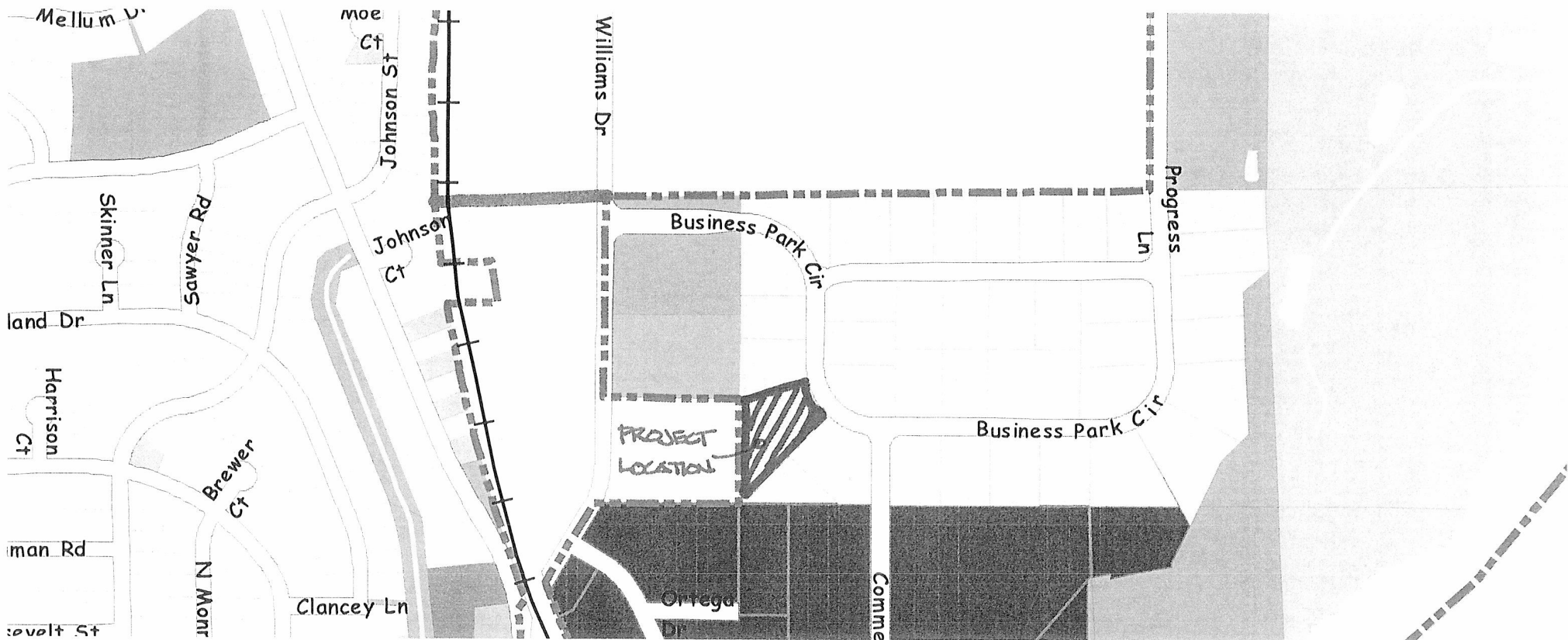
- ER-1 - Exurban Residential
- SR-3 - Single-Family Residential
- SR-4 - Single-Family Residential
- SR-5 - Single-Family Residential
- SR-6 - Single-Family Residential
- TR-6 - Two-Family Residential
- MR-10 - Multi-Family Residential
- MR-24 - Multi-Family Residential
- NO - Neighborhood Office
- PO - Planned Office
- NB - Neighborhood Business
- PB - Planned Business
- CB - Central Business
- PD - Planned Development
- PI - Planned Industrial
- GI - General Industrial
- HI - Heavy Industrial
- I - Institutional
- I - Institutional (Park)
- RH - Rural Holding

SEE ENLARGED  
MAP



Adopted: December 22, 2009  
Source: Dane County LIO





**City of Stoughton Procedural Checklist for Site Plan Review and Approval  
(Requirements per Section 78-908)**

This form is designed to be used by the Applicant as a guide to submitting a complete application for a site plan review *and* by the City to process said application. Part II is to be used by the Applicant to submit a complete application; Parts I - III are to be used by the City when processing said application.

Name of Applicant: John Bierno TJK Design Build

Project Description: PRE-ENGINEERED OFFICE BUILDING

**I. Record of Administrative Procedures for City Use**

Presubmittal staff meeting scheduled

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ By: \_\_\_\_\_

Follow-up pre-submittal staff meetings scheduled if necessary

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ By: \_\_\_\_\_

Date of Meeting: \_\_\_\_\_ Time of Meeting: \_\_\_\_\_ Date: \_\_\_\_\_ By: \_\_\_\_\_

Application form filed with Zoning Administrator Date: \_\_\_\_\_ By: \_\_\_\_\_

Application fee of \$ 65 received by Zoning Administrator Date: 5/31/11 By: MPS

If necessary, reimbursement of professional consultant costs agreement executed: Date: \_\_\_\_\_ By: \_\_\_\_\_

**II Application Submittal Packet Requirements for Applicants Use**

Prior to submitting a complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application for staff review, followed by one revised draft final application packet based upon staff review and comments.

*Initial Draft Application*

Date: 5/31/11 By: MPS

↓ *Final Application Packet (1 copy to Zoning Administrator)*

Date: 6/7/11 By: MPS

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↓

(a) **A written description of the intended use describing in reasonable detail the following:**

- Existing zoning district(s) (and proposed zoning district(s) if different).
- Planned Land Use Map designation(s).
- Current land uses present on the subject property.
- Proposed land uses for the subject property (per Section 78-206).
- Projected number of residents, employees, and daily customers.
- Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio.
- Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation.

- Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 78-701 through 721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials.
  - If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII".
  - Exterior building and fencing materials (Sections 78-716 and 78-718).
  - Possible future expansion and related implications for points above.
  - Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
- (b) **A *Small Location Map* at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)**
- (c) **A *Property Site Plan* drawing which includes the following:**
- A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project.
  - The date of the original plan and the latest date of revision to the plan.
  - A north arrow and a graphic scale (not smaller than one inch equals 100 feet).
  - A reduction of the drawing at 11" x 17".
  - A legal description of the subject property.
  - All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
  - All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
  - All required building setback lines.
  - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
  - The location and dimension (cross-section and entry throat) of all access points onto public streets.
  - The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance.
  - The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
  - The location of all outdoor storage areas and the design of all screening devices.



- The location, type, height, size and lighting of all signage on the subject property.
- The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property—including the clear demonstration of compliance with Section 78-707.
- The location and type of any permanently protected green space areas.
- The location of existing and proposed drainage facilities.
- In the legend, data for the subject property on the following
  - a. Lot Area
  - b. Floor Area
  - c. Floor Area Ratio (b/a)
  - d. Impervious Surface Area
  - e. Impervious Surface Ratio (d/a)
  - f. Building height
- (d) **A Detailed Landscaping Plan of the subject property:**
  - Scale same as main plan (> or equal to 1" equals 100').
  - Map reduction at 11" x 17".
  - Showing the location of all required bufferyard and landscaping areas.
  - Showing existing and proposed Landscape Point fencing.
  - Showing berm options for meeting said requirements.
  - Demonstrating complete compliance with the requirements of Article VI.
  - Providing individual plant locations and species, fencing types and heights, and berm heights.
- (e) **A Grading and Erosion Control Plan:**
  - Scale same as main plan (> or equal to 1" equals 100').
  - Map reduction at 11" x 17"
  - Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
  - Showing finished exterior treatment.
  - With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance.
  - Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

**NOTE:** Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

**NOTE:** Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 78-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

**III. Final Application Packet Information for City Use**

Receipt of one full-scale copy in blueline or blackline  
of complete Final Application Packet by Zoning Administrator

Date: 5/31/11 By: mps

Receipt of one reduced (8.5" by 11" text and 11" by 17" graphics)  
copy of complete final application packet by Zoning Administrator

Date: 6/6/11 By: mps

PROPOSED FACILITY FOR:

# PARK PLACE

160 BUSINESS PARK CIRCLE  
STOUGHTON, WISCONSIN

**TJK** TJK Design Build  
634 West Main Street  
Madison, WI 53703  
**DESIGNBUILD** 608-257-1090 FAX 608-257-1092

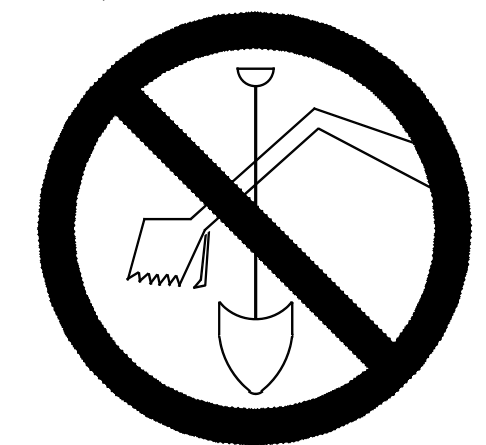
INDEX OF DRAWINGS:

- C-1.1 PROPOSED SITE PLAN
- C-1.2 GRADING AND EROSION PLAN
- C-1.3 SITE UTILITY PLAN
- C-1.4 PHOTOMETRIC PLAN
- C-1.5 LANDSCAPE PLAN
- A-1.1 FLOOR PLAN
- A-1.2 ROOF PLAN
- A-2.1 EXTERIOR ELEVATIONS



SITE LOCATION MAP

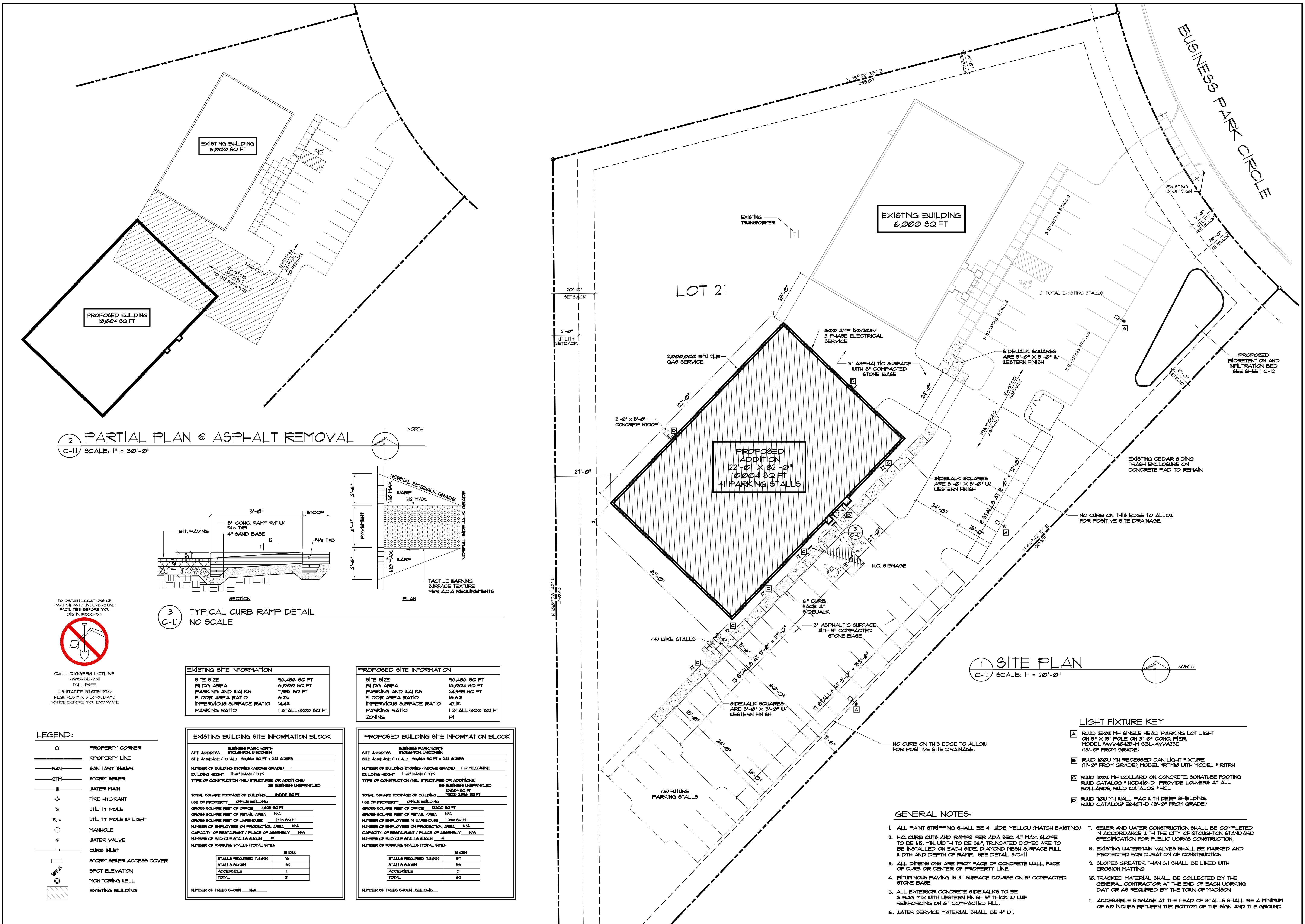
TO OBTAIN LOCATIONS OF  
PARTICIPANTS UNDERGROUND  
FACILITIES BEFORE YOU  
DIG IN WISCONSIN



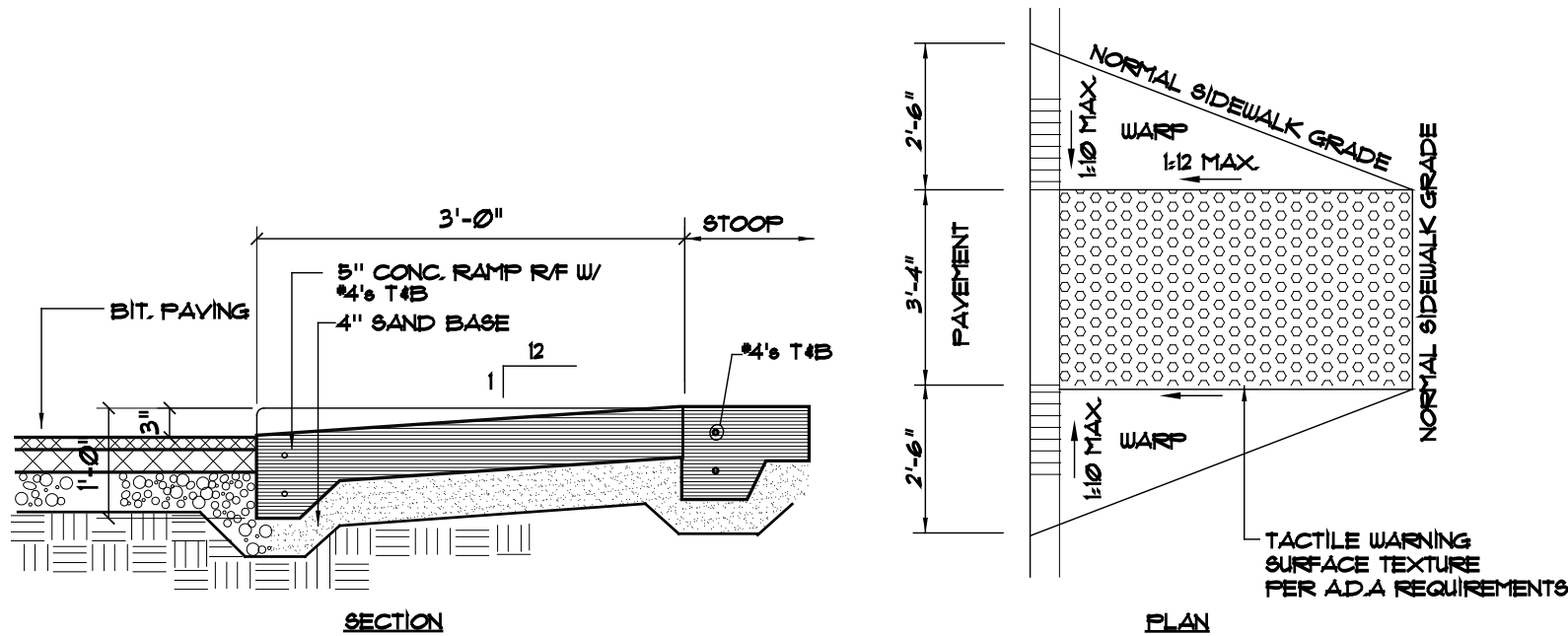
CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WIS STATUTE 182.0175(1974)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

PROPOSED FACILITY FOR  
**PARK PLACE**



**2 PARTIAL PLAN @ ASPHALT REMOVAL**  
C-11 SCALE: 1" = 30'-0"



**3 TYPICAL CURB RAMP DETAIL**  
C-11 NO SCALE

**1 SITE PLAN**  
C-11 SCALE: 1" = 20'-0"

EXISTING SITE INFORMATION	
SITE SIZE	36,106 SQ FT
BLDG AREA	6,000 SQ FT
PARKING AND WALKS	1,882 SQ FT
FLOOR AREA RATIO	6.2%
IMPERVIOUS SURFACE RATIO	44.4%
PARKING RATIO	1 STALL/300 SQ FT

PROPOSED SITE INFORMATION	
SITE SIZE	36,106 SQ FT
BLDG AREA	16,004 SQ FT
PARKING AND WALKS	24,589 SQ FT
FLOOR AREA RATIO	16.6%
IMPERVIOUS SURFACE RATIO	42.3%
PARKING RATIO	1 STALL/300 SQ FT
ZONING	F1

EXISTING BUILDING SITE INFORMATION BLOCK	
BUSINESS PARK NORTH, STOUGHTON, WISCONSIN	
SITE ADDRESS	
SITE ACRES (TOTAL) 36,106 SQ FT = 232 ACRES	
NUMBER OF BUILDING STORES (ABOVE GRADE) 1	
BUILDING HEIGHT 11'-0" BAYE (TYP)	
TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS) 90 BUSINESS UNBANKED	
TOTAL SQUARE FOOTAGE OF BUILDING 6,000 SQ FT	
USE OF PROPERTY OFFICE BUILDING	
GROSS SQUARE FEET OF OFFICE	4,628 SQ FT
GROSS SQUARE FEET OF RETAIL AREA	N/A
GROSS SQUARE FEET OF WAREHOUSE	1,372 SQ FT
NUMBER OF EMPLOYEES ON PRODUCTION AREA	N/A
CAPACITY OF RESTAURANT / PLACE OF ASSEMBLY	N/A
NUMBER OF BICYCLES STALLS SHOWN	4
NUMBER OF PARKING STALLS (TOTAL SITE)	17
STALLS REQUIRED (1,000)	
STALLS SHOWN	16
ACCESSIBLE	20
TOTAL	31
NUMBER OF TREES SHOWN	N/A

PROPOSED BUILDING SITE INFORMATION BLOCK	
BUSINESS PARK NORTH, STOUGHTON, WISCONSIN	
SITE ADDRESS	
SITE ACRES (TOTAL) 36,106 SQ FT = 232 ACRES	
NUMBER OF BUILDING STORES (ABOVE GRADE) 1 W/MEZZANINE	
BUILDING HEIGHT 11'-0" BAYE (TYP)	
TYPE OF CONSTRUCTION (NEW STRUCTURES OR ADDITIONS) 90 BUSINESS UNBANKED	
TOTAL SQUARE FOOTAGE OF BUILDING 16,004 SQ FT	
USE OF PROPERTY OFFICE BUILDING	
GROSS SQUARE FEET OF OFFICE	12,000 SQ FT
GROSS SQUARE FEET OF RETAIL AREA	N/A
GROSS SQUARE FEET OF WAREHOUSE	1,600 SQ FT
NUMBER OF EMPLOYEES ON PRODUCTION AREA	N/A
CAPACITY OF RESTAURANT / PLACE OF ASSEMBLY	N/A
NUMBER OF BICYCLES STALLS SHOWN	4
NUMBER OF PARKING STALLS (TOTAL SITE)	41
STALLS REQUIRED (1,000)	
STALLS SHOWN	31
ACCESSIBLE	3
TOTAL	62
NUMBER OF TREES SHOWN	SEE C-12

**LEGEND:**

- PROPERTY CORNER
- PROPERTY LINE
- SAN- SANITARY SEWER
- STM- STORM SEWER
- W- WATER MAIN
- ⊕ FIRE HYDRANT
- ⊗ UTILITY POLE
- ⊗ UTILITY POLE W/ LIGHT
- MANHOLE
- ⊗ WATER VALVE
- CURB INLET
- STORM SEWER ACCESS COVER
- SPOT ELEVATION
- ⊗ MONITORING WELL
- ▨ EXISTING BUILDING

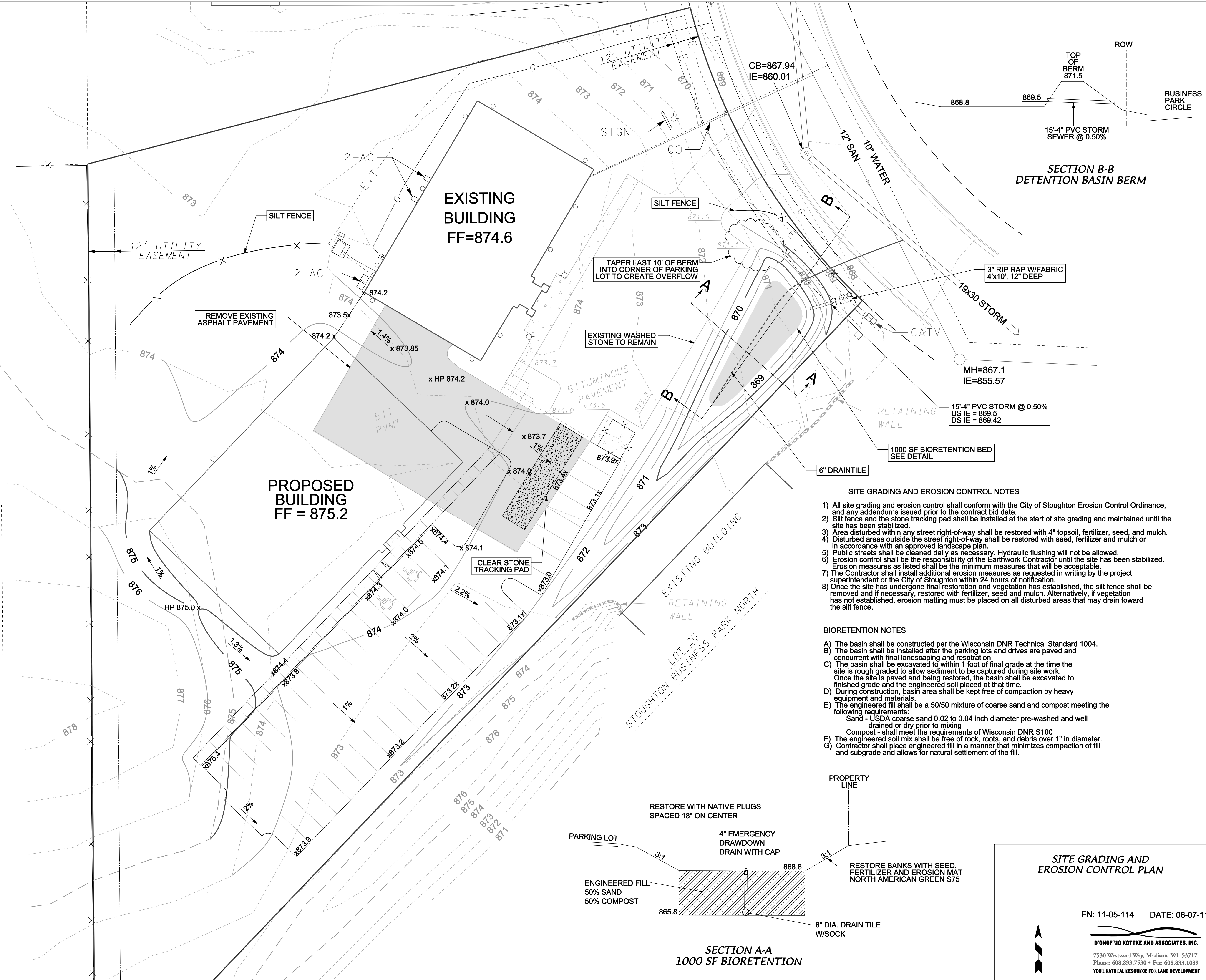


TO OBTAIN LOCATIONS OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN WISCONSIN  
CALL DIGGERS HOTLINE  
1-800-245-8911  
TOLL FREE  
WIS STATUTE 182.275(1514)  
REQUIRES MIN. 3 WORK DAYS  
NOTICE BEFORE YOU EXCAVATE

- GENERAL NOTES:**
- ALL PAINT STRIPPING SHALL BE 4" WIDE, YELLOW (MATCH EXISTING)
  - H.C. CURB CUTS AND RAMPS PER ADA SEC. 4.1 MAX. SLOPE TO BE 1:12. MIN. WIDTH TO BE 36". TRUNCATED DOMES ARE TO BE INSTALLED ON EACH SIDE, DIAMOND MESH SURFACE FULL WIDTH AND DEPTH OF RAMPS. (SEE DETAIL 3/C-11)
  - ALL DIMENSIONS ARE FROM FACE OF CONCRETE WALL, FACE OF CURB OR CENTER OF PROPERTY LINE.
  - BITUMINOUS PAVING IS 3" SURFACE COURSE ON 8" COMPACTED STONE BASE
  - ALL EXTERIOR CONCRETE SIDEWALKS TO BE 6 BAG MIX WITH WESTERN FINISH 5" THICK W/ W/F REINFORCING ON 6" COMPACTED FILL
  - WATER SERVICE MATERIAL SHALL BE 4" DI.
  - SEWER AND WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE CITY OF STOUGHTON STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION
  - EXISTING WATERMAIN VALVES SHALL BE MARKED AND PROTECTED FOR DURATION OF CONSTRUCTION
  - SLOPES GREATER THAN 3:1 SHALL BE LINED WITH EROSION MATTING
  - TRACKED MATERIAL SHALL BE COLLECTED BY THE GENERAL CONTRACTOR AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE TOWN OF MADISON
  - ACCESSIBLE SIGNAGE AT THE HEAD OF STALLS SHALL BE A MINIMUM OF 60 INCHES BETWEEN THE BOTTOM OF THE SIGN AND THE GROUND

- LIGHT FIXTURE KEY**
- ⊗ RUID 250W MH SINGLE HEAD PARKING LOT LIGHT ON 5' X 5' POLE ON 3'-0" CONC. PIER, MODEL #AVV4042B-M 8BL-AVV42BE (18'-0" FROM GRADE)
  - ⊗ RUID 100W MH RECESSED CAN LIGHT FIXTURE (11'-0" FROM GRADE), MODEL #RTM10 WITH MODEL #RTRH
  - ⊗ RUID 100W MH BOLLARD ON CONCRETE, SONATUBE FOOTING RUID CATALOG #HCD410-D PROVIDE LOUVERS AT ALL BOLLARDS, RUID CATALOG #HCL
  - ⊗ RUID 100W MH WALL-PAC WITH DEEP SHIELDING, RUID CATALOG #E8407-D (9'-0" FROM GRADE)

CERTIFIED SURVEY MAP NO. 5632



**SITE GRADING AND EROSION CONTROL NOTES**

- All site grading and erosion control shall conform with the City of Stoughton Erosion Control Ordinance, and any addendums issued prior to the contract bid date.
- Silt fence and the stone tracking pad shall be installed at the start of site grading and maintained until the site has been stabilized.
- Area disturbed within any street right-of-way shall be restored with 4" topsoil, fertilizer, seed, and mulch.
- Disturbed areas outside the street right-of-way shall be restored with seed, fertilizer and mulch or in accordance with an approved landscape plan.
- Public streets shall be cleaned daily as necessary. Hydraulic flushing will not be allowed.
- Erosion control shall be the responsibility of the Earthwork Contractor until the site has been stabilized. Erosion measures as listed shall be the minimum measures that will be acceptable.
- The Contractor shall install additional erosion measures as requested in writing by the project superintendent or the City of Stoughton within 24 hours of notification.
- Once the site has undergone final restoration and vegetation has established, the silt fence shall be removed and if necessary, restored with fertilizer, seed and mulch. Alternatively, if vegetation has not established, erosion matting must be placed on all disturbed areas that may drain toward the silt fence.

**BIORETENTION NOTES**

- The basin shall be constructed per the Wisconsin DNR Technical Standard 1004.
- The basin shall be installed after the parking lots and drives are paved and concurrent with final landscaping and restoration.
- The basin shall be excavated to within 1 foot of final grade at the time the site is rough graded to allow sediment to be captured during site work. Once the site is paved and being restored, the basin shall be excavated to finished grade and the engineered soil placed at that time.
- During construction, basin area shall be kept free of compaction by heavy equipment and materials.
- The engineered fill shall be a 50/50 mixture of coarse sand and compost meeting the following requirements:
  - Sand - USDA coarse sand 0.02 to 0.04 inch diameter pre-washed and well drained or dry prior to mixing
  - Compost - shall meet the requirements of Wisconsin DNR S100
- The engineered soil mix shall be free of rock, roots, and debris over 1" in diameter.
- Contractor shall place engineered fill in a manner that minimizes compaction of fill and subgrade and allows for natural settlement of the fill.

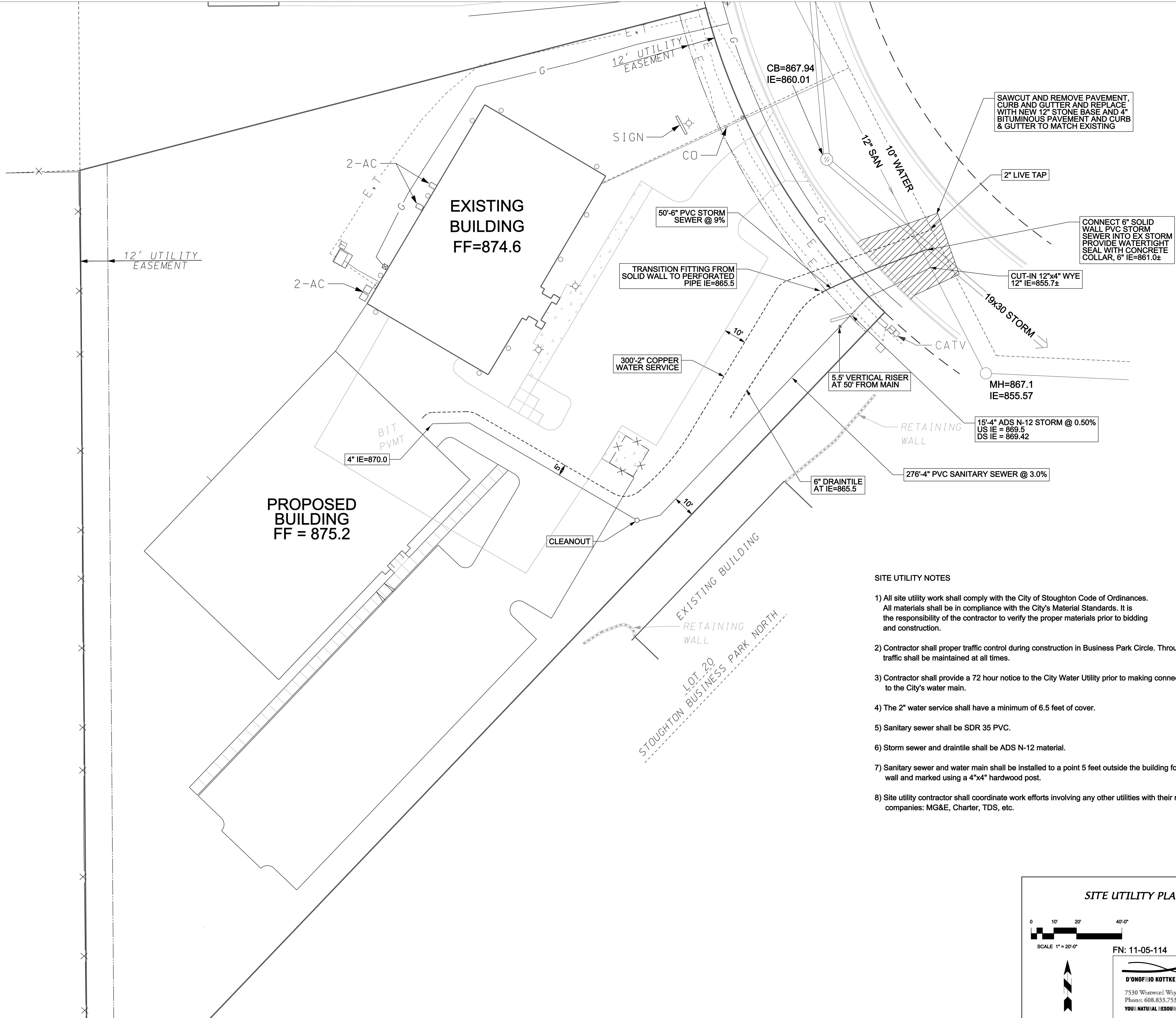
**SECTION A-A  
1000 SF BIORETENTION**

**SITE GRADING AND  
EROSION CONTROL PLAN**

FN: 11-05-114 DATE: 06-07-11

**D'ONOFILIO KOTKKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOU: NATURAL RESOURCE FOR LAND DEVELOPMENT

CERTIFIED SURVEY MAP NO. 5632



**SITE UTILITY NOTES**

- 1) All site utility work shall comply with the City of Stoughton Code of Ordinances. All materials shall be in compliance with the City's Material Standards. It is the responsibility of the contractor to verify the proper materials prior to bidding and construction.
- 2) Contractor shall proper traffic control during construction in Business Park Circle. Through traffic shall be maintained at all times.
- 3) Contractor shall provide a 72 hour notice to the City Water Utility prior to making connections to the City's water main.
- 4) The 2" water service shall have a minimum of 6.5 feet of cover.
- 5) Sanitary sewer shall be SDR 35 PVC.
- 6) Storm sewer and draisntile shall be ADS N-12 material.
- 7) Sanitary sewer and water main shall be installed to a point 5 feet outside the building foundation wall and marked using a 4"x4" hardwood post.
- 8) Site utility contractor shall coordinate work efforts involving any other utilities with their respective companies: MG&E, Charter, TDS, etc.

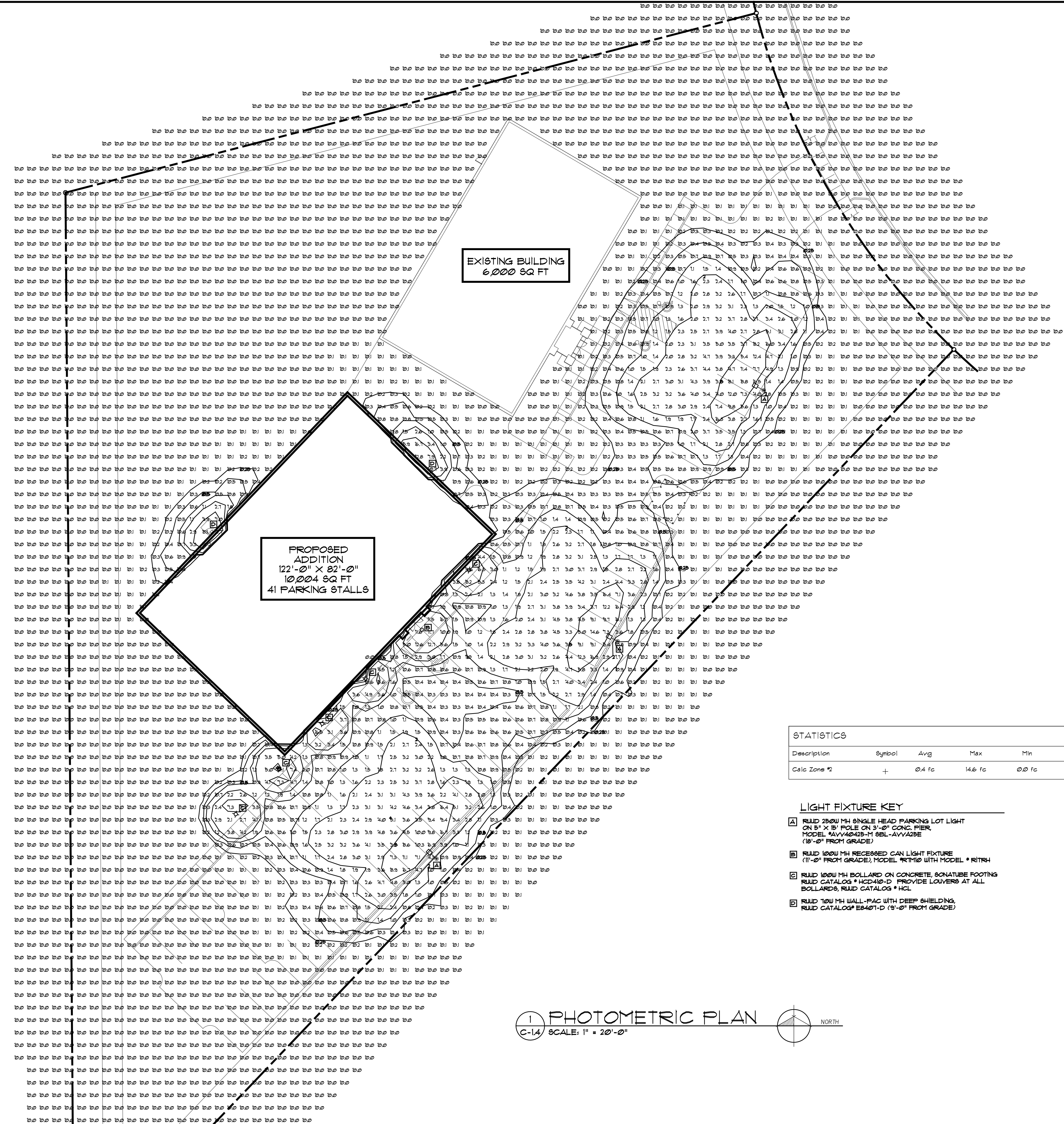
**SITE UTILITY PLAN**

0 10' 20' 40'-0"

SCALE 1" = 20'-0"

FN: 11-05-114 DATE: 06-07-11

**D'ONOFRIO KOTKE AND ASSOCIATES, INC.**  
7530 Westward Way, Madison, WI 53717  
Phone: 608.833.7530 • Fax: 608.833.1089  
YOU'VE NATURAL RESOURCE FOR LAND DEVELOPMENT



EXISTING BUILDING  
6,000 SQ FT

PROPOSED  
ADDITION  
122'-0" X 82'-0"  
10,004 SQ FT  
41 PARKING STALLS

STATISTICS

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	0.4 fc	14.6 fc	0.0 fc	N / A	N / A

- LIGHT FIXTURE KEY
- A) RUID 280W MH SINGLE HEAD PARKING LOT LIGHT ON 8" X 8" POLE ON 5'-0" CONC. PIER, MODEL #AVV4042B-1 8BL-AVV42BE (18'-0" FROM GRADE)
  - B) RUID 100W MH RECESSED CAN LIGHT FIXTURE (11'-0" FROM GRADE), MODEL #RT110 WITH MODEL # R11RH
  - C) RUID 100W MH BOLLARD ON CONCRETE, SONATUBE FOOTING RUID CATALOG # HCD410-D. PROVIDE LOUVERS AT ALL BOLLARDS, RUID CATALOG # HCL
  - D) RUID 100W MH WALL-PAC WITH DEEP SHIELDING, RUID CATALOG # E8401-D (9'-0" FROM GRADE)

PHOTOMETRIC PLAN  
C-14 SCALE: 1" = 20'-0" NORTH

**PLANT LIST**

NAME	SIZE	ROOT	QUANT
SUGAR MAPLE	1 1/2"	B & B	2
BLACK HILLS SPRUCE	1 1/2"	B & B	3
GREENSPIRE LINDEN	1 1/2"	B & B	3
TECHNY ARBORVITAE	4"	B & B	5
EMERALD MOUND HONEYSUCKLE	#3	CG	20
BLUE FESCUE	#2	CG	16

**GENERAL NOTES:**

- EDGING AT ALL PLANTING BEDS IS TO BE BLACK DIAMOND VINYL EDGING OR EQUAL WITH ANCHORS
- PROVIDE AND INSTALL WEED BARRIER AT ALL SHRUB BEDS.
- MULCH IN ALL INDIVIDUAL PLANT BEDS IS TO BE - CEDAR BARK MULCH, 3" IN DEPTH MINIMUM, WITHOUT WEED BARRIER
- ALL PLANTING BEDS ARE TO BE HARDWOOD BARK MULCH 3" IN DEPTH MINIMUM

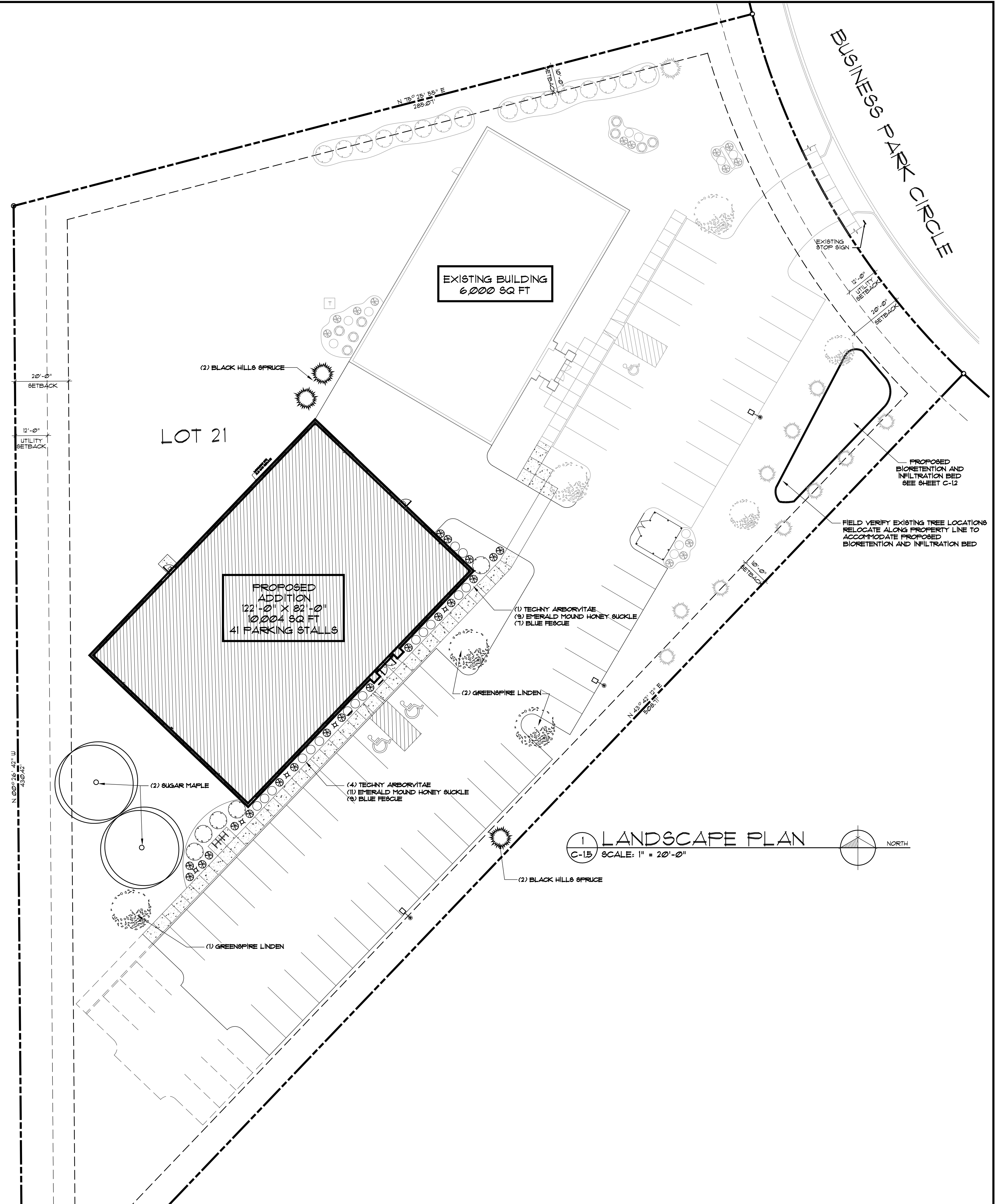
**LANDSCAPE POINTS**

**BUILDING FOUNDATIONS**  
(416'100) X 40 = 166.4 PTS  
PTS REQUIRED = 167 PTS  
PTS PROVIDED = 200 PTS

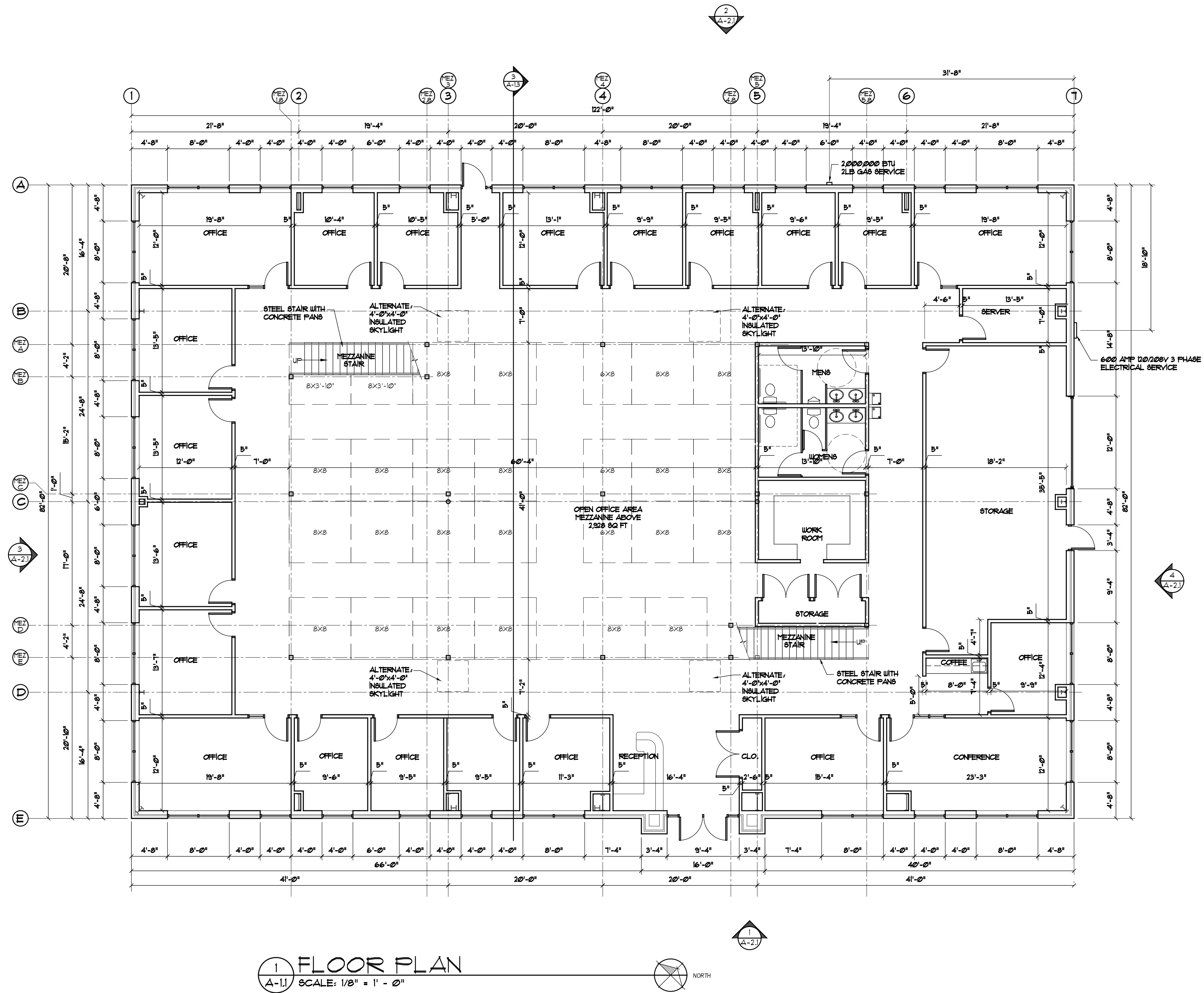
**PAVED AREA**  
(4120) X 60 = 123 PTS  
PTS REQUIRED = 123 PTS  
PTS PROVIDED = 130 PTS

**DEVELOPED AREA**  
(10,004/1,000) X 10 = 100.04 PTS  
PTS REQUIRED = 101 PTS  
PTS PROVIDED = 150 PTS

TOTAL POINTS REQUIRED = 454 POINTS  
TOTAL POINTS PROVIDED = 554 UNITS







**1 FLOOR PLAN**  
A-11 SCALE: 1/8" = 1' - 0"

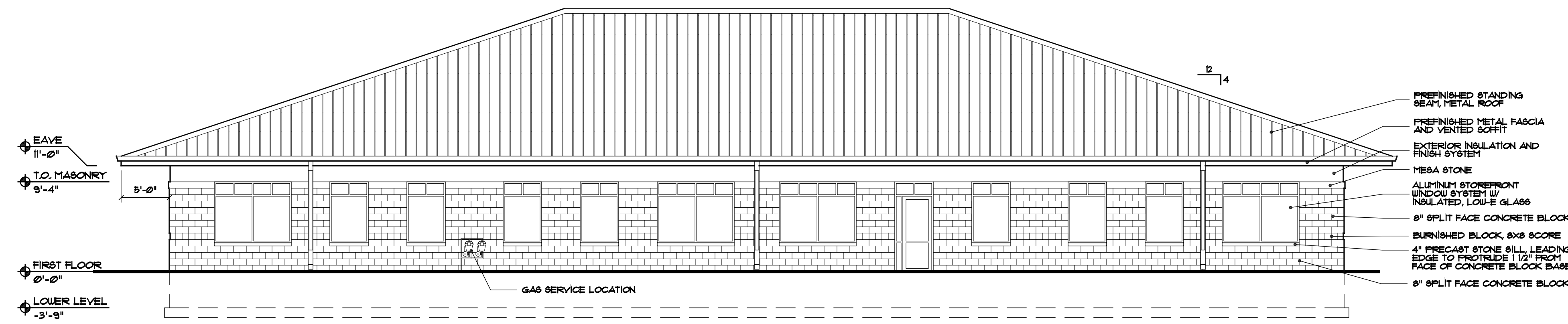
**NOTE:**  
ALL MATERIALS TO  
MATCH EXISTING

**MATERIAL LIST (MATCH EXISTING)**

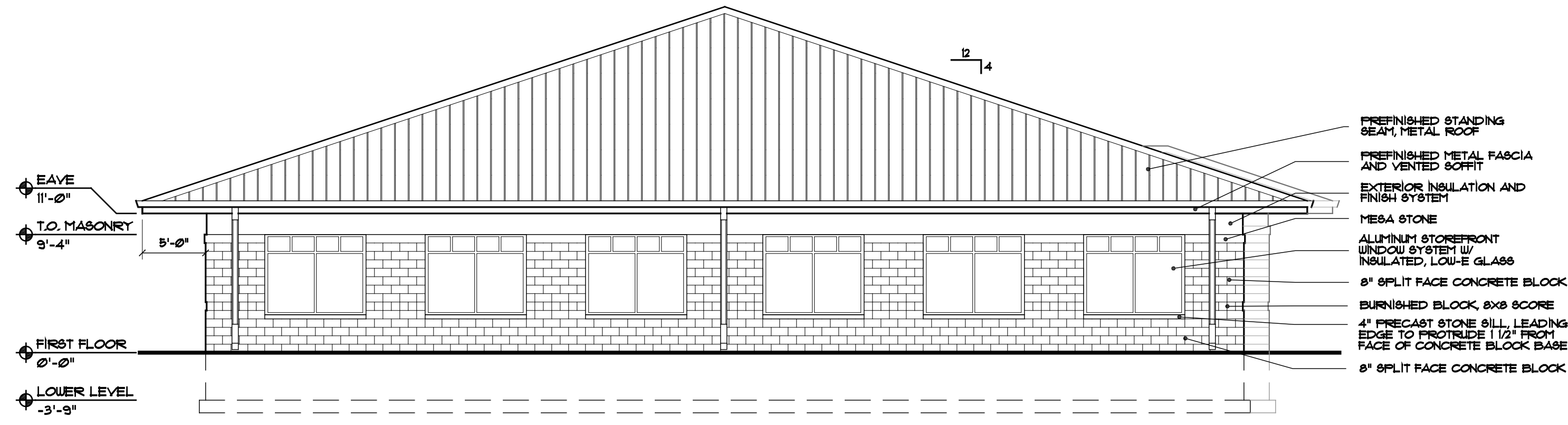
GUTTER, FASCIA AND SOFFIT:	ULTRA-CLAD, "CLASSIC GREEN"
LOWER ACCENT BLOCK (BURNISHED):	TRENDWYTH INDUSTRIES, TRENDSTONE, "BUTTERFIELD", 6x8 SCORE, 8" RETURNS AT CORNERS
8" SPLIT-FACE CONCRETE BLOCK BASE:	TRENDWYTH INDUSTRIES, TRENDSTONE, "LIMESTONE", 8" RETURNS AT CORNERS
8" SPLIT-FACE CONCRETE BLOCK FIELD:	TRENDWYTH INDUSTRIES, TRENDSTONE, "BRICK RED", 8" RETURNS AT CORNERS
STONE SILL:	INDIANA LIMESTONE, 2 1/2" PROFILE, TIP AWAY FROM BUILDING
UPPER ACCENT BAND (MESA STONE):	TRENDWYTH INDUSTRIES, TRENDSTONE, "BUTTERFIELD", 8" RETURNS AT CORNERS
EXTERIOR INSULATION AND FINISH SYSTEM:	FAREX, # 10414, "KHAKI", SWIRL FINE
ALUMINUM STOREFRONT AND WINDOW SYSTEM:	KAUNEER, "HARTFORD GREEN" INSULATED, LOW-E GLASS
COMMERCIAL GRADE PREFINISHED METAL ROOF:	STAR BUILDINGS, "EVERGREEN"



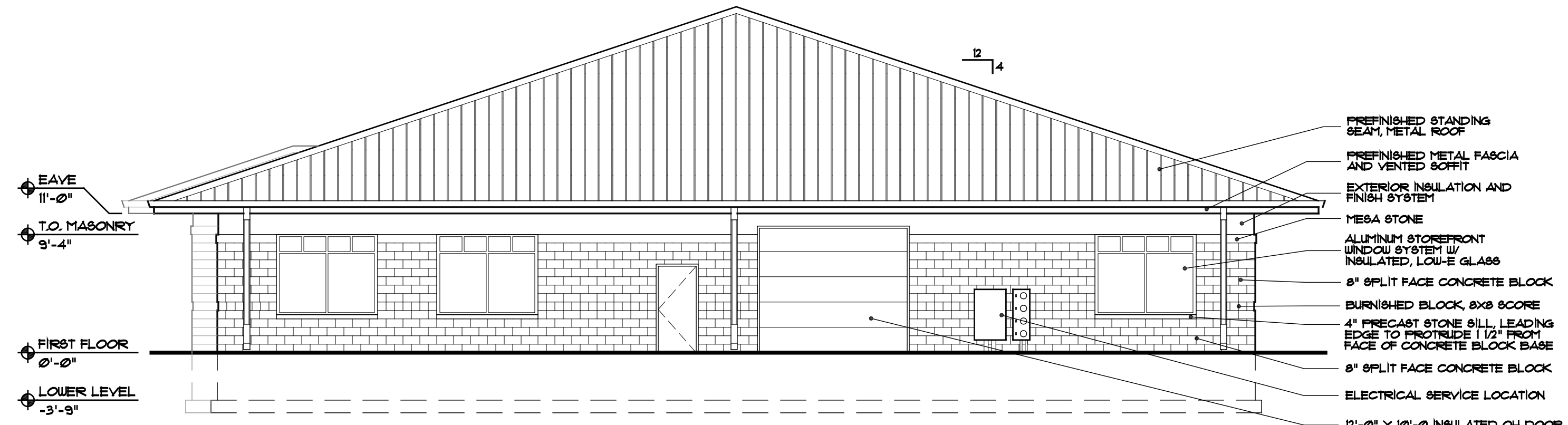
**1 PROPOSED SOUTHEAST ELEVATION**  
A-2.1 SCALE: 1/8" = 1'-0"



**2 PROPOSED NORTHWEST ELEVATION**  
A-2.1 SCALE: 1/8" = 1'-0"



**3 PROPOSED SOUTHWEST ELEVATION**  
A-2.1 SCALE: 1/8" = 1'-0"



**4 PROPOSED NORTHEAST ELEVATION**  
A-2.1 SCALE: 1/8" = 1'-0"



CITY OF STOUGHTON  
DEPARTMENT OF PLANNING & DEVELOPMENT  
381 East Main Street, Stoughton, WI. 53589  
www.cityofstoughton.com/planning

RODNEY J. SCHEEL  
DIRECTOR  
(608) 873-6619  
fax: (608) 873-5519

June 7, 2011

TJK Design Build  
John Bieno  
634 West Main Street  
Madison, WI. 53703

Dear Mr. Bieno:

I have completed a review of the proposed new building at Park Place, 160 Business Park Circle - Plan submitted 6/7/11. As noted, additional information may be required to be provided or shown on the plan.

**Zoning Code Requirements:**

1. The property at 160 Business Park Circle is zoned PI – Planned Industrial. Office land uses include all exclusively indoor land uses whose primary function are the handling of information or administrative services. Such land uses do not typically provide services to customers on a walk-in or on-appointment basis. Additionally, the indoor storage is incidental to the office use. **Pharmacy audit assistance services and pharmacy consulting services are permitted office land uses within the Planned Industrial district.**
2. **The Comprehensive Plan, planned land use map designates this property as General Industrial.** The Planned Land Use map will need to be modified in the future to match the Planning Industrial use.
3. The parking requirement for an office land use is one space per 300 square feet of gross floor area. There are 62 parking spaces proposed to accommodate both buildings. Code requires 54 parking stalls total. No site plan may be approved which contains more than 120 percent of the required minimum number of parking spaces. **The proposed parking complies with these requirements.**
4. **The proposed building meets the setback and height requirements of the Planned Industrial district.**
5. **The minimum building separation of 20 feet has been met.**
6. Per section 78-704 (13)(a), bicycle parking is required equal to 10% of the automobile parking space requirement. **There are specific requirements related to bicycle parking in section 78-704 (13)(c). This requirement pertains to any new parking. Four bicycle parking spaces are require and are provided on the plan.**
7. One off-street loading stall requirements per section 78-705. **If deliveries or shipments are anticipated an off-street loading stall will need to be provided. Trucks may not back into the street.**
8. A landscaping plan which meets the requirements of section 78-604 must be provided. This section requires 164 landscaping points for the building foundation; 123 landscaping points are required for the new paved area; 100 landscaping points are required for developed lots. **See section 78-604 for additional landscaping requirements. The provided landscaping plan meets these requirements.**
9. **There are no bufferyard requirements when there are adjacent properties with the same zoning classification.**

10. Article VII of the city zoning code provides the following requirements related to lighting:  
“Parking and traffic circulation areas serving 6 or more vehicles shall be lit so as to ensure the safe and efficient use of said areas during the hours of use. An illumination level of between 0.4 and 1.0 footcandles is recommended for said areas, and said illumination shall not exceed 0.5 footcandles measured at the property lines.” **This requirement is not necessary if the parking, loading and circulation areas are not used after sunset. A photometric plan has been submitted to meet this requirement.**
11. Section 78-707, Exterior lighting standards, requires a maximum average on-site lighting of 2.4 footcandles. The maximum lighting as measured at the property line is 0.5 footcandles. **The proposed lighting complies with this requirement.**
12. **There is an existing trash enclosure for the handling of waste.**
13. A stormwater management and erosion control plan, application and fee are required. Dane County Land Conservation, the City’s consultant, will review the plan and perform inspections. **The plan, application and fee shall be submitted to the Department of Planning & Development office at City Hall. This has been submitted.**
14. Proposed utilities-including electrical transformers and HVAC locations shall be shown on the plan. **The utilities are delineated on the plan. HVAC locations for the new building shall be delineated on the plan. A street opening permit will be necessary for work in the street right-of-way.**
15. **State of Wisconsin approved building plans will be necessary prior to issuance of a building permit but are not necessary to begin the City review process.**

### **Business Park Covenants:**

The following items are contained in the Business Park Covenants and will need to be addressed as noted:

1. Plan Submittal
  - a. Name and mailing address of developer/owner. **Provided.**
  - b. Utilities and utility right of way easements. **Easements are shown. All utilities are shown. Elevation alterations of 6-inches or more within any easement need to be approved by Stoughton Utilities.**
  - c. Exterior signs. **There is an existing sign. No additional signage proposed.**
  - d. Exterior Lighting. **The provided photometric plan meets the zoning code requirements.**
  - e. Clearing, grading, and drainage plan showing proposed clearing limits, existing and proposed contours at two foot intervals. **The provided grading plan with one foot contours is sufficient to meet this requirement.**
  - f. Site statistics, including site square footage, percent of site coverage’s and percent of park or open space. **This is provided on site plan.**
  - g. All exterior materials and colors, including manufacturer’s name and catalogue numbers or samples of the same. **A color rendering or samples will need to be provided for the meeting**
  - h. Location and dimensions of all proposed outdoor storage areas, and the location and dimensions of all fencing and screening. **No outdoor storage or fencing is proposed.**
2. Development Standards

- a. “All electrical and air conditioning structures, including towers and air handling units, regardless of location and whether on the roof or otherwise, shall be concealed by landscaping or by decorative screening materials which form an integral part of the design.” **This will need to be delineated on the plan.**
  - b. All areas intended to be utilized for parking space and driveways shall be surfaced with bituminous asphalt or concrete.” **Expected to be paved as proposed.**
  - c. “All parking stalls shall be marked with painted lines not less than 4” wide.” **Expected.**
  - d. “No parking areas will be permitted within the building set back lines with the following two exceptions:
    1. Office employee and visitor parking may be permitted within the front yard setback lines subject to approval of the Committee. **N/A**
    2. Lots bounded by more than one road may have parking areas within the building set back lines along roads other than the one on which the building fronts subject to approval by the Committee.” **N/A**
  - e. “A scale drawing of any sign, trademark or advertising device to be used on any lot or the exterior of any building or structure will be submitted to the Committee in triplicate or the written approval by the Committee.” **None proposed.**
  - f. “The front yard setback area shall be landscaped with an effective combination of trees, ground cover and shrubbery. All unpaved areas not utilized for parking shall be landscaped in a similar manner. The entire area between the curb and a point 10 feet in back of the front property line shall be landscaped, except for any access driveway in said area. Notwithstanding the above, the entire area between the right-of-way and the building setback line shall be densely landscaped with a combination of effective visual screening on all use areas.” **Meeting the zoning code requirements will sufficiently meet this requirement which is consistent with previous approvals.**
  - g. “Areas used for parking shall be landscaped and/or fenced in such a manner as to interrupt or screen said areas from view of access streets, freeways, and adjacent properties. Plant materials used for this purpose shall consist of lineal or grouped masses of shrubs and/or trees.” **Meeting the zoning code requirements will sufficiently meet this requirement which is consistent with previous approvals.**
  - h. “All outdoor storage shall be visually screened from access streets and adjacent property.” **Outdoor storage is not allowed unless reviewed and approved as part of this process.**
  - i. “Outdoor storage shall be meant to include parking of all company owned and operated vehicles, with the exception of passenger vehicles.” **Outdoor storage may need to be considered, if applicable.**
  - j. “All outdoor refuse collection areas shall be visually screened from access streets and adjacent property by a complete opaque screen.” **The existing trash enclosure is sufficient.**
  - k. “Architectural Review. **The Business Park North Committee will take into account the appearance of all buildings, parking areas and storage areas.**”
3. Any other information considered pertinent by the Committee.

If you have any questions, please contact me at 608-646-0421

Sincerely,  
City of Stoughton

*Michael P. Stacey*

Michael P. Stacey  
Zoning Administrator/Assistant Planner

cc. Planning Commissioners  
Business Park North Committee