

MEETING NOTICE

The City of Stoughton will hold a Regular meeting of the **Planning Commission** on **Monday, July 11, 2011 at 6:00 pm** in the **Council Chambers, Second Floor, Public Safety Building, 321 S. Fourth Street**, Stoughton WI.

AGENDA

1. Call to order
 2. Consider approval of the Planning Commission minutes of June 13, 2011.
 3. Council Representative Report.
 4. Status of Developments/Projects. (Page 5)
 5. Request by Aaron Chupp, Chipman Design Architecture representing McDonald's USA, LLC, 1429 US Highway 51 & 138 for Conditional Use permit approval for building additions and other building and site improvements. (Page 7)
 - Public Hearing
 - Recommendation to Council
 6. Request by Sonny Swangstu representing American Legion Post 59, 803 N. Page Street for Conditional Use permit approval for a building addition. (Page 28)
 - Public Hearing
 - Recommendation to Council
 7. Discuss status of proposed Westend Development.
 8. Future agenda items
 9. Adjournment
- 7/1/11mps

COMMISSIONERS:

Mayor Donna Olson, Chair
Eric Hohol, Vice-Chair
Rollie Odland

Todd Krcma
Carl Chenoweth

Ron Christianson
Troy Wieser

CC:PACKETS:

Rodney Scheel
Troy Wieser

Michael Stacey (3)
Todd Krcma

Rollie Odland
Mayor Donna Olson

E-MAIL NOTICES:

All Department Heads
Pili Hougan
Scott Wegner
Area Townships

Council members
Peter Sveum
Stoughton Newspapers

Steve Kittelson
Derek Westby
City Attorney Matt Dregne

MAIL NOTICES:

Chipman Design Architecture, Aaron Chupp, 1550 N. Northwest Highway, Suite 400, Park Ridge, IL. 60068-1463; McDonalds, 1429 US Highway 51 & 138. Stoughton; McDonalds USA, LLC, 1650 W. 82nd Street Suite 900, Bloomington, MN. 55431; John Orr, N3250 COUNTY HIGHWAY J, POYNETTE, WI 53955; Sonny Swangstu, 701 Bickley Court, Stoughton; JSD Professional Services Inc., Jim Bricker, 161 Horizon Drive, Suite 101, Verona, WI. 53593; Oakbrook Corporation, Charles Redjinski, 2 Science Drive, Madison, WI., 53744; Forward Development Group, LLC, Dennis Steinkraus, 161 Horizon Drive, Suite 101, Verona, WI. 53593

IF YOU ARE DISABLED & IN NEED OF ASSISTANCE, PLEASE CALL 873-6677 PRIOR TO THIS MEETING.

NOTE: AN EXPANDED MEETING MAY CONSTITUTE A QUORUM OF THE COUNCIL.

Planning Commission Meeting Minutes

Monday, June 13, 2011 - 6:00 p.m.

Public Safety Building, Council Chambers, Second Floor, 321 S. Fourth Street, Stoughton, WI.

Members Present: Ron Christianson; Rollie Odland; Mayor Donna Olson, Chair and Todd Krcma.

Absent and Excused: Eric Hohol, Vice-Chair; Carl Chenoweth and Troy Wieser.

Staff: Director of Planning & Development, Rodney Scheel; and Zoning Administrator, Michael Stacey

Press: Mark Ignatowski

Guests: Ted Cone; Mike Mangin; Aaron Chupp; and David & Linda Mayfield.

1. **Call to order.** Mayor Olson called the meeting to order at 6:05 pm.
2. **Consider approval of the Planning Commission minutes of May 9, 2011.**
Motion by **Christianson** to approve the Planning Commission minutes of May 9, 2011, 2nd by **Odland**. Motion carried 4 – 0.
3. **Council Representative Report.**
There was no report presented.
4. **Status of Developments/Projects.**
Scheel gave an overview of the status of developments including an update on the Westend Development.
5. **Request by Stoughton Area Little League to install a storage shed at Racetrack Park.**
Scheel explained the request.

Motion by **Christianson** to approve installation of the storage shed, 2nd by **Krcma**. Motion carried 4-0.
6. **Request by David & Linda Mayfield to Rezone 607 Kensington Square from PD – Planned Development to PD-GDP – Planned Development-General Development Plan for a deck addition.**
Scheel gave an overview of the request. David & Linda Mayfield were available for questions.
Mayor Olson opened the public hearing.

No one registered to speak for or against the rezoning.

Mayor Olson closed the public hearing.

Motion by **Odland** to recommend Council approve the rezoning ordinance for the deck addition at 607 Kensington Square contingent on the staff review letter dated May 4, 2011, 2nd by **Krcma**. Motion carried 4-0.

7. Request by Aaron Chupp, Chipman Design Architecture representing McDonald's USA, LLC, 1429 US Highway 51 & 138 for Conditional Use approval for an addition and other building and site improvements.

Scheel introduced the request.

Aaron Chupp explained the additions and site improvements.

Mayor Olson opened the public hearing.

Mike Mangin registered to answer questions if needed.

Mayor Olson closed the public hearing.

A brief discussion took place regarding visibility at the exit and pooling of water in the drive entrance. Aaron Chupp indicated the pillars at the exit would be removed as part of the project and the asphalt will be repaired to ADA standards.

Motion by **Christianson** to recommend Council approve the conditional use resolution contingent on the staff review letter dated June 6, 2011, 2nd by **Krcma**. Motion carried 4-0.

8. Request by A.J. Arnett to annex approximately 301 acres from the Town of Pleasant Springs and Town of Dunkirk.

Scheel gave an overview of the request. A discussion took place about the need for an annexation agreement to address the following: Zoning classifications at the time of annexation and in the future; Urban Service Area Amendment costs; Public Improvement expectations/costs; Fees; Neighborhood Planning expectations/costs; How County Facilities will be handled – Scheel is meeting this week with County officials to discuss; and Town Taxes.

Motion by **Christianson** to Table the annexation request until an annexation agreement is drafted, 2nd by **Odland**. Motion carried 4-0.

Krcma stated WDOT plans for County Highway B should be included in the agreement.

9. Request by Ted Cone, representing Convenience Store Investments requests approval for a walk-in cooler addition at Kwik Trip west, 517 W. Main Street.

Scheel introduced the request. Ted Cone explained the request noting the exterior will be white and the new refrigeration unit will be quieter.

Motion by **Krcma** to approve the walk-in cooler addition contingent on the staff review letter dated June 2, 2011, 2nd by **Christianson**. Motion carried 4-0.

10. Proposed ordinance amendment to amend chapter 30, Floodplain Zoning of the Stoughton Municipal Code which will allow the Fourth Street Dam Rating to be assigned a Low Hazard.

Scheel explained the request.

Mayor Olson opened the public hearing

No one registered to speak in favor or against the ordinance amendment.

Mayor Olson closed the public hearing.

Motion by **Christianson** to recommend Council approve the ordinance amendment, 2nd by **Krcma**. Motion carried 4-0.

11. Future agenda items. Arnett Annexation Agreement and Westend Development update.

12. Adjournment. Motion by **Christianson** to adjourn at 6:30 pm, 2nd by **Krcma**. Motion carried 4-0.

Respectfully Submitted,
Michael Stacey



CITY OF STOUGHTON
DEPARTMENT OF
PLANNING & DEVELOPMENT
381 East Main Street, Stoughton, WI. 53589

RODNEY J. SCHEEL
DIRECTOR

(608) 873-6619

www.cityofstoughton.com/planning

Date: July 1, 2011

To: Planning Commission Members

From: Rodney J. Scheel
Director of Planning & Development

Michael Stacey
Zoning Administrator/Assistant Planner

Subject: July 11, 2011 Planning Commission Meeting - Status of Developments and Meeting Summary.

Status of Developments:

- West View Ridge - 30 improved lots remaining.
- Stone Crest - 11 improved lots remaining.
- Proposed Westend Neighborhood at NW corner of US Hwy 51 & State Hwy 138 – status provided at the meeting.
- Movin' Out (Elven Sted) project – Under Construction.

Department of Planning & Development Information/Happenings:

Planning staff has been working primarily on the following:

- Budgeting for outcomes
- Grounds/building maintenance
- Proposed conditional use permit for McDonald's addition
- Proposed conditional use permit for American Legion addition
- Proposed conditional use permit for Forrer's Service
- Proposed solar array and CSM for Trantow Properties, LLC
- Potential development at Marathon site
- Westend Development
- Continued building and zoning inspections
- Minimum maintenance inspections.

Meeting Summary:

Items #5 - Request by Aaron Chupp, Chipman Design Architecture representing McDonald's USA, LLC, 1429 US Highway 51 & 138 for Conditional Use Permit (CUP) approval for additions and other building and site improvements. This CUP request is coming back to the Planning Commission because the owner has decided to expand on the addition to the front of the building an additional 209 square feet. The property at 1429 US

Highway 51 & 138 is zoned Planned Business. Restaurants are considered indoor entertainment uses and are conditional uses within the Planned Business district. This proposal is for a dining room addition at the front of the building; a vestibule addition along the west side of the building; a cash booth addition along the east side of the building; an additional drive-thru lane added; façade improvements and other internal building improvements. The site/building plans and conditional use application are provided including a staff review letter. A public hearing is scheduled and a recommendation to Council is necessary. Staff recommends approval contingent on the staff review letter dated June 21, 2011.

Item #6 - Request by Sonny Swangstu representing American Legion Post 59, 803 N. Page Street for Conditional Use permit approval for a building addition. The property at 803 N. Page Street is zoned Planned Business. Taverns are considered Indoor Entertainment uses and are Conditional Uses within the Planned Business District. This proposal is for a rear building addition for bathrooms; cooler; storage; and a smoking room. The site/building plans and conditional use application are provided including a staff review letter. A public hearing is scheduled and a recommendation to Council is necessary. There are bufferyard and landscaping requirements as addressed in the staff review letter. Staff recommends approval contingent on the staff review letter dated July 1, 2011.

CITY OF STOUGHTON, 381 E. MAIN STREET, STOUGHTON, WISCONSIN

RESOLUTION OF THE PLAN COMMISSION

Approving a Conditional Use Permit to allow building additions and other site improvements for McDonalds at 1429 US Highway 51 & 138, Stoughton, Wisconsin.

Committee Action:

Fiscal Impact: None.

File Number: R- -2011

Date Introduced: July 26, 2011

WHEREAS, on July 11, 2011 the City of Stoughton Planning Commission reviewed the Conditional Use request by Chipman Design Architecture, Inc., Agent for McDonalds, 1429 US Highway 51 & 138, Stoughton, Wisconsin; and

WHEREAS, the Conditional Use request was reviewed by the City Director of Planning & Development and Zoning Administrator and found to be in compliance with the City zoning ordinance; and

WHEREAS, the City Zoning Administrator has confirmed the Conditional Use will not interfere with and is consistent with the City's Comprehensive Plan; now therefore

BE IT RESOLVED by the Common Council of the City of Stoughton that the Conditional Use Permit request by Chipman Design Architecture, Inc., Agent for McDonalds, 1429 US Highway 51 & 138, Stoughton, Wisconsin, is hereby approved with the following conditions:

1.

Council Action: ☐ **Adopted** ☐ **Failed** **Vote** _____

Mayoral Action: ☐ **Accept** ☐ **Veto**

Donna Olson, Mayor

Date

Council Action: _____ ☐ **Override** **Vote** _____

PUBLIC HEARING NOTICE

The City of Stoughton Planning Commission will hold a Public Hearing on Monday, July 11, 2011 at 6:00 o'clock p.m., or as soon after as the matter may be heard, in the Council Chambers, Public Safety Building, 321 South Fourth Street, Second Floor, Stoughton, Wisconsin, 53589, to consider a proposed Conditional Use Permit Application to expand the building at McDonalds, 1429 US Highway 51 & 138, Stoughton, Wisconsin by Chipman Design Architecture, Inc. The owner is requesting approval to construct a dining area at the front of the building and a cash booth addition along the side; exterior façade renovation; add an additional drive thru; and upgrade other elements within the building. The property at 1429 US Highway 51 & 138, Stoughton, Wisconsin is more fully described as follows:

Parcel Number: 281/0511-071-8560-9

SEC 7-5-11 PRT NW1/4NE1/4 COM SEC N1/4 COR TH S89DEG2MINE 75 1.88 FT TO
POB TH S3DEG31MIN37SECW 254.03 FT TH N89DEG2MINW 203.59 FT TH
N3DEG31MIN37SECE 254.03 FT TO SEC N LN TH S89DE G2MINE 203.59 FT TO POB
SUBJ TO USH 51 ACR NLY 33 FT THF.

For questions regarding this notice please contact Michael Stacey, Zoning Administrator at 608-646-0421

Michael P Stacey
Zoning Administrator

Published June 23, 2011 Hub
Published June 30, 2011 Hub

City of Stoughton Procedural Checklist for Conditional Use Review and Approval (Requirements per Section 78-905)

This form is designed to be used by the Applicant as a guide to submitting a complete application for a conditional use *and* by the City to process said application. Parts II and III are to be used by the Applicant to submit a complete application; Parts I - IV are to be used by the City when processing said application.

Name of Applicant: MCDONALDS USA, LLC **BY CHIPMAN DESIGN ARCHITECTURE (AGENT)**

Conditional Use Requested: INDOOR COMMERCIAL ENTERTAINMENT : MAINTAIN EXISTING FAST FOOD RESTAURANT WITH EXISTING DRIVE UP WINDOW

I. Record of Administrative Procedures for City Use

Presubmittal staff meeting scheduled N/A VIA EMAIL
Date of Meeting: _____ Time of Meeting: _____ Date: _____ By: _____

Follow-up staff meeting scheduled if necessary
Date of Meeting: _____ Time of Meeting: _____ Date: _____ By: _____

Application form filed with Zoning Administrator Date: 6/17 By: mps

Application fee of \$ 370 received by Zoning Administrator Date: 6/17 By: mps

If necessary, reimbursement of consultant costs agreement executed: Date: _____ By: _____ N/A

II Application Submittal Packet Requirements for City and Applicant Use

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application for staff review, followed by one revised final application based upon staff review and comments.

Final Application (1 copy to Zoning Administrator) Date: 6/17/11 By: mps



☒ (a) **A map of the proposed conditional use:**

- ☐ Showing all lands for which the zoning is proposed to be amended.
- ☐ Showing all other lands within 300 feet of the boundaries of the subject property.
- ☐ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Dane County (as provided by the City of Stoughton).
- ☐ Map and all its parts are clearly reproducible with a photocopier.
- ☐ Map size of 11" by 17" and map scale not less than one inch equals 100 ft.
- ☐ All lot dimensions of the subject property provided.
- ☐ Graphic scale and north arrow provided.

- ☒ (b) A map, such as the Planned Land Use Map, of the generalized location of the subject property in relation to the City as a whole.
- ☒ (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations
- ☒ (d) A site plan (conforming to the requirements of Section 78-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a large development (per Sections 78-205(11)) or a group development (per Section 78-205(12)) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 78-908.
- ☒ (e) Written justification for the proposed conditional use:
 - ☐ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Stoughton Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 78-905(4)

III Justification of the Proposed Zoning Ordinance Amendment for Applicant Use

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

THE EXISTING USE AS A FASTFOOD DINE IN AND DRIVE-THRU
RESTAURANT IS TO BE MAINTAINED.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

THIS APPLICATION IS TO MAINTAIN THE EXISTING USE.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 78-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

NO. THIS APPLICATION IS TO MAINTAIN THE EXISTING
USE, CURRENTLY IN CONFORMANCE AND PREVIOUSLY
APPROVED AS SUCH.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

THE APPLICATION IS TO MAINTAIN THE EXISTING
USE WITH RENOVATIONS TO EXISTING BRAND ELEMENTS.

5. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

YES. THIS APPLICATION IS TO MAINTAIN THE
EXISTING USE, CURRENTLY SERVED BY EXISTING
FACILITIES, UTILITIES, OR SERVICES AND DOES NOT/NOR
WILL IMPOSE AN BURDEN ON ANY OF THE ABOVE.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 78-905(4)(b)1.5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

THIS APPLICATION IS TO MAINTAIN THE EXISTING
CONDITIONAL USE.

IV. Final Application Packet Information for City Use

Receipt of 20 reduced (8.5" by 11" text and 11" by 17" graphics)
copies of final application packet by Zoning Administrator

Date: _____ By: _____ N/A

Notified Neighboring Property Owners (within 300 feet)

Date: 6/21 By: MPS

Notified Neighboring Township Clerks (within 1,000 feet)

Date: _____ By: _____ N/A

Class 2 legal notice sent to official newspaper by City Clerk

Date: 6/17 By: MPS

Class 2 legal notice published on 6/23/11 and 6/30/11

By: MPS

Conditional Use recorded with the County Register of Deeds Office

By: _____



June 16, 2011

Corporate Office
1550 N. Northwest Highway
Suite 400
Park Ridge, IL 60068-1463
T 847.298.6900
F 847.298.6966

CHICAGO
LOS ANGELES
NEW YORK

chipmandesignarch.com

City of Stoughton
381 E Main Street
Stoughton, WI

Conditional Use Review and Approval
Written Description of Conditional Use
McDonalds 1429 Hwy 51 W

Response to Part II (c) written description of conditional use.

McDonald's is proposing to maintain its existing use as indoor commercial entertainment in the Planned Business zoning.

The proposed scope of work includes a building additional and exterior façade renovation, maintaining its existing use.

Response to Part II (e) written justification of conditional use.

McDonald's is proposing to maintain its existing use as indoor commercial entertainment in the Planned Business zoning, currently in conformance and previously approved as such.

If you have any questions, please feel free to contact me.

Thank you.

Sincerely,

For
McDonalds USA LLC
Chipman Design Architecture
Aaron Chupp

**City of Stoughton Procedural Checklist for Site Plan Review and Approval
(Requirements per Section 78-908)**

This form is designed to be used by the Applicant as a guide to submitting a complete application for a site plan review *and* by the City to process said application. Part II is to be used by the Applicant to submit a complete application; Parts I - III are to be used by the City when processing said application.

Name of Applicant: McDonalds USA LLC BY CHIPMAN DESIGN ARCHITECTURE
(AGENT) AARON CHURR
Project Description: RENOVATION AND ADDITION TO EXISTING McDONALDS RESTAURANT

I. Record of Administrative Procedures for City Use

Presubmittal staff meeting scheduled

N/A

VIA EMAIL

Date of Meeting: _____

Time of Meeting: _____

By: _____

Follow-up pre-submittal staff meetings scheduled if necessary

Date of Meeting: _____

Time of Meeting: _____

By: _____

Application form filed with Zoning Administrator

Date: 6/17 By: RPS

Application fee of \$_____ received by Zoning Administrator

Date: _____ By: _____

If necessary, reimbursement of professional consultant costs agreement executed: Date: _____ By: _____ N/A

II Application Submittal Packet Requirements for Applicants Use

Prior to submitting a complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application for staff review, followed by one revised draft final application packet based upon staff review and comments.

~~Initial Draft Application~~

Date: _____ By: _____

↓ Final Application Packet (1 copy to Zoning Administrator)

Date: 6/17/11 By: RPS

↓

↓

☐ ☒ (a) A written description of the intended use describing in reasonable detail the following:

- ☐ Existing zoning district(s) (and proposed zoning district(s) if different).
- ☐ Planned Land Use Map designation(s).
- ☐ Current land uses present on the subject property.
- ☐ Proposed land uses for the subject property (per Section 78-206).
- ☐ Projected number of residents, employees, and daily customers.
- ☐ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio.
- ☐ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation.
- ☐ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII

(Sections 78-701 through 721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials.

- ☐ ☒ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII".
- ☐ Exterior building and fencing materials (Sections 78-716 and 78-718).
- ☐ Possible future expansion and related implications for points above.
- ☐ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
- ☐ ☒ (b) A *Small Location Map* at 11" x 17" showing the subject property, all properties within 300 feet, and illustrating its relationship to the nearest street intersection. (A photocopy of the pertinent section of the City's Official Zoning Map with the subject property clearly indicated shall suffice to meet this requirement.)
- ☐ ☒ (c) A *Property Site Plan* drawing which includes the following:
 - ☐ A title block which indicates the name, address and phone/ fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project.
 - ☐ The date of the original plan and the latest date of revision to the plan.
 - ☐ A north arrow and a graphic scale (not smaller than one inch equals 100 feet).
 - ☐ A reduction of the drawing at 11" x 17".
 - ☐ A legal description of the subject property.
 - ☐ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
 - ☐ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
 - ☐ All required building setback lines.
 - ☐ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls.
 - ☐ The location and dimension (cross-section and entry throat) of all access points onto public streets.
 - ☐ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance.
 - ☐ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
 - ☐ The location of all outdoor storage areas and the design of all screening devices.
 - ☐ The location, type, height, size and lighting of all signage on the subject property.

- ☐ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property—including the clear demonstration of compliance with Section 78-707.
- ☐ The location and type of any permanently protected green space areas.
- ☐ The location of existing and proposed drainage facilities.
- ☐ In the legend, data for the subject property on the following
 - a. Lot Area
 - b. Floor Area
 - c. Floor Area Ratio (b/a)
 - d. Impervious Surface Area
 - e. Impervious Surface Ratio (d/a)
 - f. Building height
- ☐ ☒ (d) **A Detailed Landscaping Plan of the subject property:**
 - ☐ Scale same as main plan (> or equal to 1" equals 100').
 - ☐ Map reduction at 11" x 17".
 - ☐ Showing the location of all required bufferyard and landscaping areas.
 - ☐ Showing existing and proposed Landscape Point fencing.
 - ☐ Showing berm options for meeting said requirements.
 - ☐ Demonstrating complete compliance with the requirements of Article VI.
 - ☐ Providing individual plant locations and species, fencing types and heights, and berm heights.
- ☐ ☐ (e) **A Grading and Erosion Control Plan:**
 - ☐ Scale same as main plan (> or equal to 1" equals 100').
 - ☐ Map reduction at 11" x 17"
 - ☐ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- ☐ ☒ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
 - ☐ Showing finished exterior treatment.
 - ☐ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance.
 - ☐ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

At time of
building permit

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 78-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III. Final Application Packet Information for City Use

Receipt of one full-scale copy in blueline or blackline
of complete Final Application Packet by Zoning Administrator

Date: _____ By: _____ *N/A*

Receipt of one reduced (8.5" by 11" text and 11" by 17" graphics)
copy of complete final application packet by Zoning Administrator

Date: 6/17 By: mys



June 16, 2011

Corporate Office
1550 N. Northwest Highway
Suite 400
Park Ridge, IL 60068-1463
T 847.298.6900
F 847.298.6966

CHICAGO
LOS ANGELES
NEW YORK

chipmandesignarch.com

City of Stoughton
381 E Main Street
Stoughton, WI

Site Plan Review and Approval
Written Description of Intended Use
McDonalds 1429 Hwy 51 W

Response to Part II (a) written description of intended use.

McDonald's is proposing an approximate 670 SF dining area addition to the north side of the existing facility to help improve operational efficiencies, allow for the expansion of restrooms for increased accessibility, and provide for more area to be used for customer service. The exterior elevations of the building will be renovated to modernize the building aesthetics, while maintaining the McDonald's image and brand. The accessible parking and building access will be reconfigured to meet ADA standards, as well the existing drive thru will be reconfigured adding a secondary drive thru order point to improve drive thru operations and overall traffic flow.

This existing property conforms to its zoning as (PB) Planned Business. It has approximately 40 employees, serves approximately 800 daily customers, and operates 24 hours a day.







The existing seating of the restaurant is approximately 56 seats. The interior reconfiguration of the restaurant's seating is not anticipated to add a significant amount of seating. The building capacity of the restaurant will comply with the stated requirement of 177 patrons per the 59 parking stalls.

If you have any questions, please feel free to contact me.

Thank you.

For
McDonalds USA LLC
Chipman Design Architecture
Aaron Chupp

Zoning Map

-  City of Stoughton Boundary
-  Town Boundary
-  Parcel Lines
-  Surface Water
-  Right of Way
-  Railroad

Base Zoning Districts

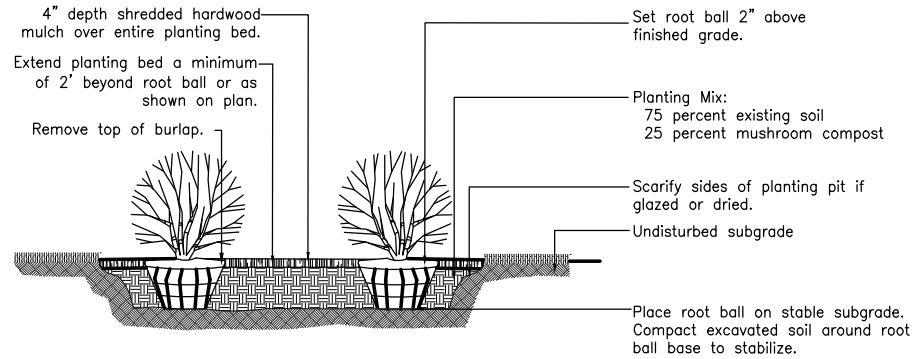
-  ER-1 - Exurban Residential
-  SR-3 - Single-Family Residential
-  SR-4 - Single-Family Residential
-  SR-5 - Single-Family Residential
-  SR-6 - Single-Family Residential
-  TR-6 - Two-Family Residential
-  MR-10 - Multi-Family Residential
-  MR-24 - Multi-Family Residential
-  NO - Neighborhood Office
-  PO - Planned Office
-  NB - Neighborhood Business
-  PB - Planned Business
-  CB - Central Business
-  PD - Planned Development
-  PI - Planned Industrial
-  GI - General Industrial
-  HI - Heavy Industrial
-  I - Institutional
-  I - Institutional (Park)
-  RH - Rural Holding

06-16-2011
 CONDITIONAL USE REVIEW AND APPROVAL
 SITE PLAN REVIEW AND APPROVAL
 McDONALDS
 1429 HWY 51, STOUGHTON, WI

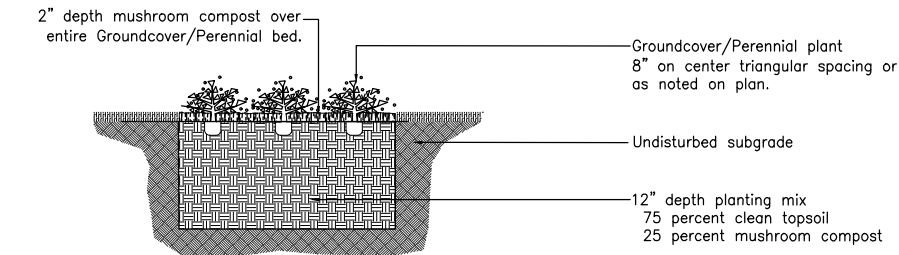
PROPERTY LOCATION
 1429 HWY 51 W

0 500 1,000 2,000
 Feet

Adopted: December 22, 2009
 Source: Dane County LIO



Detail
Shrub Planting



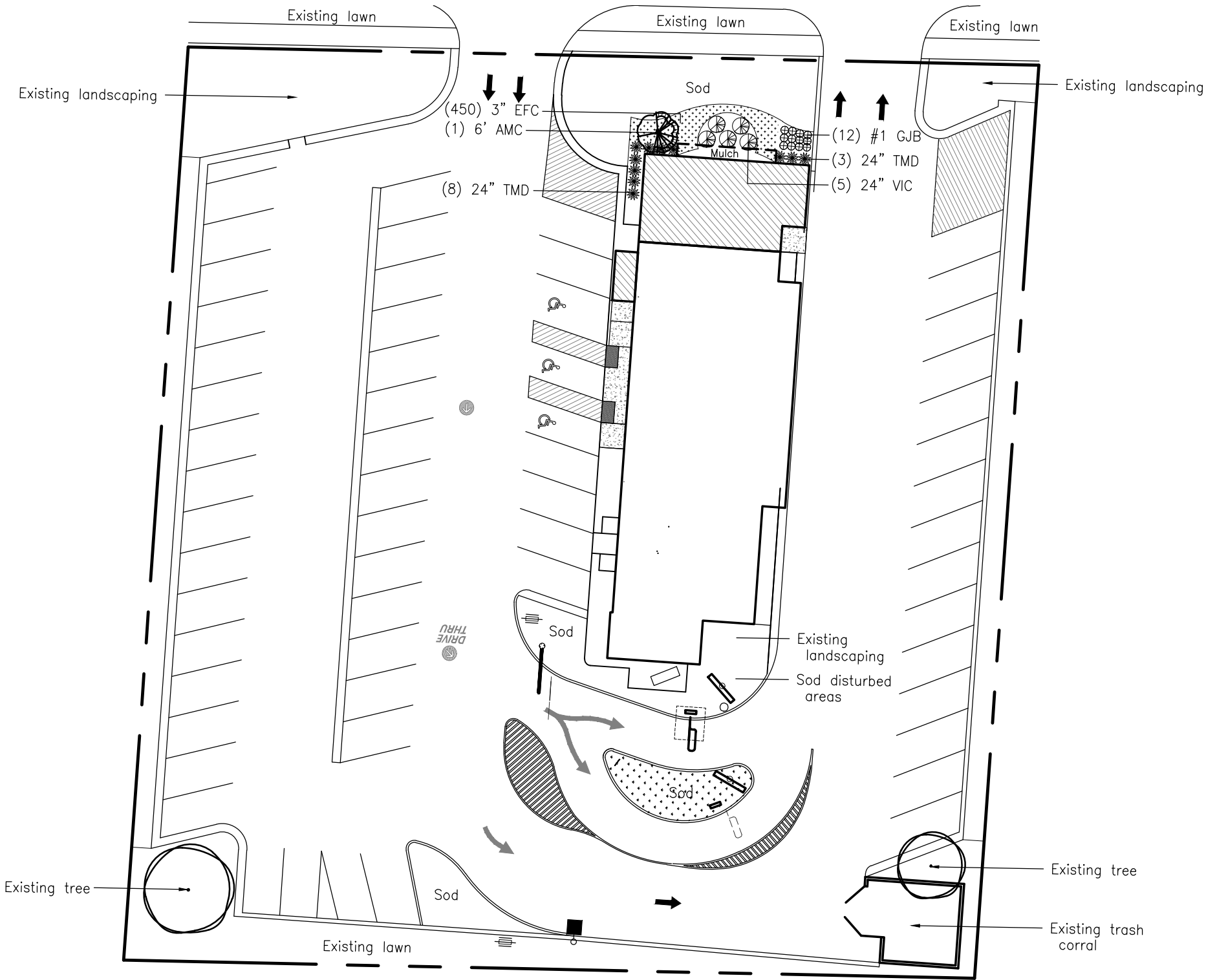
Detail
Groundcover/Perennial Planting

Plant List

KEY	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	REMARKS
AMC	1	6'	Amelanchier canadensis	Shadblow Serviceberry	BB/Clump
EFC	450	3"	Euonymus fortunei var. coloratus	Purpleleaf Wintercreeper	Pots
GJB	12	#1	Geranium 'Jolly Bee'	Jolly Bee Geranium	Container
TMD	11	24"	Taxus x media 'Densififormis'	Dense Yew	BB
VIC	5	24"	Viburnum carlesii	Koreanspice Viburnum	BB

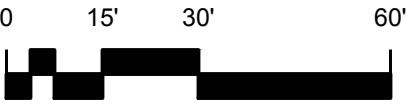
Landscape Calculations

	REQUIRED:	PROPOSED:
New building perimeter foundation planting – 118 l.f.	48 points	51 points
Building footprint planting – 1071 s.f.	11 points	11 points
	59 points	62 points




1 LANDSCAPE PLAN
1" = 30'-0"

CITY OF STOUGHTON SITE PLAN REVIEW AND APPROVAL



SCALE: 1" = 30'-0"

McDonalds
1429 HWY 51 W, STOUGHTON, WI

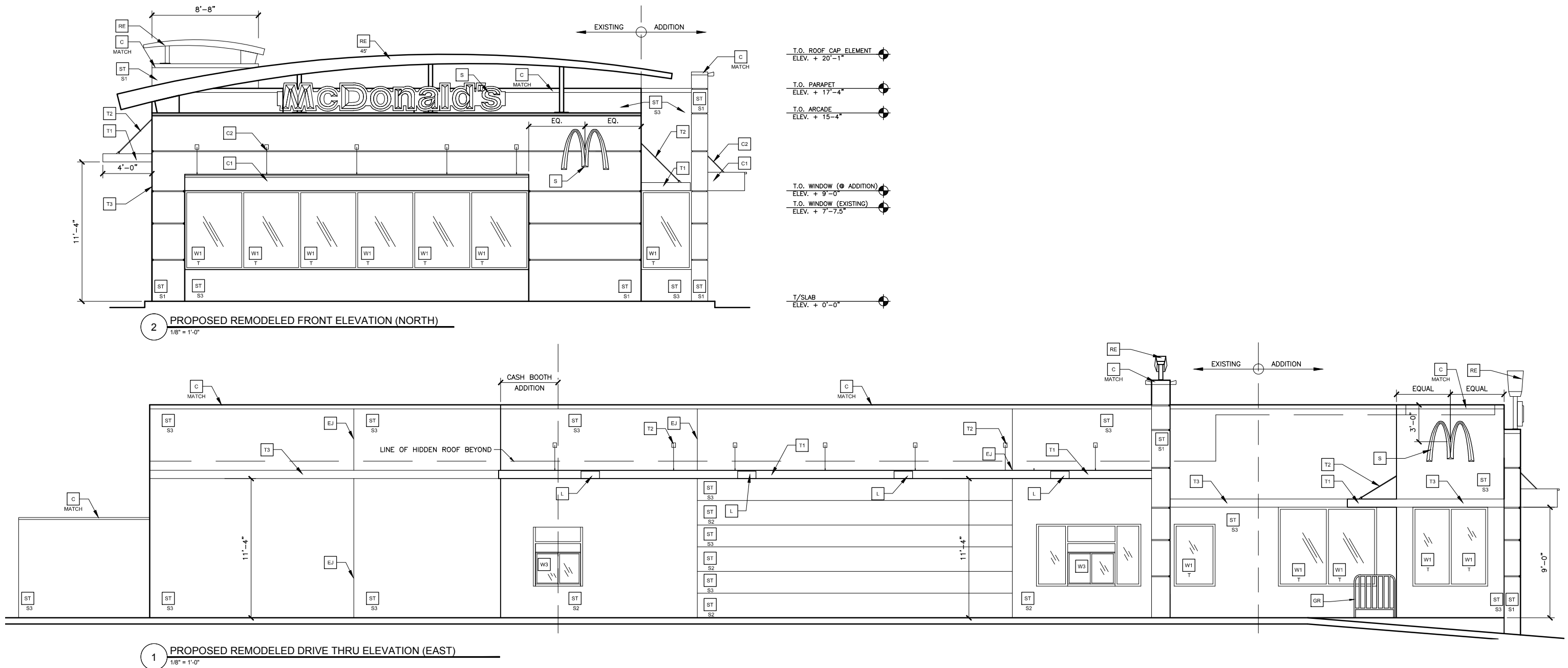
 **McDONALDS USA, LLC**
1650 W. 82ND ST. SUITE 900
BLOOMINGTON, MN 55431
TEL. (952) 885-4770 SITE ID. 048-0154

 **ChipmanDesign**
Architecture Inc.
1550 N. Northwest Highway, Suite 400
Park Ridge, Illinois 60068-1463
T 847.298.6900 F 847.298.6966

**LANDSCAPE
PLAN**

06.15.11 11-3762

LP-1



McDonalds
1429 HWY 51 W, STOUGHTON, WI

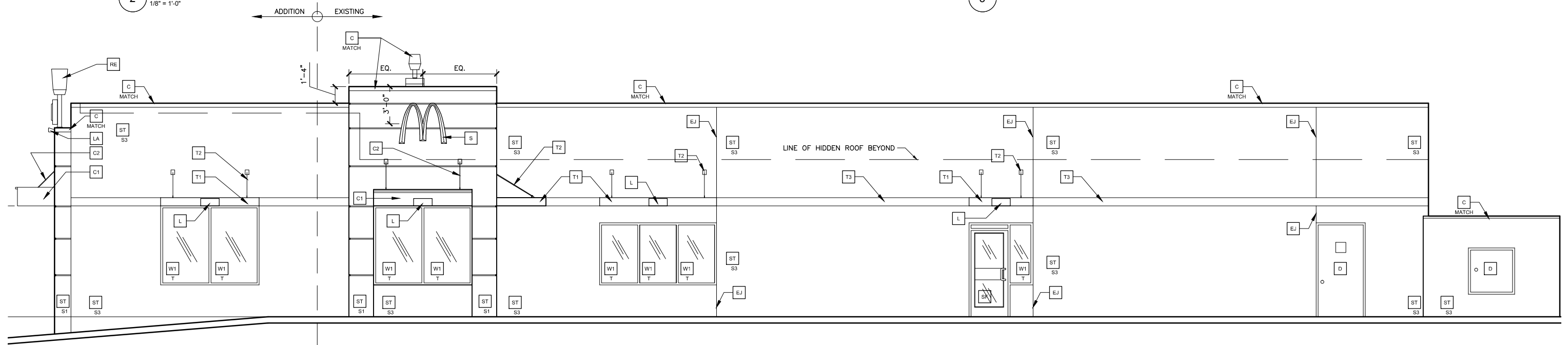
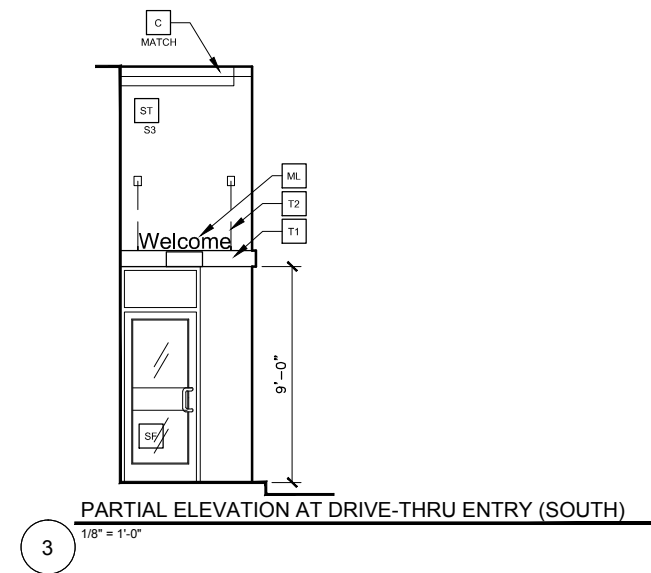
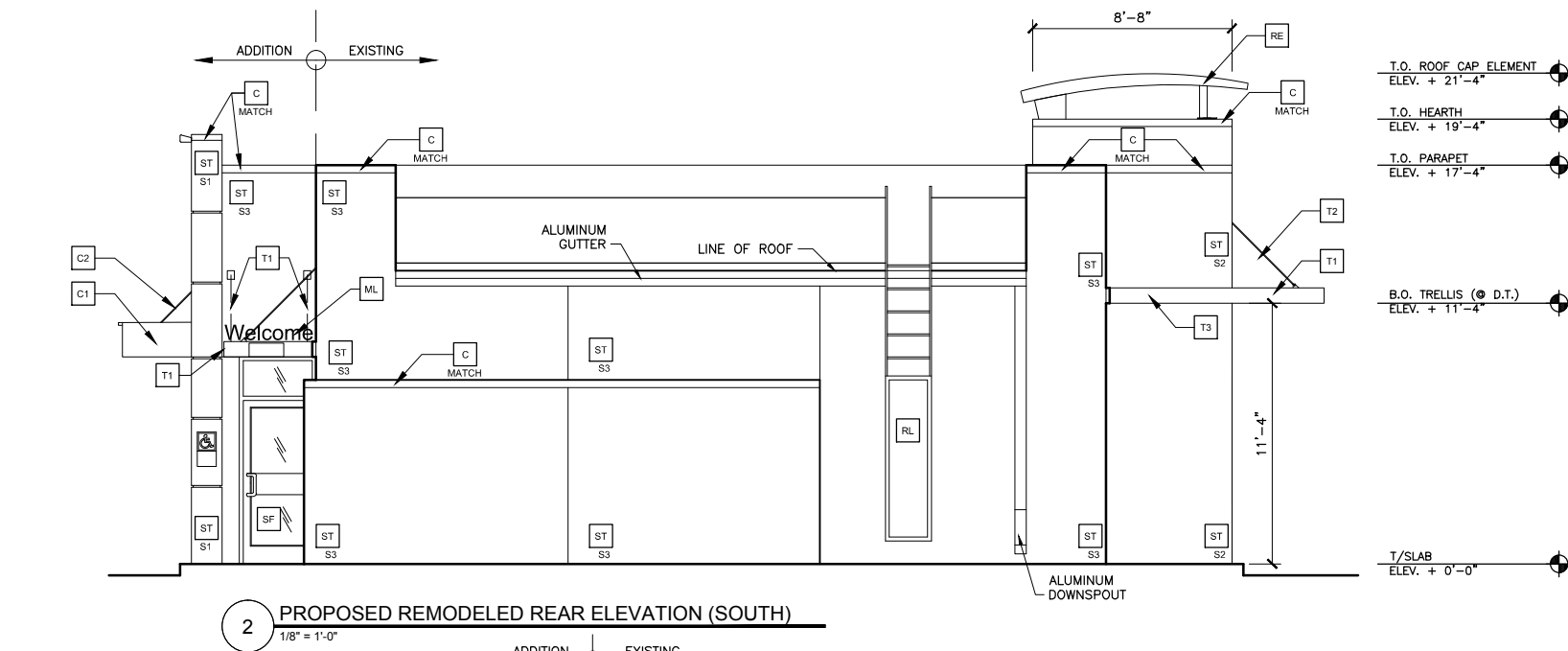
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**PROPOSED
ELEVATIONS**

06-16-11 11-3762

EL-1



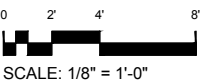
KEY NOTES:

- C METAL COPING - COLOR TO MATCH SURROUNDING MATERIAL
- C1 YELLOW 18X18 CANOPY
- C2 YELLOW 18 CANOPY WITH TIE BACKS
- D HOLLOW METAL DOOR - PAINT TO MATCH COLOR OF SURROUNDING MATERIAL

- L LIGHT FIXTURE (WALL SCONCE) - SEE ELECTRICAL
- LA LIGHT FIXTURE (ARCADE LIGHT) - SEE ELECTRICAL
- ML METAL LETTERING - BY OTHERS
- GR GUARDRAIL
- S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.

- ST STUCCO OR STONE EXTERIOR FINISH
- S1 COLOR OR FINISH: (CHOCOLATE)
- S2 = BENJAMIN MOORE "SNOW WHITE 2122-70" OR EQUAL
- S3 = BENJAMIN MOORE "MINK 2122-10" OR EQUAL
- S3 = BENJAMIN MOORE "HUNTINGTON BEIGE HC-21" OR EQUAL
- T1 ALUMINUM TRELLIS
- T2 TRELLIS TIE-BACK

- W1 EXTERIOR WINDOW ASSEMBLY - SEE ASSEMBLY NOTES ON SHEET A5.0
- T = TEMPERED GLASS
- W2 DRIVE-THRU WINDOW BY READY ACCESS - CONFIRM MODEL, OPTIONS, AND SIZE WITH MCD AREA CONSTRUCTION MANAGER. OPTIONS INCLUDE: TRANSOM (SHOWN)
- SLIDE DIRECTION: RL = RIGHT TO LEFT, LR = LEFT TO RIGHT
- W3 EXISTING WINDOW



CITY OF STOUGHTON
SITE PLAN REVIEW AND APPROVAL
CONDITIONAL USE REVIEW AND APPROVAL

McDonalds
1429 HWY 51 W, STOUGHTON, WI

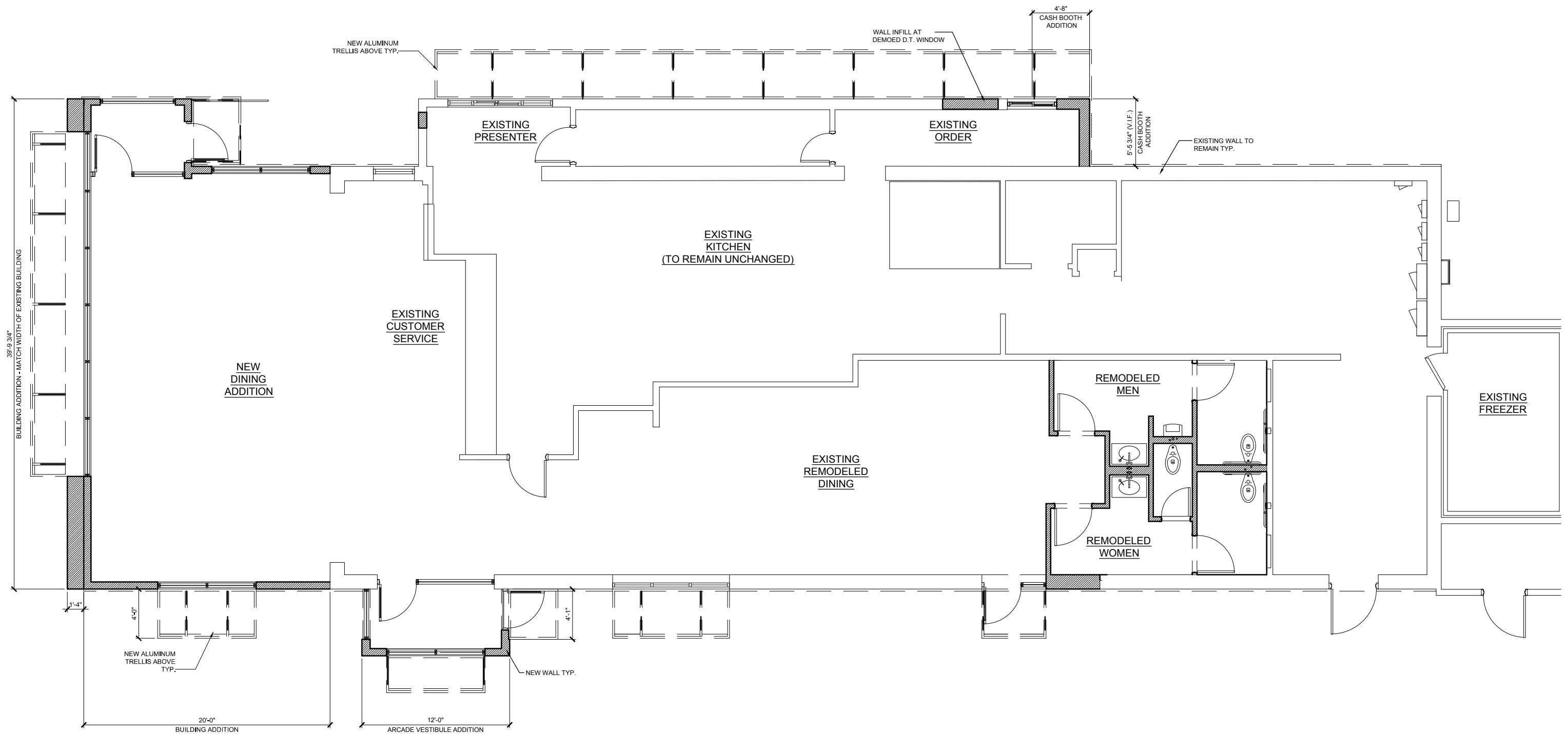
McDONALDS USA, LLC
1650 W. 82ND ST. SUITE 900
BLOOMINGTON, MN 55431
TEL. (952) 885-4770 SITE ID. 048-0154

ChipmanDesign
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Park Ridge, Illinois 60068-1463
T 847.298.6900 F 847.298.6966

**PROPOSED
ELEVATIONS**

06-16-11 11-3762

EL-2



1 PROPOSED FLOOR PLAN OF ADDITION AND REMODEL
1/8" = 1'-0"

CITY OF STOUGHTON
SITE PLAN REVIEW AND APPROVAL
CONDITIONAL USE REVIEW AND APPROVAL

McDonalds
1429 HWY 51 W, STOUGHTON, WI

McDonalds USA, LLC
1650 W. 82ND ST. SUITE 900
BLOOMINGTON, MN 55431
TEL. (952) 885-4770 SITE ID. 048-0154

ChipmanDesign
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Park Ridge, Illinois 60068-1463
T 847.298.6900 F 847.298.6966

**PROPOSED
FLOOR PLAN**

06-16-11 11-3762

FP-1



CITY OF STOUGHTON
DEPARTMENT OF PLANNING & DEVELOPMENT
381 East Main Street, Stoughton, WI. 53589
www.cityofstoughton.com/planning

RODNEY J. SCHEEL
DIRECTOR
(608) 873-6619
fax: (608) 873-5519

June 21, 2011

Chipman Design Architecture, Inc.
Aaron Chupp
1550 N. Northwest Hwy, Suite 400
Park Ridge, IL. 60068-1463

Dear Mr. Chupp:

I have completed a review of the proposed conditional use permit request for building additions and other site improvements at McDonalds, 1429 US Highway 51 & 138, Stoughton. (Revised site plans received June 17, 2011). This item is scheduled for public hearing at the July 11, 2011 Planning Commission meeting of which you will receive notice. The owner and/or representative are required to attend the meeting. The following items are identified for your review.

1. The property at 1429 US Highway 51 & 138 is zoned PB – Planned Business. Per Zoning Code section 78-105(4)(b)2b, Indoor Commercial land uses such as restaurants are permitted as a conditional use within the Planned Business district. **The Planning Commission will conduct a public hearing and review your request for a conditional use permit to expand the building/use and other site improvements. The Commission will offer a recommendation to the City Common Council. The Common Council should make their decision on July 26, 2011. The Common Council may place conditions on the use related to drainage; screening; lighting; parking requirements, etc...**
2. Indoor Commercial Entertainment is defined as follows: Indoor commercial entertainment land uses include all land uses which provide entertainment services primarily within an enclosed building. Outdoor seating or patio areas associated with a proposed indoor commercial entertainment land use shall be allowed subject to city approval of a site plan showing any such proposed outdoor seating or patio area. Such activities often have operating hours which extend significantly later than most other commercial land uses. Examples of such land uses include **restaurants**, taverns, theaters, health or fitness centers, all forms of training studios (dance, art, martial arts, etc.), bowling alleys, arcades, roller rinks, and pool halls.
3. The parking requirement for indoor commercial entertainment is one space per every three patron seats; or one space per three persons at the maximum capacity of the establishment; (whichever is greater). Currently there are 59 parking stalls which will allow a maximum of up to 177 patron seats or capacity. **We have been informed there is a seating capacity of approximately 56 which meets this requirement.**
4. The minimum front yard setback requirement is 20 feet while the minimum side yard setback is 10 feet. **The building additions meet the setback requirements.**
5. The minimum width for a driveway is 18 feet. **There appears to be just enough room to meet this requirement getting around the proposed new drive-thru lane.**

6. The regulations pertaining to Indoor Commercial Entertainment uses are as follows:
- If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property.
 - Facility shall provide bufferyard with minimum opacity of .60 along all borders of the property abutting residentially zoned property.

There are no residentially zoned properties abutting the subject property.

7. The Comprehensive Plan, planned land use map designates this property as General Business. Restaurants are consistent with this type of designation. **This property does not interfere with and is consistent with the City Comprehensive Plan.**
8. **There is a historic water drainage safety issue near the drive entrance, straight out from the west customer building entrance that should be addressed as part of this conditional use approval process. Stormwater frequently accumulates in this area.**
9. The apron and sidewalk is proposed to be replaced at the property exit as part of this conditional use approval process. We recommend 8" reinforced concrete where large trucks are expected.
10. An erosion control plan is required to be provided at the time of building permit application.
11. Building additions are required to be accented by a minimum amount of landscaping placed near the building foundation. For each 100 feet of building foundation perimeter, the landscaping installed shall at a minimum have 40 points of landscaping. The proposed addition has approximately 118 feet of perimeter which will require 48 points of foundation landscaping while 51 points are proposed. Additionally, developed lots require 10 points of landscaping per 1,000 square feet of building foot-print. The proposed additions are 1071 square feet which requires 11 landscaping points and 11 landscaping points are proposed. **A landscaping plan has been submitted to meet these requirements.**
12. **There are no bufferyard requirements when adjacent properties have the same zoning classification.**
13. **State of Wisconsin approved building plans will be necessary prior to issuance of a building permit but are not necessary to begin the City review process.**

If you have any questions, please contact me at 608-646-0421

Sincerely,
City of Stoughton

Michael P. Stacey

Michael P. Stacey
Zoning Administrator//Assistant Planner

cc. McDonalds, 1429 US Highway 51 & 138. Stoughton
McDonalds USA, LLC, 1650 W. 82nd Street Suite 900, Bloomington, MN. 55431
John Orr, N3250 COUNTY HIGHWAY J, POYNETTE, WI 53955
Planning Commissioners

CITY OF STOUGHTON, 381 E. MAIN STREET, STOUGHTON, WISCONSIN

RESOLUTION OF THE PLAN COMMISSION

Approving a Conditional Use Permit to allow a building addition for American Legion Post 59 at 803 N. Page Street, Stoughton, Wisconsin.

Committee Action:

Fiscal Impact: None.

File Number: R- -2011

Date Introduced: July 26, 2011

WHEREAS, on July 11, 2011 the City of Stoughton Planning Commission reviewed the Conditional Use request by American Legion Post 59 for property located at 803 N. Page Street, Stoughton, Wisconsin; and

WHEREAS, the Conditional Use application was reviewed by the City Director of Planning & Development and Zoning Administrator and found to be in compliance with the City Zoning ordinance; and

WHEREAS, the planned land use map is used as a guide for the general pattern of permanent zoning as determined by the Planning Commission and Common Council. The City Zoning Administrator has confirmed the addition should not interfere with and is consistent with the City's Comprehensive Plan; now therefore

BE IT RESOLVED by the Common Council of the City of Stoughton that the Conditional Use permit request for a building addition by American Legion Post 59 for property located at 803 N. Page Street, Stoughton, Wisconsin, is hereby approved, contingent on the following:

1.

Council Action: ☐ **Adopted** ☐ **Failed** **Vote** _____

Mayoral Action: ☐ **Accept** ☐ **Veto**

Donna Olson, Mayor

Date

Council Action: _____ ☐ **Override** **Vote** _____

PUBLIC HEARING NOTICE

The City of Stoughton Planning Commission will hold a Public Hearing on Monday, July 11, 2011 at 6:00 o'clock p.m., or as soon after as the matter may be heard, in the Council Chambers, Public Safety Building, 321 South Fourth Street, Second Floor, Stoughton, Wisconsin, 53589, to consider a proposed Conditional Use Permit Application to expand the use for the OTIS SAMPSON POST NO 59 OF THE AMERICAN LEGION, 803 N. Page Street, Stoughton, Wisconsin. The applicant is requesting conditional use approval for a building addition. The property at 803 N. Page Street, Stoughton, Wisconsin is more fully described as follows:

Parcel Number: 281/0511-053-0527-2

LOT 1 CSM 13109 CS84/88&89-06/02/2011 F/K/A PRT LOTS 29, 30, 31, 32 & 33 BLOCK 18 CORRECTED SURVEY & PLAT OF SARAH E TURNER'S ADDN TO CITY OF STOUGHTON DESCR AS SEC 5-5-11 PRT NE1/4SW1/4 (0.748 ACRES)

For questions regarding this notice please contact Michael Stacey, Zoning Administrator at 608-646-0421

Michael P Stacey
Zoning Administrator

Published June 23, 2011 Hub

Published June 30, 2011 Hub

City of Stoughton Procedural Checklist for Conditional Use Review and Approval (Requirements per Section 78-905)

This form is designed to be used by the Applicant as a guide to submitting a complete application for a conditional use *and* by the City to process said application. Parts II and III are to be used by the Applicant to submit a complete application; Parts I - IV are to be used by the City when processing said application.

Name of Applicant: American Legion Post 59, 803 N. Page Street, Stoughton, Wisconsin

Conditional Use Requested: 24' x 45' Addition.

I. Record of Administrative Procedures for City Use

Pre-submittal staff meeting scheduled

Date of Meeting: June 17, 2011 Time of Meeting: 10:00 am

By: MPS

Follow-up staff meeting scheduled if necessary N/A

Date of Meeting: _____ Time of Meeting: _____

By: _____

Application form filed with Zoning Administrator

Date: 6/17/11 By: MPS

Application fee of \$410.00 received by Zoning Administrator

Date: 6/17/11 By: MPS

If necessary, reimbursement of consultant costs agreement executed: Date: _____ By: _____ N/A

II Application Submittal Packet Requirements for City and Applicant Use

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application for staff review, followed by one revised final application based upon staff review and comments.

Final Application (1 copy to Zoning Administrator)

Date: 6/30/11 By: MPS

↓

X (a) A map of the proposed conditional use:

- ☐ Showing all lands for which the zoning is proposed to be amended.
- ☐ Showing all other lands within 300 feet of the boundaries of the subject property.
- ☐ Referenced to a list of the names and addresses of the owners of said lands as they appear on the current records of the Register of Deeds of Dane County (as provided by the City of Stoughton).
- ☐ Map and all its parts are clearly reproducible with a photocopier.
- ☐ Map size of 11" by 17" and map scale not less than one inch equals 100 ft.
- ☐ All lot dimensions of the subject property provided.
- ☐ Graphic scale and north arrow provided.

- X (b) A map, such as the Planned Land Use Map, of the generalized location of the subject property in relation to the City as a whole.
- X (c) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations
- X (d) A site plan (conforming to the requirements of Section 78-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a large development (per Sections 78-205(11)) or a group development (per Section 78-205(12)) a proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 78-908.
- X (e) Written justification for the proposed conditional use:
 - ❑ Indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Stoughton Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 78-905(4)

III Justification of the Proposed Zoning Ordinance Amendment for Applicant Use

1. How is the proposed conditional use (the use in general, independent of its location) in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

One of the objectives of the Comprehensive Plan is to promote redevelopment of lands with existing infrastructure and public services while another objective is to Protect and Enhance Stoughton's economic independence. We believe this request meets those objectives. The addition meets all zoning related requirements.

2. How is the proposed conditional use, in its specific location, in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted, or under consideration pursuant to official notice by the City?

The Comprehensive Plan Planned Land Use Map depicts this property as General Industrial. This map will have to be amended in the future to match the existing General Business use. The current use meets the zoning code requirements and the use as Planned Business is a better fit than the proposed General Industrial use with adjacent residential properties.

3. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 78-905(3)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting

the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map ordinance adopted or under consideration pursuant to official notice by the City or other governmental agency having jurisdiction to guide development?

The zoning code will have some bufferyard requirements for adjacent residential properties and there will be some landscaping requirements related to the addition portion of the building. The bufferyard requirements and landscaping should enhance and provide greater protections for adjacent residential properties.

4. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The proposed addition meets the zoning code requirements related to maximum floor area and minimum landscape surface ratio. The land use is consistent with other land uses in the general area of this property.

5. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on, any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The proposed addition will not impose an undue burden on facilities, utilities or services provided by public agencies.

6. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 78-905(4)(b)1.5.), after taking into consideration the Applicant's proposal and any requirements recommended by the Applicant to ameliorate such impacts?

The addition will require a bufferyard and additional landscaping to be implemented which will eliminate any existing adverse impacts. The addition should not cause any additional adverse impacts.

IV. Final Application Packet Information for City Use

Receipt of 20 reduced (8.5" by 11" text and 11" by 17" graphics) copies of final application packet by Zoning Administrator Date: 6/17/11 By: MPS

Notified Neighboring Property Owners (within 300 feet) Date: 6/23/11 By: MPS

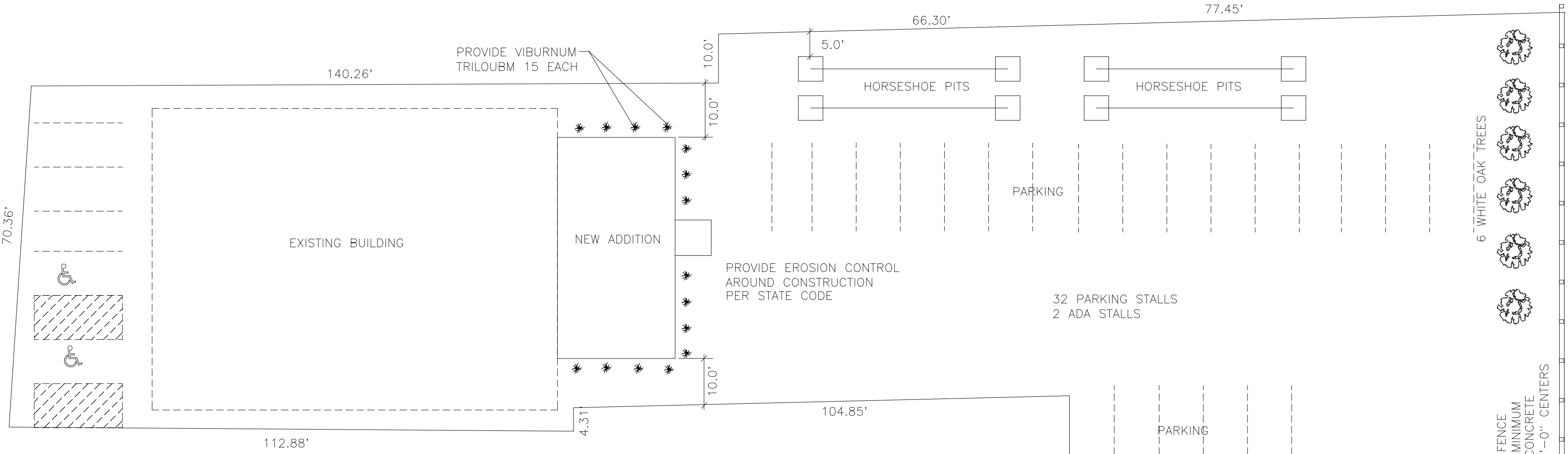
Notified Neighboring Township Clerks (within 1,000 feet) Date: _____ By: _____ N/A

Class 2 legal notice sent to official newspaper by City Clerk Date: 6/17/11 By: MPS

Class 2 legal notice published on 6/23/11 and 6/30/11 By: MPS

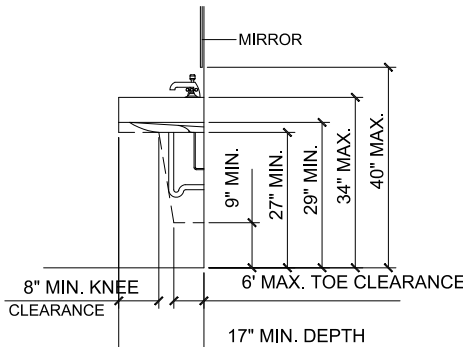
Conditional Use recorded with the County Register of Deeds Office By: _____

PAGE STREET

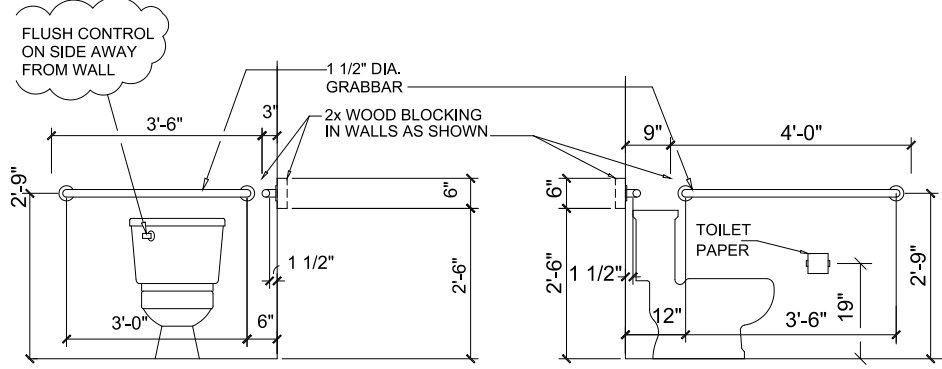


SITE & LANDSCAPING PLAN

SCALE: 1/16" = 1'-0"



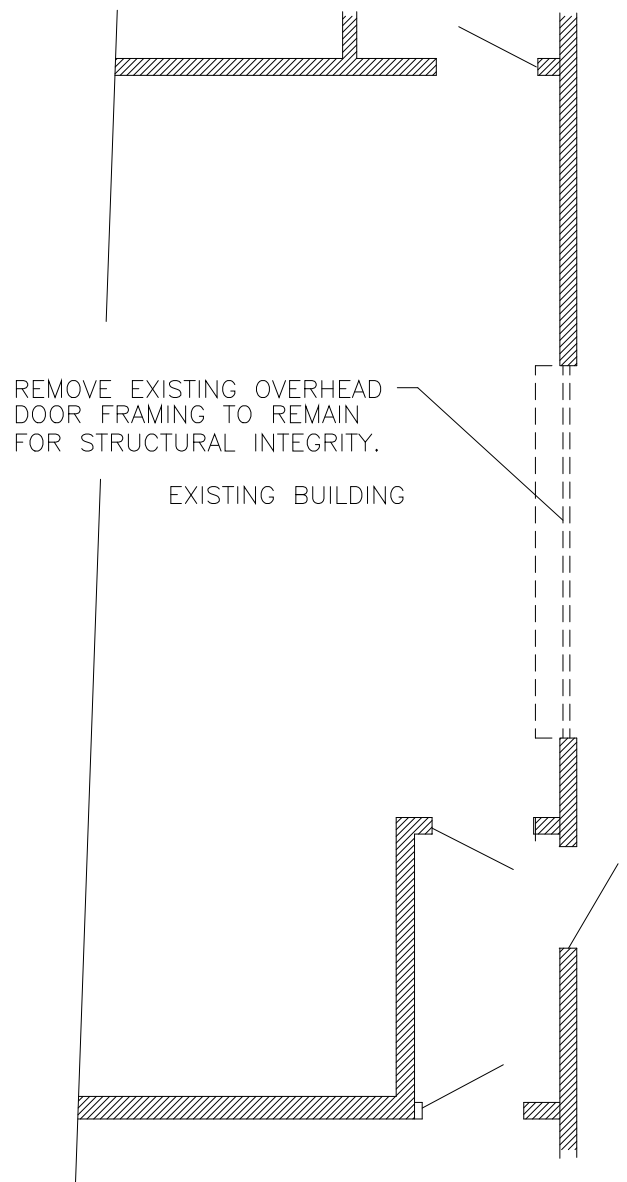
LAVATORY CLEARANCE



WATER CLOSET CLEARANCES

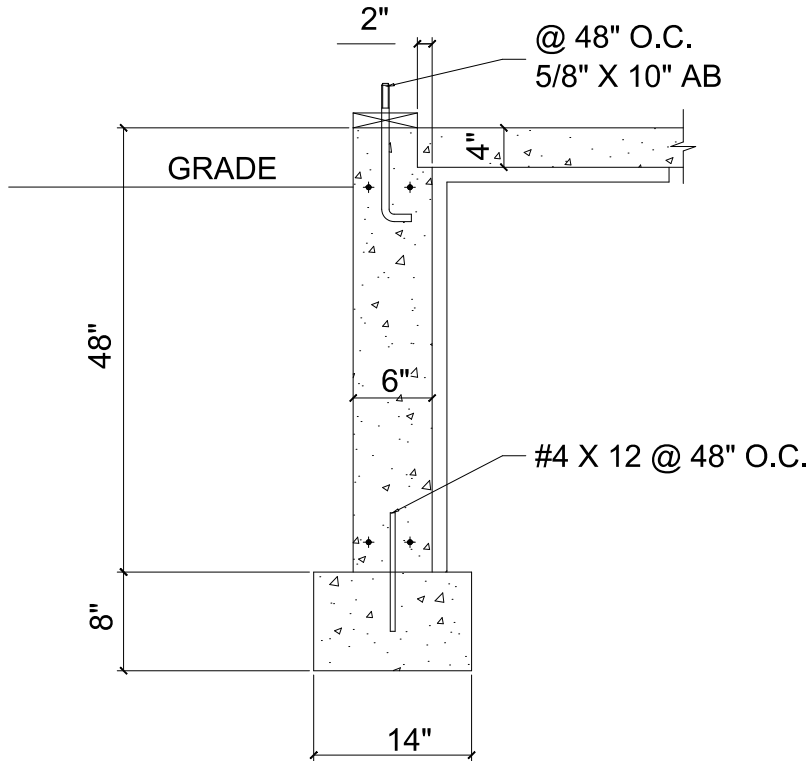
ACCESSIBILITY NOTES / DETAILS

- TENANT SPACE HAS ADAAG ACCESSIBILITY CIRCULATION !
- ALL WALK DOORS AS SHOWN ON THE PLAN ARE SIZED TO MEET THE 32" MINIMUM CLEAR DISTANCE REQUIRED BY ADAAG WHEN THE DOOR IS OPEN 90 DEGREES - MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP.
- ALL HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL MEET ADAAG ACCESSIBILITY GUIDELINES. LEVER-OPERATED MECHANISMS, PUSH-TYPE MECHANISMS AND U-SHAPED HANDLES ARE ACCEPTABLE DESIGNS. HARDWARE SHALL BE MOUNTED NO HIGHER THAN 48" ABOVE FINISH FLOOR.
- ALL ELECTRIC OUTLETS, SWITCHES AND TEMPERATURE CONTROL DEVICES ARE TO BE IN THE ADAAG 15" TO 48" REACH RANGE.



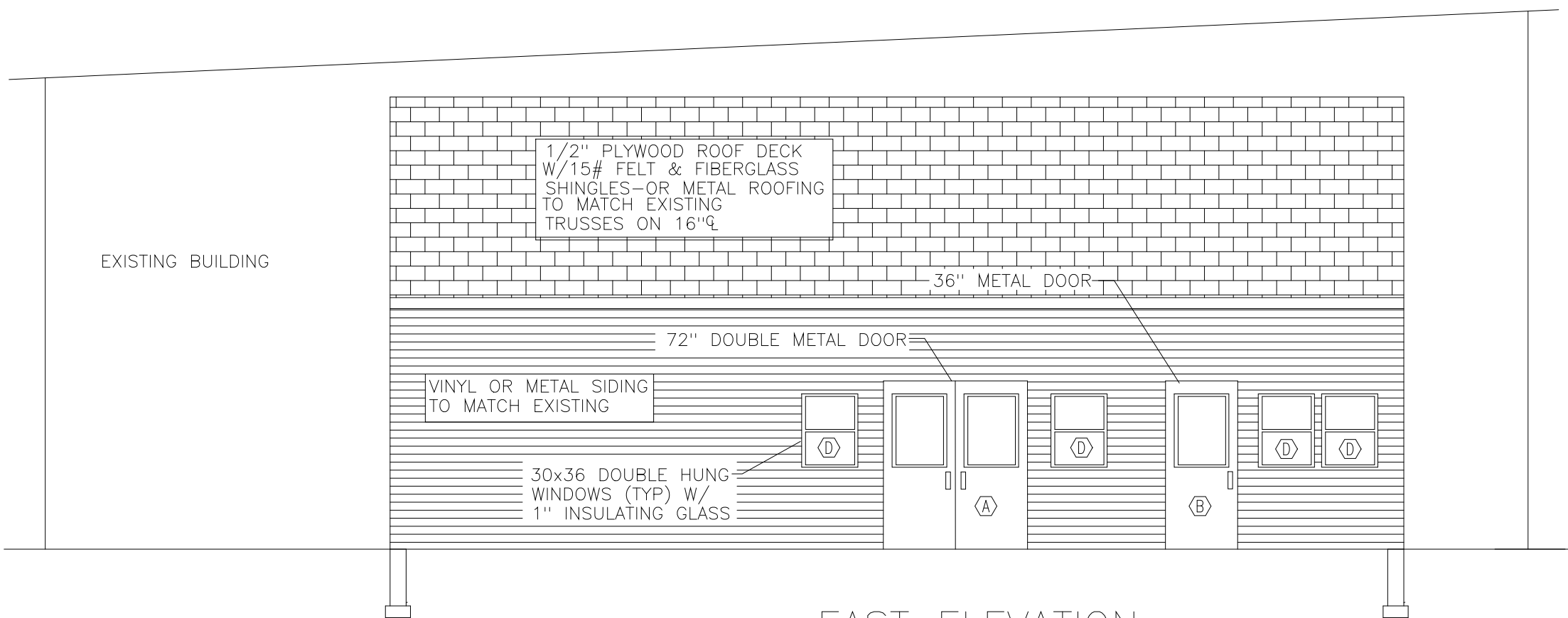
DEMO PLAN

SCALE: 3/16" = 1'-0"



FOOTING DETAIL

SCALE: none



EAST ELEVATION

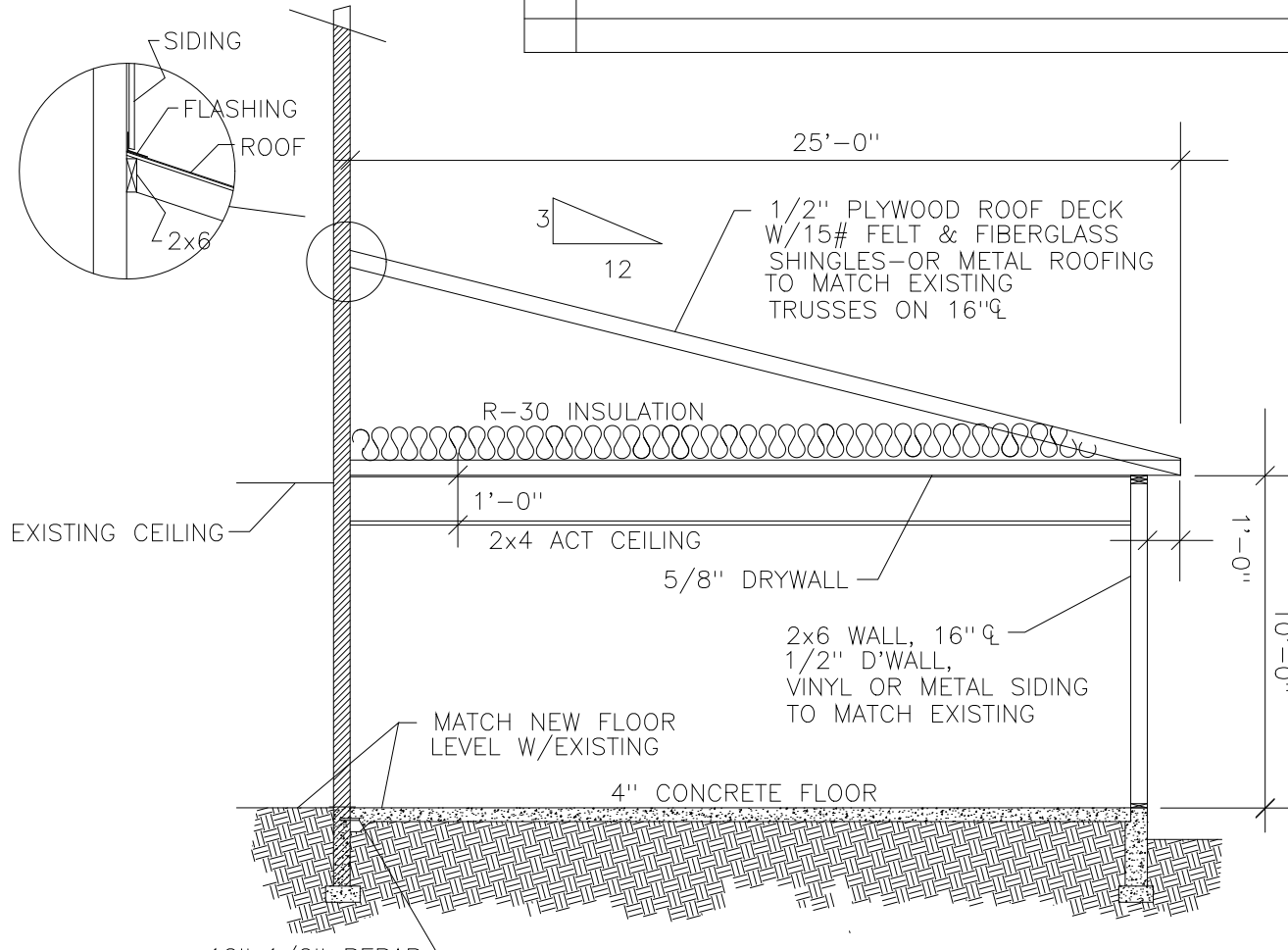
SCALE: 3/16" = 1'-0"

ROOM FINISH SCHEDULE

ROOMS	FLOOR	WALLS	CEILING	BASE
100 GAMES	TILE	1/2" DRYWALL/PAINT	2x4 ACOUSTIC TILE	WOOD
101 STORAGE	TILE	1/2" DRYWALL/PAINT	2x4 ACOUSTIC TILE	WOOD
102 WOMEN	TILE	1/2" DRYWALL/PAINT	2x4 ACOUSTIC TILE	6" TILE
103 MEN	TILE	1/2" DRYWALL/PAINT	2x4 ACOUSTIC TILE	6" TILE
104 STORAGE	TILE	1/2" DRYWALL/PAINT	DRYWALL	WOOD
105 SMOKING	TILE	1/2" DRYWALL/PAINT	DRYWALL	WOOD

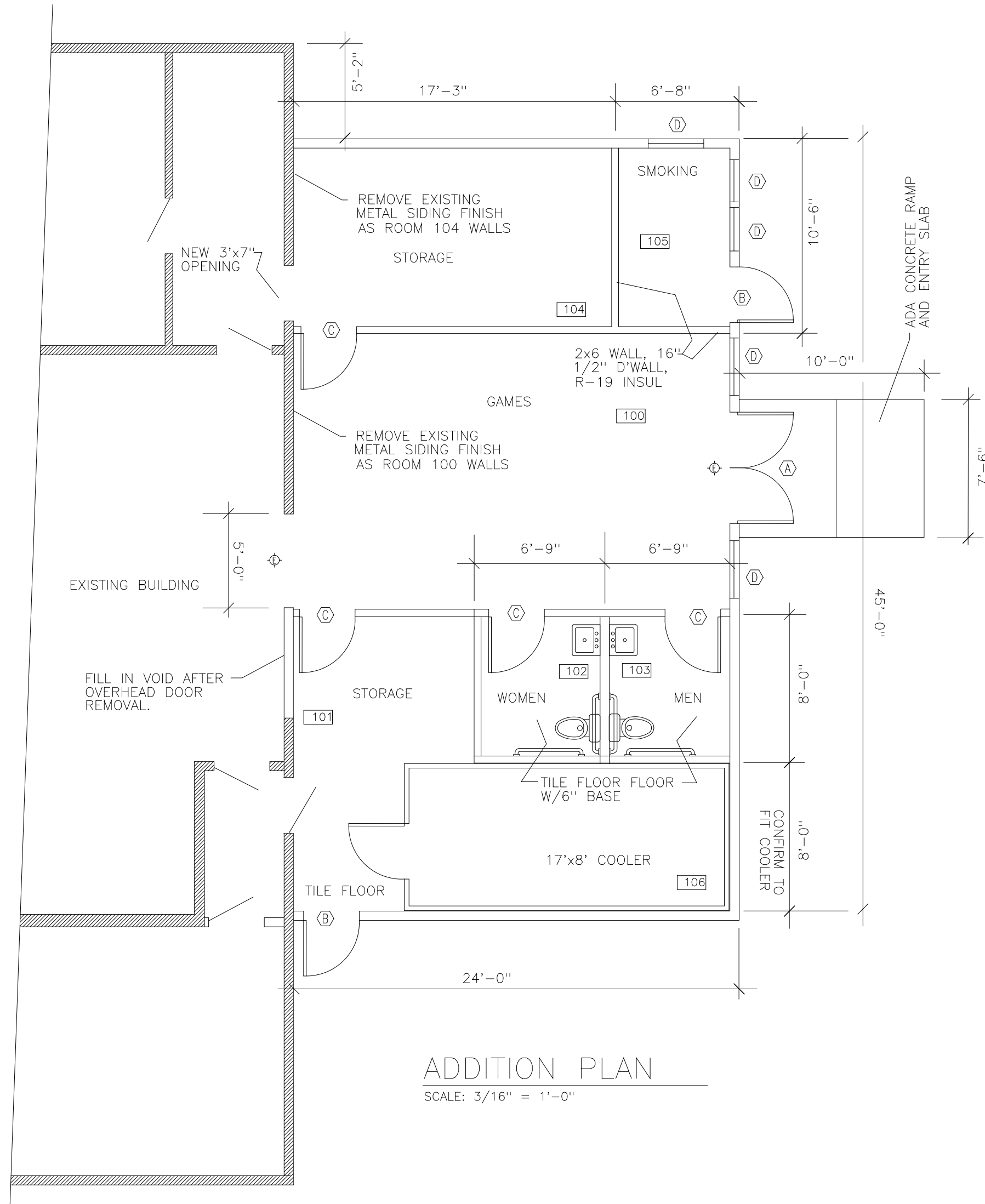
DOOR and WINDOW SCHEDULE

CODE	DESCRIPTION
(A)	INSULATED CORE DOUBLE DOORS W/GLASS WINDOW & LEV./LEV. LOCK SET (EXTERIOR MAI DOORS)
(B)	3'x6'-8" INSULATED CORE WALK DOOR WITH LEV./LEV. LOCKSET (EXTERIOR DOORS)
(C)	3'x6'-8" HOLLOW CORE WALK DOOR WITH LEV./LEV. LOCKSET (BATHROOM DOOR)
(D)	2'-6'x3'-0" DOUBLE HUNG WOOD/VINYL WONDOWS W/1" INSULATING GLASS



SECTION

SCALE: 3/16" = 1'-0"



ADDITION PLAN

SCALE: 3/16" = 1'-0"

CONTRACTOR NAME:

PROJECT NAME:

AMERICAN LEGION POST 59
803 N. PAGE STREET
STOUGHTON, WISCONSIN

Silbaugh Engineering, Inc.
717 Eisenhower Rd.
Stoughton, Wisconsin 53589
(608) 873-3927 FAX (608) 873-6150
HVAC & PLUMBING CONSULTANT

Drawn By: D.W.S. Checked by: D.W.S.

Project Number: 30030 Date: 5/9/11

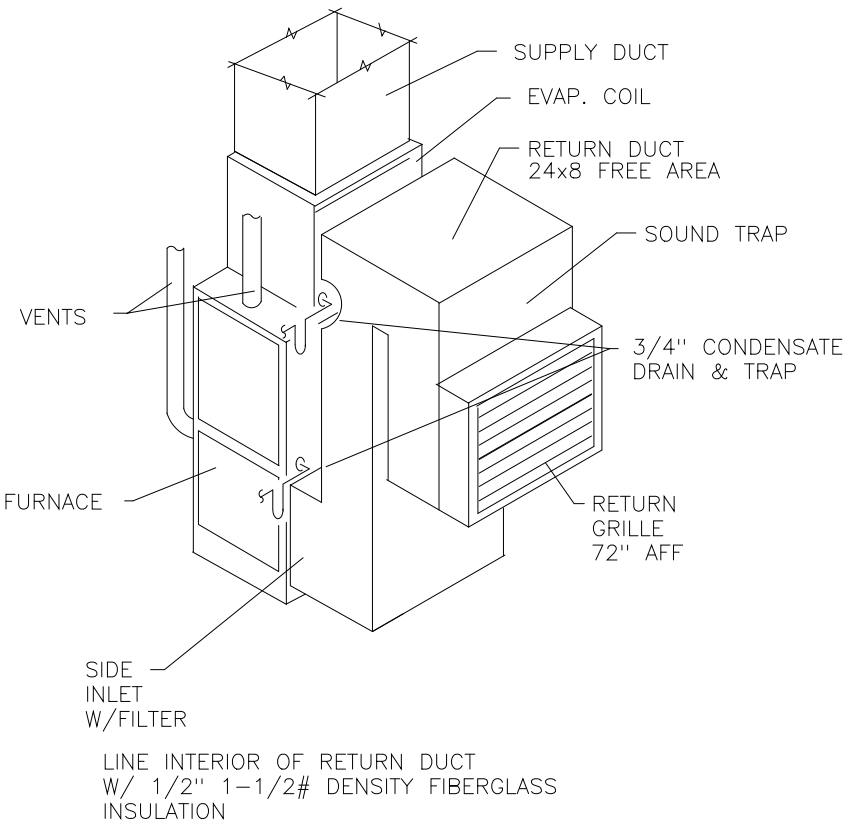
A1

<div> <div>1" W.G. STATIC POS. OR NEG.</div> <div>SMACNA</div> </div>				NARROWSCOPE DUCT CONSTRUCTION TABLE 1-4 EX										INTERMEDIATE REINFORCEMENT	
①	②	③	④	TRANSVERSE JOINT REINFORCEMENT											
DUCT DIM.	DUCT GA. (MAX)	REIN. SPACING (MAX)	REIN. CODE GRADE	⑤	⑥	⑦	⑧	⑨	⑩	⑪	⑫				
				<div> <div>MAX</div> <div>DRIVE SLIP</div> <div>T-3</div> <div>MAX</div> <div>HEMMED T-2</div> <div>SLIP</div> <div>SLIP GAUGE</div> <div>BACKUP</div> </div>	<div> <div>H</div> <div>W</div> <div>STANDING "5"</div> <div>T-10</div> </div>	<div> <div>H</div> <div>STANDING "5"</div> <div>T-12</div> </div>	<div> <div>H</div> <div>HR</div> <div>STANDING "4"</div> <div>(BAR REINFORCED)</div> <div>T-13</div> <div>H</div> <div>HR</div> <div>STANDING "5"</div> <div>(ANGLE REINFORCED)</div> <div>T-14</div> </div>	<div> <div>H</div> <div>H-1/4"</div> <div>HR</div> <div>POCKET LOCK</div> <div>T-17</div> <div>H</div> <div>HR</div> <div>POCKET LOCK</div> <div>T-18</div> </div>	<div> <div>H</div> <div>HR</div> <div>POCKET LOCK</div> <div>T-19</div> <div>H</div> <div>HR</div> <div>POCKET LOCK</div> <div>T-20</div> </div>	<div> <div>H</div> <div>HR</div> <div>POCKET LOCK</div> <div>T-21</div> <div>H</div> <div>HR</div> <div>POCKET LOCK</div> <div>T-22</div> </div>	<div> <div>H</div> <div>T</div> <div>ANGLE</div> </div>	<div> <div>H</div> <div>T</div> <div>ANGLE</div> </div>	<div> <div>H</div> <div>T</div> <div>ANGLE</div> </div>	<div> <div>H</div> <div>T</div> <div>ANGLE</div> </div>	<div> <div>H</div> <div>T</div> <div>ANGLE</div> </div>
12"-DN	26	NONE		24	NONE	H X T	H X T	H	LOCK T. DUCT T. HR	H X T	H X T (MIN)				
13"-26"	26	4'	A	24	*										
27"-36"	24	4'	C	24	*	1 X 28 GA.									
37"-42"	24	4'	D	24	*	1 X 24 GA.	1-1/8 X 28 GA.								
43"-48"	22	4'	E	24	*	1-1/8 X 20 GA. W= 5/16	1-1/8 X 18 GA.								
49"-54"	22	4'	F	24	*	1-5/8 X 22 GA. W= 5/16	1-1/2 X 24 GA.	1-1/2 X 24 GA. 1-1/2 X 1/8 BAR	T-17 1-1/2"	22 GA. LOCK 1 X 1/8 BAR	1 X 1/8				
55"-60"	22	4'	F	24	*	1-5/8 X 22 GA. W= 5/16	1-1/2 X 24 GA.	1-1/2 X 24 GA. 1-1/2 X 1/8 BAR	T-17 1-1/2"	22 GA. LOCK 1 X 1/8 BAR	1 X 1/8				
61"-72"	22	4'	G	24	*	1-5/8 X 18 GA. W= 5/16	1-1/2 X 18 GA.	1-1/2 X 22 GA. 1-1/2 X 1/8 BAR	T-18 1-1/2"	22 GA. LOCK 1 X 1/8 BAR	1-1/2 X 1/8				
73"-84"	20	4'	H	22	*	NOT GIVEN	NOT GIVEN	1-1/2 X 20 GA. 1-1/2 X 1/8 BAR	T-19 1-1/2"	20 GA. LOCK 1 X 1/8 BAR	1-1/2 X 1/8				
85"-96"	20	3'	I	22	*			1-1/2 X 20 GA. 1-1/2 X 1/8 BAR	T-19 1-1/2"	20 GA. LOCK 1 X 1/8 BAR	1-1/2 X 1/8				
97"-UP	18	3'	J					2 X 20 GA. 2 X 2 X 3/16	T-19 1-1/2"	20 GA. LOCK 2 X 3/16 ANGLE	1-1/2 X 1/4				

NOTES: (NOTES ARE GENERAL & ALL MAY NOT BE APPLICABLE)
 ALL EQUIPMENT AND MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 OUTSIDE AIR & EXHAUST SYSTEMS AIR SHALL BE BALANCED PER STATE CODE.
 SET HVAC SYSTEMS FOR FULL DESIGN AIRFLOW & COMFORT BALANCE BUILDING SUPPLY AIR SYSTEMS TO CFM SHOWN ON PLAN.
 PROVIDE OWNER WITH THE AIR BALANCE REPORT AS REQ'D BY STATE CODE.
 PROVIDE OWNER WITH OPERATING AND MAINTAINANCE MANUALS W/PARTS LISTS FOR ALL EQUIPMENT.
 EACH SYSTEM SHALL BE IDENTIFIED WITH NAMEPLATE DATA, CFM, ETC.
 ALL WORK SHALL BE IN COMPLIANCE WITH ALL CODES IN EFFECT AT THE TIME OF CONSTRUCTION.
 ALL DUCTWORK TO BE INSTALLED PER SMACNA CONSTRUCTION REQUIREMENTS.
 WHERE FLEXIBLE DUCTWORK IS UTILIZED, 14'-0", IS THE PREFERRED ALLOWABLE RUNOUT LENGTH.
 ALL DUCTWORK PENETRATIONS TO EXTERIOR TO BE SEALED WATERTIGHT.
 DUCTWORK SIZING AS SHOWN ON THE PLAN, IS THE NET FREE AREA DUCT.
 SEAL ALL DUCTWORK JOINTS, SEAMS & CONNECTIONS WITH LISTED CODE REFERENCED PRODUCTS.
 LOCATE EXHAUST VENTS AND VENTS THAT EMIT PRODUCTS OF COMBUSTION 10' HORIZINTALLY OR 2' ABOVE OUTDOOR AIR INTAKES, WINDOWS AND DOORS.
 PROVIDE SETBACK CONTROLS (T-STATS) TO RESET SPACE TEMPERATURE DURING OCCUPIED/UNOCCUPIED PERIODS.
 HVAC UNIT FANS TO RUN CONTINUOUSLY DURING OCCUPIED PERIODS.
 TOILET EXHAUST FAN SHALL BE CONTROLLED AS INDICATED IN THE SCHEDULES ON THE DRAWINGS.
 MOTORIZED OUTSIDE AIR DAMPERS SHALL BE POWER OPEN & SPRING CLOSE.
 MOTORIZED O.A. DAMPERS SHALL BE INTERLOCKED W/OCCUPIED/UNOCCUPIED CONTROLS.
 THIS CONTR' SHALL BE RESPONSIBLE FOR LOCATING DIFFUSERS AS TO AVOID CONFLICT WITH LIGHTS.
 THE GEN'L CONTR' SHALL UNDERCUT DOORS 1", FOR ROOMS WITHOUT RETURN OR TRANSFER GRILLES.
 DOOR UNDERCUT FOR RETURN AIR SHALL BE LIMITED TO 160 CFM.
 SUSPENDED HEATING UNITS SHALL BE MOUNTED MIN. 8'-0" AFF.
 PROVIDE CONDENSATE PIPING TO FLOOR OR OPEN SITE DRAIN.
 GAS PIPING BY HVAC CONTRACTOR PER NFPA 54.
 LOW VOLTAGE WIRING BY HVAC CONTRACTOR PER NATIONAL ELECTRIC CODE.
 HVAC CONTRACTOR TO VERIFY EXACT LOCATION OF PIPING AND EQUIPMENT ON JOBSITE.
 PROVIDE DUCT INSULATION AS REQUIRED BY STATE CODE. SEE SCHEDULE ON DEAWINGS.
 VENT ALL FUEL FIRED UNITS TO OUTDOORS PER MFG'S INSTRUCTIONS.
 FINAL LOCATION OF CONDENSING UNITS BY THIS CONTRACTOR - PROVIDE A 6" HIGH CONCRETE MOUNTING SLAB.
 FINAL THERMOSTAT, (48" AFF.) LOCATIONS BY THIS CONTR'.

RUN CONDENSATE DRAINS TO NEAREST PLUMBING DRAIN.
 RUNOUTS TO DIFFUSERS TO MATCH NECK SIZES WHERE DUCT SIZES NOT SHOWN.
 PROVIDE RETURN AIR SMOKE DETECTORS IN SYSTEMS 2000 CFM & OVER.
 IT SHALL BE THE RESPONSIBILITY OF OTHERS TO DETERMINE STRUCTURAL FEATURES REQUIRED FOR SUPPORT OF HVAC EQUIPMENT.
 MOUNT ELECTRIC WALL HEATERS MINIMUM 6" AFF.
 LOCATION OF OUTDOOR AIR INTAKES: 12" ABOVE GRADE, ROOF, OR AREAWAY.

Duct Insulation Schedule							
Service	Location						
	Outside Building Envelope	Unheated Attic Space	Above Ceiling but Below Attic	Interior Wall Cavity or Chase	Wall Cavity or Chase on Exterior Wall	In Ground, Under the Slab	Exposed In Occupied Space
Supply	R-8	R-8	R-5	R-4.0	R-4.0	R-8	None
Return	R-8	R-8	R-4.0	R-4.0	R-4.0	R-8	None
Exhaust	None	R-4.0	R-4.0	R-4.0	R-4.0	R-4.0	None
Fresh Air	None	R-4.0	R-5	R-5	R-5	R-4.0	R-5
Notes: 1) Minimum values for installed insulation. Pre-application values may need to be higher in order to meet installed value requirements. 2) Contiguous vapor barrier is required on all insulated ductwork. 3) All ductwork outsideof the building envelope must be sealed weather tight with an approved weather coating such asMumsguard 60"by PolyGuard Products.							



FURNACE CONNECTION DETAIL

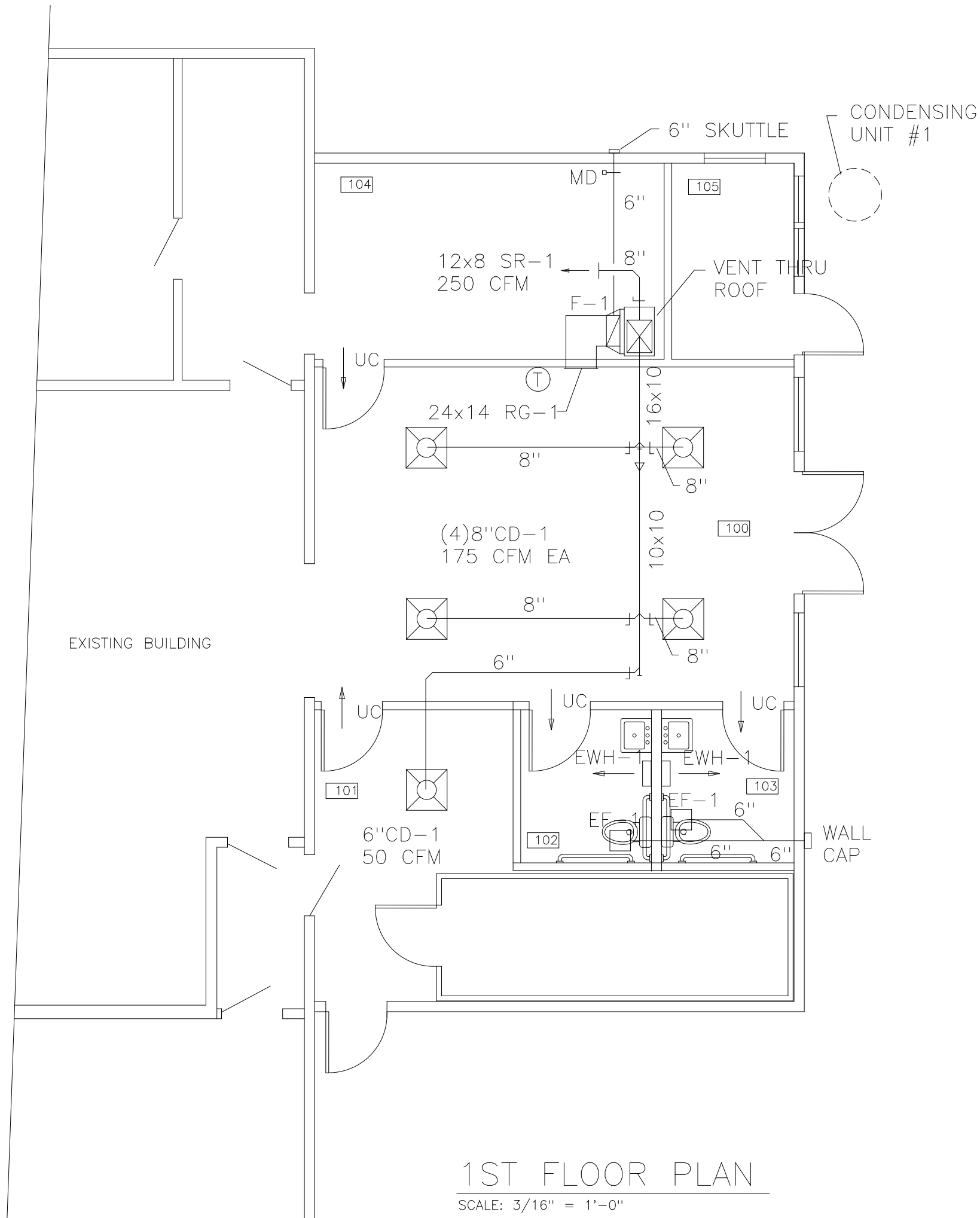
EXHAUST FAN SCHEDULE									
EF#	SERVES	CFM	S.P.	HP	VOLTS	AMPS	MANUF.	MODEL #	DUCT SIZE
EF-1	TOILETS	105	1/8"	-	120/60/1	1.1	BROAN	L100	W/BLDG OCCUPIED 6" ROUND

ELECTRIC WALL HEATER SCHEDULE								
UNIT	SERVES	MBH	KW	VOLTS	AMPS	% EFF	MOUNTING	MFG. MODEL#
EWH-1	TOILETS	1.7	.5	120/60/1	4.17	100 %	WALL RECESS	BROAN #170

DIFFUSERS, REGISTERS, GRILLES & LOUVER SCHEDULE							
ITEM#	SERVICE	TYPE	MOUNTING	MATERIAL	NOTES:	MANUF.	MODEL#
CD-1	SUPPLY	CEILING DIFFUSER	T-BAR	STEEL		HART & COOLEY	FPD3
SR-1	SUPPLY	SIDEWALL REGISTER	FLOOR	STEEL		HART & COOLEY	661
RG-1	RETURN	GRILLE	VARIES	STEEL		HART & COOLEY	650

FURNACE (MULTI-POSITION) W/DX COIL SCHEDULE									
FURNACE									EVAP.
F#	CFM	O.A.	S.P.	HP	MCA @ 115/60 IN/OUT	NAT. GAS	% EFF	MFG.	MODEL #
F-1	1200	-	.5	1/3	7.1	60/56	93	CARRIER	58MCB-060-12
									2-1/2 TON

AIR COOLED CONDENSING UNIT								
C#	SERVES	CAP. TONS NOMINAL	AMBIENT AIR TEMPERATURE	SST	VOLTS	MCA	MIN. SEER	MANUF. MODEL #
C-1	F-1	2-1/2	95	45	208/230/60/1	16.8	13	CARRIER 24ABA330A



1ST FLOOR PLAN

SCALE: 3/16" = 1'-0"

CONTRACTOR NAME:

PROJECT NAME:

AMERICAN LEGION POST 59
 803 N. PAGE STREET
 STOUGHTON, WICONSIN

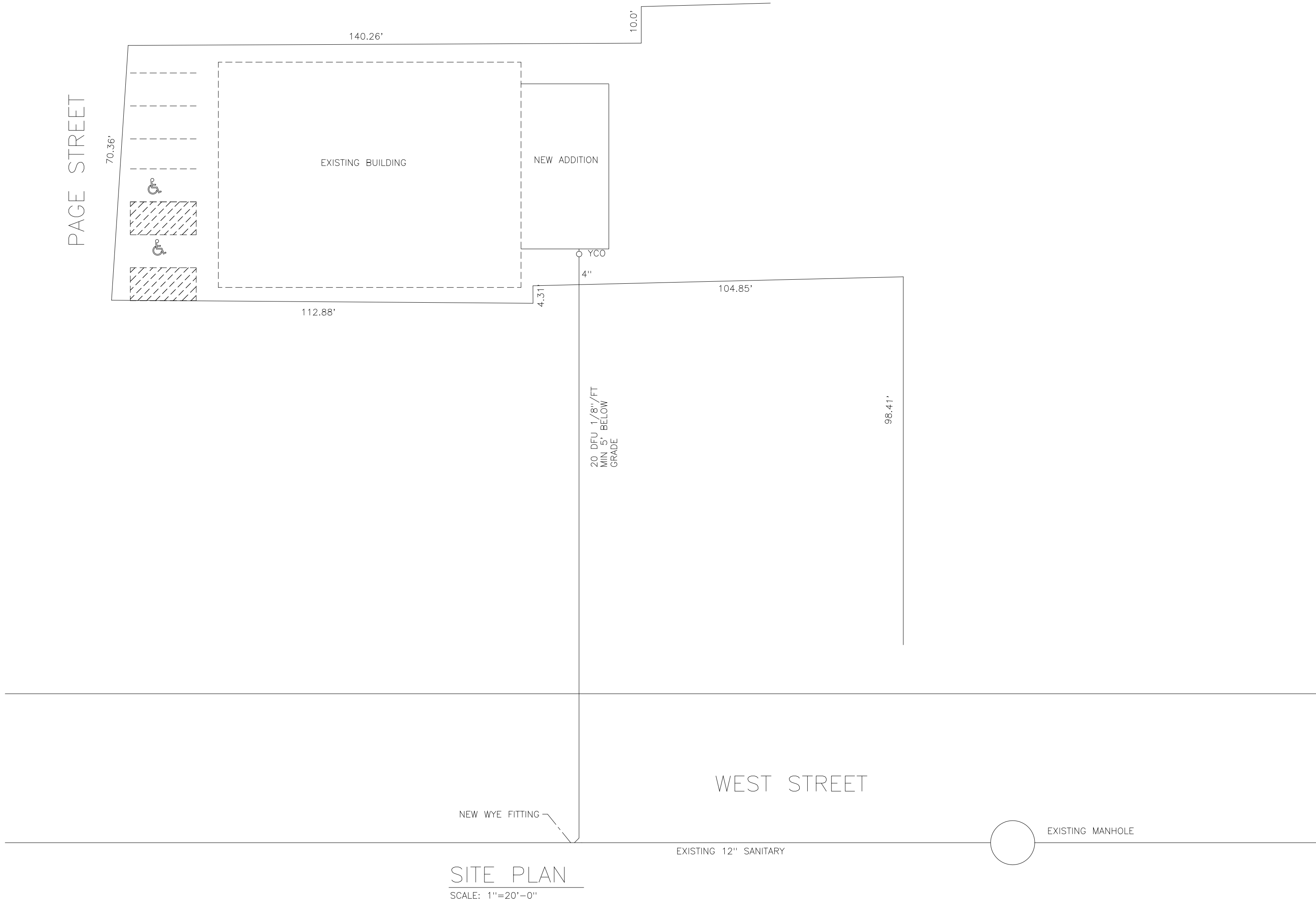
Silbaugh Engineering, Inc.
 717 Eisenhower Rd.
 Stoughton, Wisconsin 53589
 (608) 873-3927 FAX (608) 873-6150
 HVAC & PLUMBING CONSULTANT

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Drawn By: D.W.S. Checked by: D.W.S.

Project Number: 30030 Date: 5/3/11

M1



PLUMBING SPECIFICATIONS

GENERAL
All work shall be done per Wisconsin Plumbing Code.

WATER PIPING

Water piping above floor - Type CPVC plastic pipe & fittings.
Insulate water piping with approved materials.

WASTES and VENTS

PVC plastic pipe and fittings ASTM D-2665-68 with ASTM D-2564-67
solvent cement jointing material.
Piping passing thru fire rated construction shall constructed of fire
resistant materials.

FIXTURES

WC-2 Mansfield 137-160 tank type elongated floor outlet bowl water closet
(white)with Bemis 1955 SSC white toilet. ADA

L-1 Mansfield 2008 wall hung lavatory with Moen 64970 Faucet, open grid
strainer, 1-1/2\" pvc tube trap and brass craft ocr 1912ar-c
stops and supplies or equal. ADA accessible

FD Sioux Chief 842 or equal

FCD Sioux Chief 851-4GN or equal.

WATER CALCULATION WORKSHEET FOR: NAME AMERICAN LEGION

INFORMATION REQUIRED TO CALCULATE WATER SERVICE SIZE		
1. Demand of building in building in gallons per minute.	WSFU's <u>10</u>	=(GPM) <u>8</u>
2. Difference in elevation from main or external pressure tank to building control valve,		(feet) <u>0</u>
3. Size of water meter (When applicable) \square 5/8", \square 3/4", \square 1", \square 1-1/2", \square 2", \square 3", \square 4", \square 6".		
4. Developed length from main or external pressure tank to building control valve,		(feet) <u>0</u>
5. Low pressure at main in street or external pressure tank.	AT POINT OF CONN	(psig) <u>65</u>

CALCULATE WATER SERVICE PRESSURE LOSS		
6. Low pressure at main in street or external pressure tank. (value of #5 above)		<u>65</u>
7. Water service diameter is: <u>-</u> Material is: <u>-</u>		
Pressure loss per 100 ft = <u>-</u> psi. X <u>-</u> (decimal equivalent of service length i.e. 65ft= 0.65)		<u>0</u>
	(Subtract line 7. From line 6.)	subtotal <u>65</u>

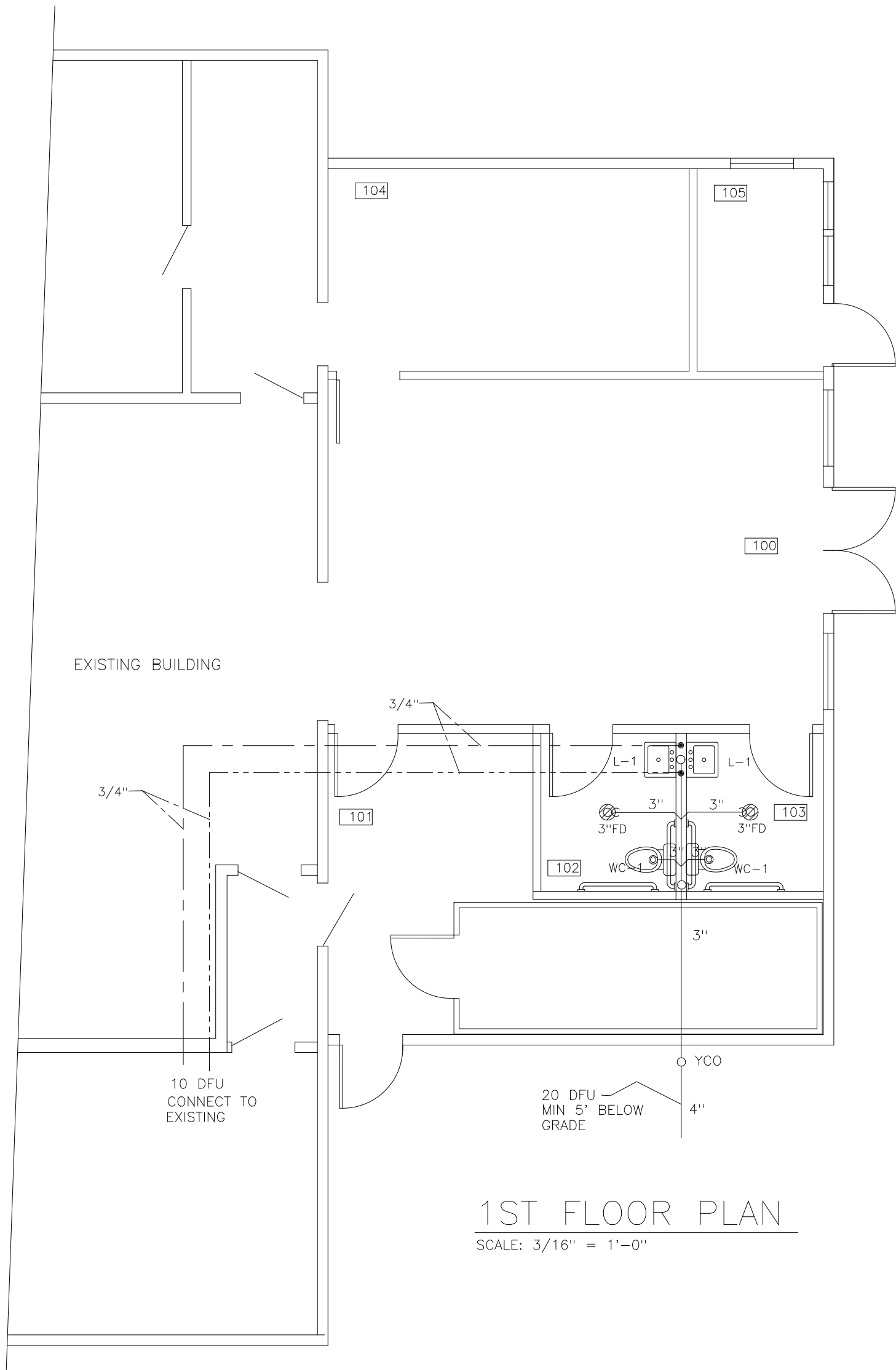
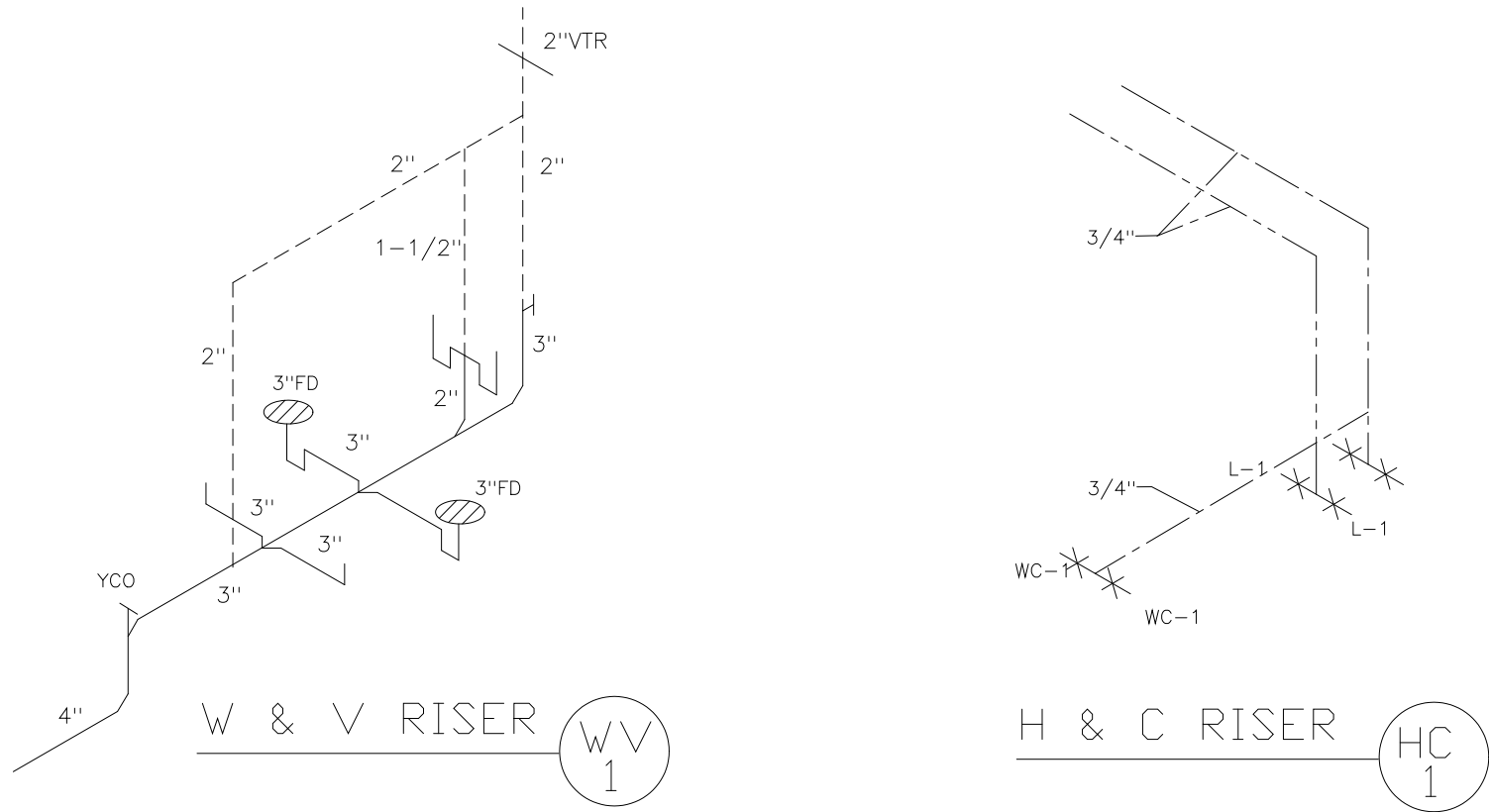
8. Determine pressure gain or loss due to elevation (multiply the valve of 12 above by .434)	value of "B" <u>0.00</u>
9. Available pressure after the bldg. control valve. (Subtract or add line 8. Enter in "B".)	subtotal <u>65</u>

CALCULATE THE PRESSURE AVAILABLE FOR UNIFORM LOSS (VALUE OF "A")		
B. Available pressure after the bldg. Control valve, (from "9" above)	Value of "B" <u>65</u>	
C. Pressure loss of water meter (when meter is required)	Value of "C" <u>0.00</u>	
	subtotal <u>65</u>	
D. Pressure at controlling fixture, (Controlling fixture is <u>WC-1</u>)	Value of "D" <u>8</u>	
	(Subtract the value of D.)	subtotal <u>57</u>
E. Difference in elevation between the building control valve and the controlling fixture in feet <u>3</u> X 0.434 psi/ft.	Value of "E" <u>1.30</u>	
	(Subtract the value of E.)	subtotal <u>55.7</u>

F. Pressure loss due to water treatment devices, instantaneous water heaters and backflow preventers which serve the controlling fixture.	Value of "F" <u>0.00</u>	
(Pressure loss due to <u>-</u>)	(Subtract the value of F.)	subtotal <u>55.7</u>
G. Developed length from building control valve to controlling fixture in feet <u>30</u> X1.5	Value of "G" <u>45</u>	
	(Divide by the value of G.)	<u>.35</u>
(Water distribution piping material is <u>L COPPER</u>)	Multiply by subtotal	<u>100</u>
A. Pressure available for uniform loss	"A" =	<u>45</u>

SBD-6478/06/02

FIXTURE SCHEDULE						
NO	FIXTURE	WASTE	VENT	TRAP	CW	HW
WC-1	WATER CLOSET	3"	1-1/2"	3"	1/2"	-
L-1	LAVATORY	1-1/2"	1-1/2"	1-1/4"	1/2"	ADA



CONTRACTOR NAME:

PROJECT NAME:
AMERICAN LEGION POST 59
803 N. PAGE STREET
STOUGHTON, WICONSIN

Silbaugh Engineering, Inc.
717 Eisenhower Rd.
Stoughton, Wisconsin 53589
(608) 873-3927 FAX (608) 873-6150
HVAC & PLUMBING CONSULTANT

Drawn By: **D.W.S.** Checked by: **D.W.S.**

Project Number: **30030** Date: **5/3/11**

P1











CITY OF STOUGHTON
DEPARTMENT OF PLANNING & DEVELOPMENT
381 East Main Street, Stoughton, WI. 53589
www.cityofstoughton.com/planning

RODNEY J. SCHEEL
DIRECTOR
(608) 873-6619
fax: (608) 873-5519

July 1, 2011

Sonny Swangstu
701 Bickley Court
Stoughton, WI. 53589

Dear Mr. Swangstu:

I have completed a review of the proposed conditional use permit request for a building addition at American Legion Post #59, 803 N. Page Street, Stoughton. (application received June 17, 2011). This request is scheduled for public hearing at the July 11, 2011 Planning Commission meeting of which you will receive notice. The owner and/or representative are required to attend the meeting. The following items are identified for your review.

1. The property at 803 N. Page Street is zoned PB – Planned Business. Per Zoning Code section 78-105(4)(b)2b, Indoor Commercial land uses such as taverns are permitted as a conditional use within the Planned Business district. **The Planning Commission will conduct a public hearing and review your request for a conditional use permit to expand the building/use. The Commission will offer a recommendation to the City Common Council. The Common Council should make their decision on July 26, 2011. The Common Council may place conditions on the use related to screening; lighting; parking, etc...**
2. Indoor Commercial Entertainment is defined as follows: Indoor commercial entertainment land uses include all land uses which provide entertainment services primarily within an enclosed building. Outdoor seating or patio areas associated with a proposed indoor commercial entertainment land use shall be allowed subject to city approval of a site plan showing any such proposed outdoor seating or patio area. Such activities often have operating hours which extend significantly later than most other commercial land uses. Examples of such land uses include restaurants, **taverns**, theaters, health or fitness centers, all forms of training studios (dance, art, martial arts, etc.), bowling alleys, arcades, roller rinks, and pool halls.
3. The Comprehensive Plan, planned land use map designates this property as General Industrial. Taverns are consistent with a General Business designation. **The planned land use map is used as a guide for the general pattern of permanent zoning as determined by the Planning Commission and Common Council. We believe this site is more appropriate for General Business rather than General Industrial. The map will need to be amended in the future to reflect the existing use.**
4. The minimum rear yard setback requirement is 20 feet while the minimum side yard setback is 10 feet. **The addition meets the minimum setback requirements. A foundation survey will be required since the side yards will be set at 10 feet.**

5. The parking requirement for indoor commercial entertainment is one space per every three patron seats; or one space per three persons at the maximum capacity of the establishment; (whichever is greater). **On April 7, 2008 the Board of Appeals approved a variance to reduce the number of parking stalls to 26 for this property/use. We have been informed the capacity is not changing for the building, so 26 stalls are required. 34 parking stalls are shown on the plan.**
6. All off-street parking and circulation facilities shall be paved with a hard, all-weather surface and spaces shall be clearly marked. **There are areas that are currently not paved. A timetable will need to be provided to complete the paving.**
7. **The sanitary sewer connection at West Street will require: A street opening permit; Scheduling with Stoughton Utilities consultants for an inspection at your cost; Work with the Building Inspector for the installation outside of the right-of-way; and provide Stoughton Utilities with the lateral-sewer main connection cost upon completion. Any needed easements are your responsibility.**
8. The regulations pertaining to Indoor Commercial Entertainment uses are as follows:
 - If located on the same side of the building as abutting residentially zoned property, no customer entrance of any kind shall be permitted within 150 feet, or as far as possible, of a residentially zoned property. **The rear entrance is more than 150 feet from residentially zoned property.**
 - The facility shall provide a bufferyard with minimum opacity of .60 along all borders of the property abutting residentially zoned property. **There is a residentially zoned property abutting the rear (east) property line of the subject property. A plan has been submitted in an attempt to comply with zoning code section 78-610 related to the bufferyard. The trees will need to be spread out along the east property line to meet the bufferyard requirement. The fence will need to be setback 10 feet from the south property line for vision.**
9. An erosion control plan is required to be provided at the time of building permit application.
10. Building additions are required to be accented by a minimum amount of landscaping placed near the building foundation. For each 100 feet of building foundation perimeter, the landscaping installed shall at a minimum have 40 points of landscaping. The proposed addition has approximately 93 feet of perimeter which will require 38 points of foundation landscaping. Additionally, developed lots require 10 points of landscaping per 1,000 square feet of building foot-print. The proposed 1,080 square foot addition which requires 11 landscaping points. **A landscaping plan has been provided to meet these requirements.**
11. **The smoking room is required to meet State of Wisconsin requirements.**
12. **Since the addition is in the location of the approved outdoor consumption area, any new outdoor consumption area will need to be revisited by the Public Safety Committee and approved by Council.**
13. **State of Wisconsin approved building plans will be necessary prior to issuance of a building permit but are not necessary to begin the City review process.**

If you have any questions, please contact me at 608-646-0421

Sincerely,
City of Stoughton

Michael P. Stacey

Michael P. Stacey
Zoning Administrator//Assistant Planner

cc. Planning Commissioners