

PUBLIC HEARING NOTICE

The City of Stoughton Plan Commission will hold a Public Hearing on Monday, August 12, 2019 at 6:00 o'clock p.m., or as soon after as the matter may be heard, in the Council Chambers, Public Safety Building, 321 South Fourth Street, Second Floor, Stoughton, Wisconsin, 53589, to consider a proposed Conditional Use Permit Application by Maggie Gasner. The applicant is requesting conditional use approval to construct a building addition and expand the use for Weebleworld Child Care Center LLC at 1815 Cedarbrook Lane, Stoughton, WI. 53589. A group daycare center is allowable as a conditional use within the Planned Business zoning district. The property is more fully described as follows:

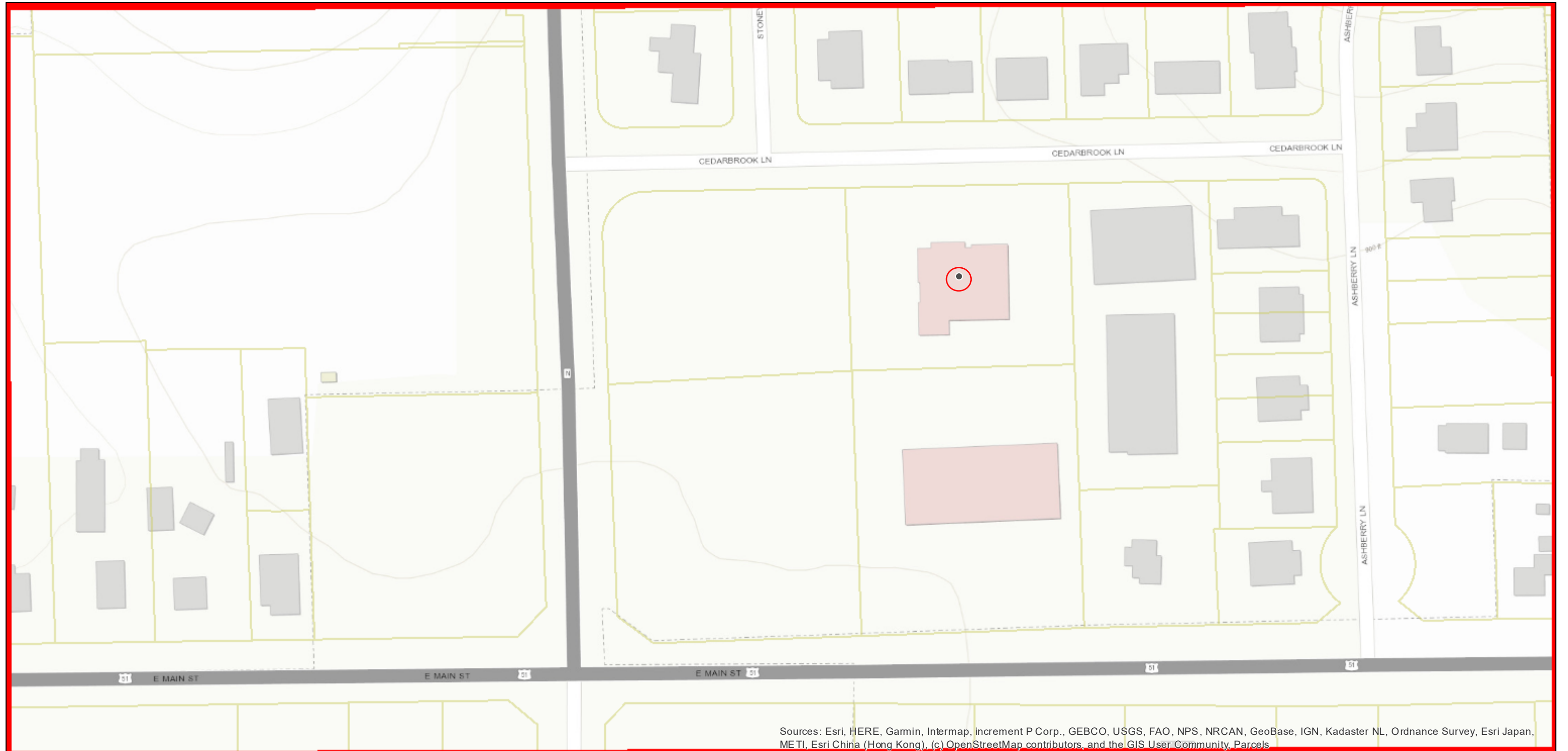
Parcel Number: 281/0511-044-4610-2, LOT 1 CSM 11461 CS69/321&322-7/18/2005 F/K/A EASTWOOD ESTATES LOTS 2, 3, 4 & 5 DESCR AS SEC 4-5-11 PRT SW1/4SE1/4 (1.000 ACRES) SUBJ TO SHARED ACCESS ESMT

For questions regarding this notice please contact Michael Stacey, Zoning Administrator at 608-646-0421

Michael P. Stacey
Zoning Administrator

Published July 25, 2019 Hub
Published August 1, 2019 Hub

1815 Cedarbrook Lane



July 29, 2019

Parcels

0 62.5 125 250 Feet



Weebleworld Child Care Center Addition
1815 Cedarbrook Lane
Stoughton, Wisconsin
Dimension IV Project No. 19083
July 10, 2019

CONDITIONAL USE & SITE PLAN REVIEW PROJECT DESCRIPTION

1. Project Team

Applicant: Weebleworld Child Care Center LLC
Attention: Maggie Gasner
1815 Cedarbrook Lane
Stoughton, Wisconsin 53589
(P) 608-877-2690
Email: weebleworld@gmail.com

Land Owner: Gasner Properties LLC
Attention: Maggie Gasner
1815 Cedarbrook Lane
Stoughton, Wisconsin 53589
(P) 608-877-2690
Email: weebleworld@gmail.com

Architect: Dimension IV Madison Design Group
6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
Attention: Jerry Bourquin
(P) 608-829-4452
Email: jbouquin@dimensionivmadison.com

Civil Engineer/Site Design:
Quam Engineering
4604 Siggelkow Road, Suite A
McFarland, Wisconsin 53558
Attention: Ryan Quam
(P) 608-838-7750
Email: rquam@quamengineering.com

Contractor: KSW Construction
807 Liberty Drive, #106
Verona, Wisconsin 53593
Attention: Dean Slaby
(P) 608-845-2290
Email: deans@kswconstruction.com

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p 608.829.4444
f 608.829.4445

2. Existing Conditions:
The site and building are presently used as a day care facility. The addition will add onto the existing building.
3. Project Schedule:
Upon securing city agency and financing approval, the project will start construction this summer with occupancy in winter 2019/spring 2020.
4. Proposed Use:
The addition is, in general, an added childcare room with bathrooms and storage.
5. Hours of Operation:
The hours of operation will remain unchanged.
6. Building Square Footage:

Existing Building	7,178 square feet
<u>Proposed Addition</u>	<u>1,035 square feet</u>
Total	8,213 square feet
7. Parking Stalls:

Existing stalls	22
<u>Additional Stalls</u>	<u>3 parallel stalls near addition</u>
Total	25
8. Lot Data:

Zoning: Planned Business Use; Childcare is a conditional use

Lot Size: 43,560 square feet

Lot Coverage

	Existing	Addition	Total	%
Building	7,178 sf	1,035 sf	8,213 sf	19
Impervious				
Area	19,700 sf	(55 sf)	19,645 sf	45
Pervious/				
<u>Green Area</u>	<u>16,682 sf</u>	<u>(1,090 sf)</u>	<u>15,592 sf</u>	<u>36</u>
Total	43,560 sf		43,560 sf	100%
9. Jobs Created:
Two (2) additional staff will be hired for the new childcare addition.

**City of Stoughton Application for Conditional Use Review and Approval
(Requirements per Section 78-905)**

Applicant Name: Weebleworld Child Care Center LLC, Attention: Maggie Gasner

Applicant Address: 1815 Cedarbrook Lane, Stoughton, Wisconsin 53589

Applicant Phone and Email: 608-877-2690 weebleworld@gmail.com

Property Owner Name (if different than applicant): Gasner Properties LLC

Property Owner Phone: 608-877-2690

Subject Property Address: 1815 Cedarbrook Lane, Stoughton, Wisconsin

This form is designed to be used by the Applicant as a guide to submitting a complete application for a conditional use review *and* by the City to process said application. Parts II and III are to be used by the Applicant to submit a complete application. (See conditional use review and approval procedures attached)

I. Record of Administrative Procedures for City Use

Application form filed with Zoning Administrator Date: _____

Application fee of \$_____ received by Zoning Administrator Date: _____

II Application Submittal Packet Requirements

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application for staff review at least 30 days prior to a Planning Commission meeting, followed by one revised draft final application packet based upon staff review and comments. The final application materials are required to be submitted at least 2 weeks prior to the Planning Commission meeting.

Initial Packet

(1 electronic 11 x 17 copy of plans to Zoning Administrator) Date: _____

Final Packet

(1 electronic 11 x 17 copy of plans
and if necessary one large scalable copy of plans to Zoning Administrator) Date: _____

(a) A map of the proposed conditional use:

- ☐ Showing all lands under conditional use consideration.
- ☐ All lot dimensions of the subject property provided.
- ☐ Graphic scale and north arrow provided.

(b) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations.

(c) A site plan (conforming to the requirements of Section 78-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a large development (per Sections 78-205(11)). A proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 78-908.

(d) Written justification for the proposed conditional use indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Stoughton Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 78-905(5)(c)1.-6, as follows.

III Justification of the Proposed Conditional Use Request.

1. How is the proposed conditional use and location in harmony with the purposes, goals, objectives, policies and standards of the City of Stoughton Comprehensive Plan, the Zoning Ordinance, and any other plan, program, or ordinance adopted?

The Weebleworld Child Care Center on the site is an existing conditional use. The addition is for the same use as the existing child care facility. The addition will be in harmony with and meet the same conditional use standards of the original approved facility

2. Does the proposed conditional use, in its proposed location and as depicted on the required site plan (see Section 78-905(4)(d)), result in any substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of the Zoning Ordinance, the Comprehensive Plan, or any other plan, program, map or ordinance adopted?

The addition is connected to the existing building at the rear of the site. It is located in an existing green area that was planned for a future addition. The existing entrance and traffic flow will remain as is. Three parallel parking stalls are being added off of the existing door at the rear of the site to accommodate added staff and children.

3. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the surroundings of the subject property?

The existing conditional use for the present daycare is being maintained. The addition use is consistent with the existing use, its impacts, and land use intensities. Open outdoor child play area is being maintained and exceeds the required area.

4. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

The utilities, streets, and services are in place for the existing child care facility. They will meet the needs of the proposed addition.

5. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 78-905(5)(c)1-5.), after taking into consideration any proposed options to minimize such impacts?

The child care facility is providing services to the Stoughton community. The addition will allow the facility to provide services to families on the wait list who are in need of child care.

IV. Application Information for City Use

Notified Neighboring Property Owners (within 300 feet) Date: _____

Notified Neighboring Township Clerks (within 1,000 feet) Date: _____

Class 2 legal notice sent to official newspaper by City Clerk Date: _____

Class 2 legal notice published on _____ and _____ Date: _____

Conditional Use recorded with the County Register of Deeds Office after approval ☐

**City of Stoughton Application for Site Plan Review and Approval (Requirements
per Section 78-908)**

Applicant Name: Weebleworld Child Care Center LLC; Attention: Maggie Gasner

Applicant Address: 1815 Cedarbrook Lane, Stoughton, Wisconsin 53589

Applicant Phone and Email: 608-877-2690 ; weebleworld@gmail.com

Property Owner Name (if different than applicant): Gasner Properties LLC

Property Owner Phone: 608-877-2690

Subject Property Address: 1815 Cedarbrook Lane, Stoughton, Wisconsin 53589

This form is designed to be used by the Applicant as a guide to submitting a complete application for a site plan review *and* by the City to process said application. Part II is to be used by the Applicant to submit a complete application; Parts I - III are to be used by the City when processing said application.

I. Record of Administrative Procedures for City Use

Application form filed with Zoning Administrator

Date: _____

II Application Submittal Packet Requirements for Applicants Use

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application packet for staff review followed by one revised final application packet based upon staff review and comments. The application shall include the following:

- ☐ (a) **A written description of the intended use describing in reasonable detail the following:**
- ☐ Existing zoning district(s) (and proposed zoning district(s) if different).
 - ☐ Comprehensive Plan Future Land Use Map designation(s).
 - ☐ Current land uses present on the subject property.
 - ☐ Proposed land uses for the subject property (per Section 78-206).
 - ☐ Projected number of residents, employees, and daily customers.
 - ☐ Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio.
 - ☐ Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation.
 - ☐ Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 78-701 through 721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials.
 - ☐ If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII".
 - ☐ Exterior building and fencing materials (Sections 78-716 and 78-718).

- ☐ Possible future expansion and related implications for points above.
- ☐ Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
- ☐ (c) **A *Property Site Plan* drawing which includes the following:**
- ☐ A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer or planner) for project.
- ☐ The date of the original plan and the latest date of revision to the plan.
- ☐ A north arrow and a graphic scale (not smaller than one inch equals 100 feet).
- ☐ A reduction of the drawing provided electronically at 11" x 17".
- ☐ A legal description of the subject property.
- ☐ All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
- ☐ All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
- ☐ All required building setback lines.
- ☐ All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, utilities and walls.
- ☐ The location and dimension (cross-section and entry throat) of all access points onto public streets.
- ☐ The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance.
- ☐ The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
- ☐ The location of all outdoor storage areas and the design of all screening devices.
- ☐ The location, type, height, size and lighting of all signage on the subject property.
- ☐ The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property—including the clear demonstration of compliance with Section 78-707.
- ☐ The location and type of any permanently protected green space areas.
- ☐ The location of existing and proposed drainage facilities.
- ☐ In the legend, data for the subject property on the following
- a. Lot Area
 - b. Floor Area
 - c. Floor Area Ratio (b/a)
 - d. Impervious Surface Area
 - e. Impervious Surface Ratio (d/a)
 - f. Building height

- ☐ ☐ (d) **A Detailed Landscaping Plan of the subject property:**
- ☐ Scale same as main plan (> or equal to 1" equals 100').
 - ☐ Electronic Map at 11" x 17".
 - ☐ Showing the location of all required bufferyard and landscaping areas.
 - ☐ Showing existing and proposed Landscape Points including fencing.
 - ☐ Showing berm options for meeting said requirements.
 - ☐ Demonstrating complete compliance with the requirements of Article VI.
 - ☐ Providing individual plant locations and species, fencing types and heights, and berm heights.
- ☐ ☐ (e) **A Grading and Erosion Control Plan:**
- ☐ Scale same as main plan (> or equal to 1" equals 100').
 - ☐ Electronic map at 11" x 17"
 - ☐ Showing existing and proposed grades including retention walls and related devices, and erosion control measures.
- ☐ ☐ (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
- ☐ Showing finished exterior treatment.
 - ☐ With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance.
 - ☐ Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 78-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

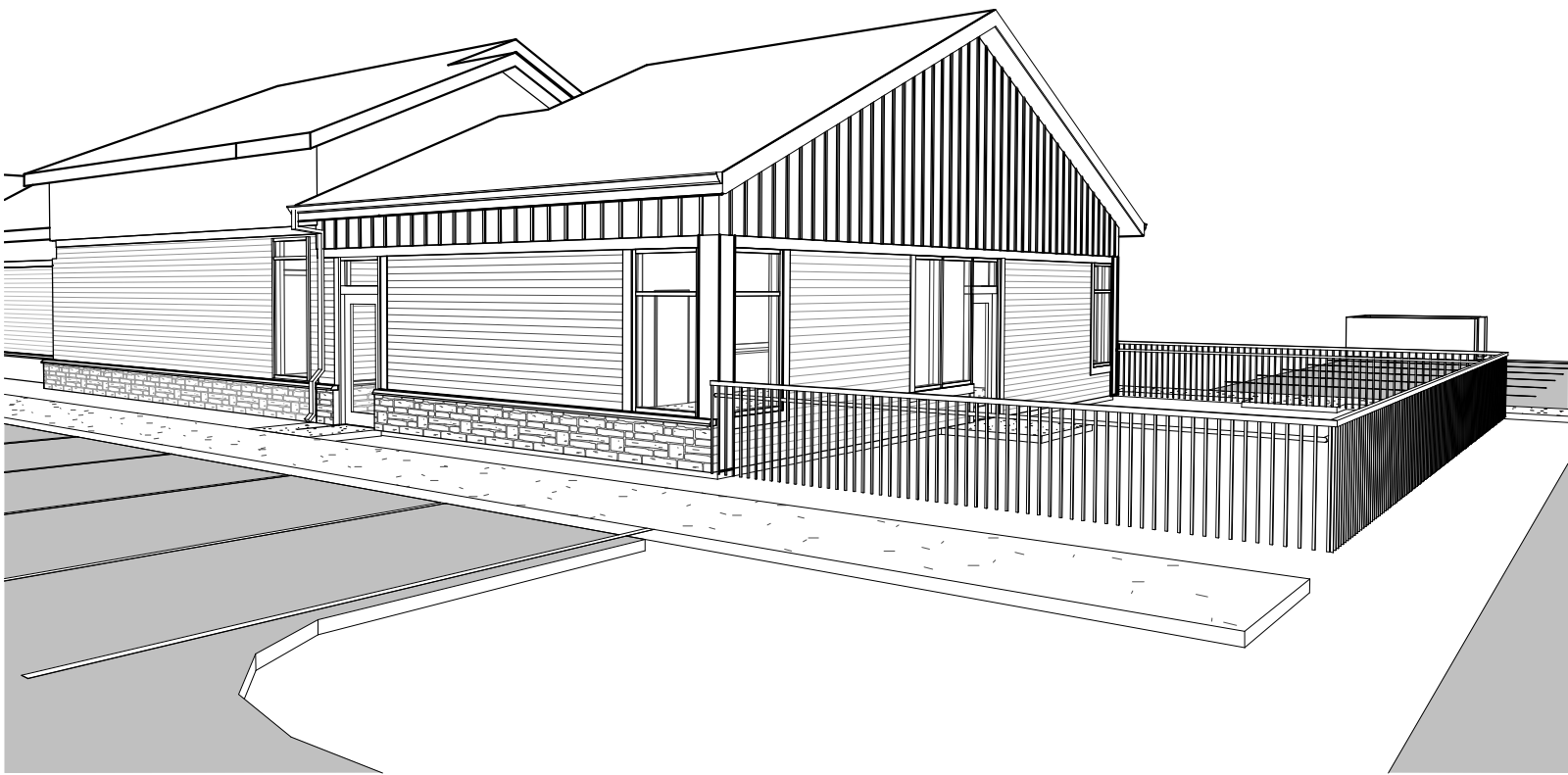
III. Final Application Packet Information for City Use

Receipt of (8.5" by 11" text and 11" by 17" graphics electronically)
copies of complete final application packet by Zoning Administrator

Date: _____

WEEBLEWORLD ADDITION

1815 CEDARBROOK LN.
STOUGHTON, WI 53589



1 3D EXTERIOR VIEW

3D VIEW IS REPRESENTATIVE ONLY - SEE DOCUMENTS FOR ALL BUILDING INFORMATION

PROJECT/BUILDING DATA
EXISTING 1 STORY BUILDING ALTERATION
BUILDING AREAS TOTAL BUILDING AREA = 8,213 SQFT EXISTING BUILDING AREA = 7,178 SQFT ADDITION BUILDING AREA = 1,035 SQFT
PARKING COUNTS TOTAL PARKING SPACES ~25 EXISTING PARKING SPACES ~22 ADDITION PARKING SPACES ~ 3
LOT COVERAGE TOTAL LOT AREA = 43,560 SQFT PROPOSED BUILDING AREA = 8,213 SQFT = 19% PROPOSED IMPERVIOUS AREA = 19,645 SQFT = 45% PROPOSED GREEN AREA = 15,592 SQFT = 36%

CODE INFORMATION SUMMARY
APPLICABLE CODE 2015 WISCONSIN COMMERCIAL BUILDING CODE
CONSTRUCTION TYPE TYPE VB = 1 STORY BUILDING
OCCUPANCY TYPE E - EDUCATIONAL (CHILD CARE)
OCCUPANT LOAD TOTAL = 225 EXISTING = 203 PROPOSED = 22
FIRE SPRINKLER BUILDING IS NOT SPRINKLERED

Architecture :

Dimension IV - Madison Design Group
6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

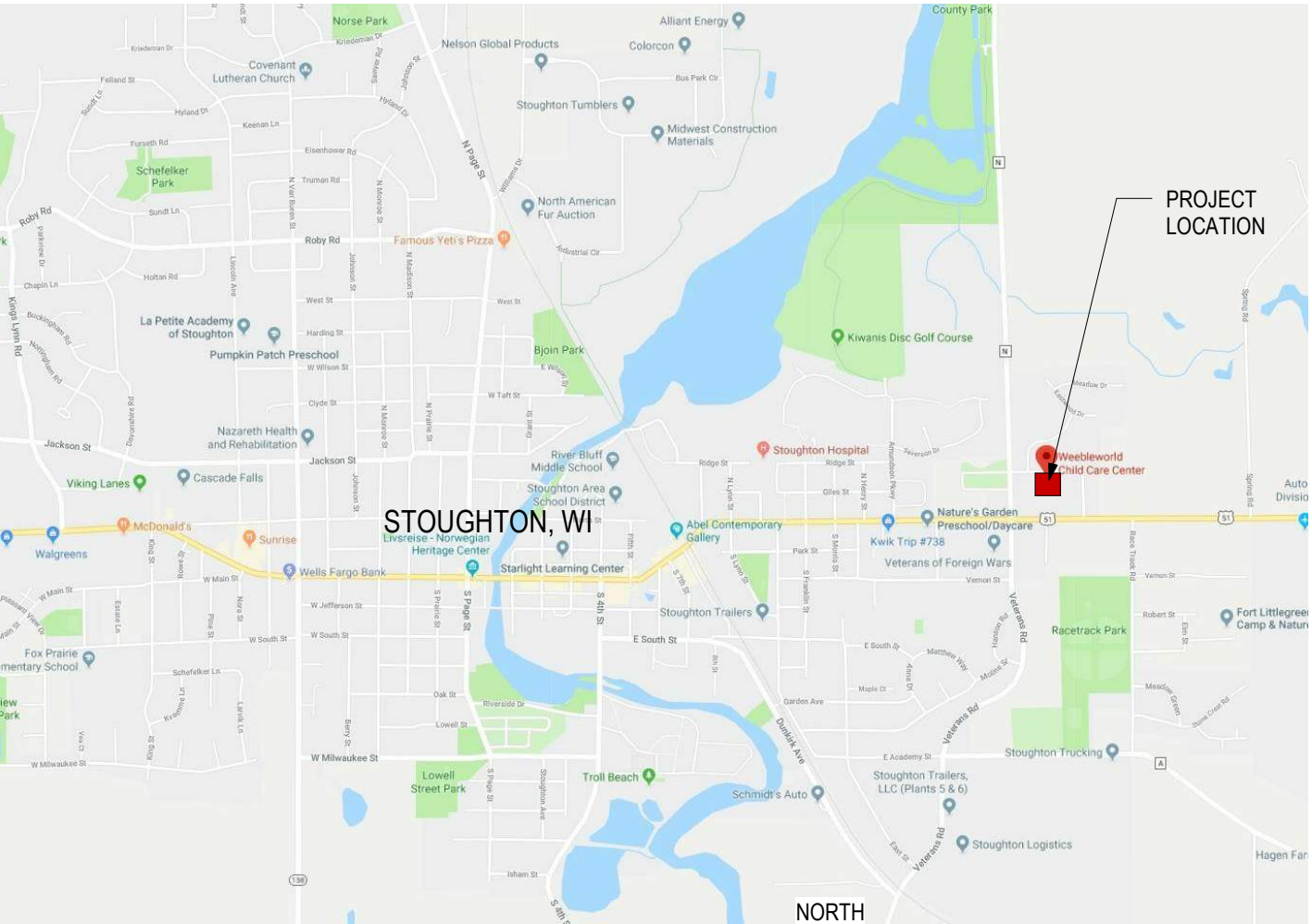
General Contractor:

KSW Construction Corporation
807 Liberty Drive, Suite 106, Verona, WI 53593
p: 608.845.2290 www.kswconstruction.com

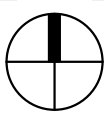
Civil Engineering:

Quam Engineering
4604 Siggelkow Road, Suite A, McFarland, WI 53558
p: 608.838.7750 www.quamengineering.com

ARCHITECTURAL ABBREVIATIONS LEGEND		
+ - AND	FND - FOUNDATION	PREFAB - PREFABRICATED
@ - AT	FOM - FACE OF MASONRY	PERIM - PERIMETER
AB - ANCHOR BOLT	FOS - FACE OF STUD	PC - PLUMBING CONTRACTOR
AFF - ABOVE FINISH FLOOR	FTG - FOOTING	P/C - PRECAST / PRESTRESSED
ALT - ALTERNATE	FUT - FUTURE	P/T - POST TENSIONED
ALUM - ALUMINUM	FV - FIELD VERIFY	PT - PRESSURE TREATED
ARCH - ARCHITECT / ARCHITECTURAL		
BRD - BOARD	GA - GAUGE	R - RADIUS
BLK - BLOCK (CMU)	GALV - GALVANIZED	RD - ROOF DRAIN
BOT - BOTTOM	GB - GRAB BAR	REINF - REINFORCING
	GC - GENERAL CONTRACTOR	REQD - REQUIRED
	GYP - GYPSUM	RM - ROOM
CB - CATCH BASIN	HC - HVAC ONTRACTOR	SCHED - SCHEDULE
CIP - CAST-IN-PLACE	HM - HOLLOW METAL	SHT - SHEET
CJ - CONSTRUCTION JOINT	HORIZ- HORIZONTAL	SIM - SIMILAR
CL - CENTERLINE	HT - HEIGHT	SOG - SLAB ON GRADE
CLG - CEILING	HVAC - HEATING, VENTILATION & AIR CONDITIONING	SPEC - SPECIFICATION
CLJ - CONTROL JOINT	HR - HOUR	SQ - SQUARE
CLR - CLEAR DISTANCE		SS - STAINLESS STEEL
CMU - CONCRETE MASONRY UNIT	ID - INSIDE DIAMETER	STL - STEEL
CO - CASED OPENING	I.F. - INSIDE FACE	STR - STRUCTURAL
COL - COLUMN	INSUL - INSULATION	
CONC - CONCRETE	INT - INTERIOR	
CONT - CONTINUOUS		
CU - CUBIC		
DBL - DOUBLE	JBE - JOIST BEARING ELEVATION	THK - THICKNESS
DF - DRINKING FOUNTAIN	JT - JOINT	TOL - TOP OF LEDGE ELEVATION
DIM - DIAMETER		TOP - TOP OF PIER ELEVATION
DN - DOWN	L - STEEL ANGLE DESIGNATION	TP - TOILET PAPER DISPENSER
DS - DOWN SPOUT	LAM - LAMINATE	(SEE HIGH STRENGTH STEEL DESIGNATION)
DTL - DETAIL	LVL - LAMINATED VENEER LUMBER	TYP - TYPICAL
DWG - DRAWING		TOW - TOP OF WALL ELEVATION
EA - EACH	MAX - MAXIMUM	UL - UNDERWRITERS LAB
EC - ELECTRICAL CONTRACTOR	MBW - MASONRY BEARING WALL	UNO - UNLESS NOTED OTHERWISE
EFS - EXTERIOR INSULATION FINISH SYSTEM	MFG - MANUFACTURER	
EL - ELEVATION	MIN - MINIMUM	VB - VAPOR BARRIER
ELEV - ELEVATOR	MO - MASONRY OPENING	VERT - VERTICAL
ENG - ENGINEER	MTL - METAL	VIF - VERIFY IN FIELD
EQ - EQUAL		
EXIST - EXISTING	NIC - NOT IN CONTRACT	W - WIDTH
EXP - EXPANSION	NOM - NOMINAL	W/ - WITH
EXT - EXTERIOR	NTS - NOT TO SCALE	W/O - WITHOUT
	NO - NUMBER	WC - WATER CLOSET
		WD - WOOD
		WRB - WEATHER RESISTANT BARRIER
		WWF - WELDED WIRE FABRIC
FD - FLOOR DRAIN	OC - ON CENTER	
FND - FOUNDATION	OD - OUTSIDE DIAMETER	
FE - FIRE EXTINGUISHER	O.F. - OUTSIDE FACE	
FEC - FIRE EXTINGUISHER CABINET	OH - OVERHEAD	
FF - FINISH FLOOR	OPCI - OWNER PROVIDED, CONTRACTOR INSTALLED	
FIN - FINISH	OPOI - OWNER PROVIDED, OWNER INSTALLED	
FLR - FLOOR	OPNG - OPENING	
	OPP - OPPOSITE	



VICINTY MAP



CONDITIONAL USE &
SITE PLAN REVIEW

SHEET NO.	SHEET NAME
G0.1	COVER SHEET
C1.0	EXISTING SITE PLAN
C1.1	EXISTING SITE GRADING PLAN
L1.0	EXISTING LANDSCAPE PLAN
A1.0	OVERALL FIRST FLOOR PLAN
A1.1	ENLARGED FIRST FLOOR ADDITION PLAN
A2.0	EXISTING ELEVATIONS
A2.1	PROPOSED ELEVATIONS

PROJECT # 19083

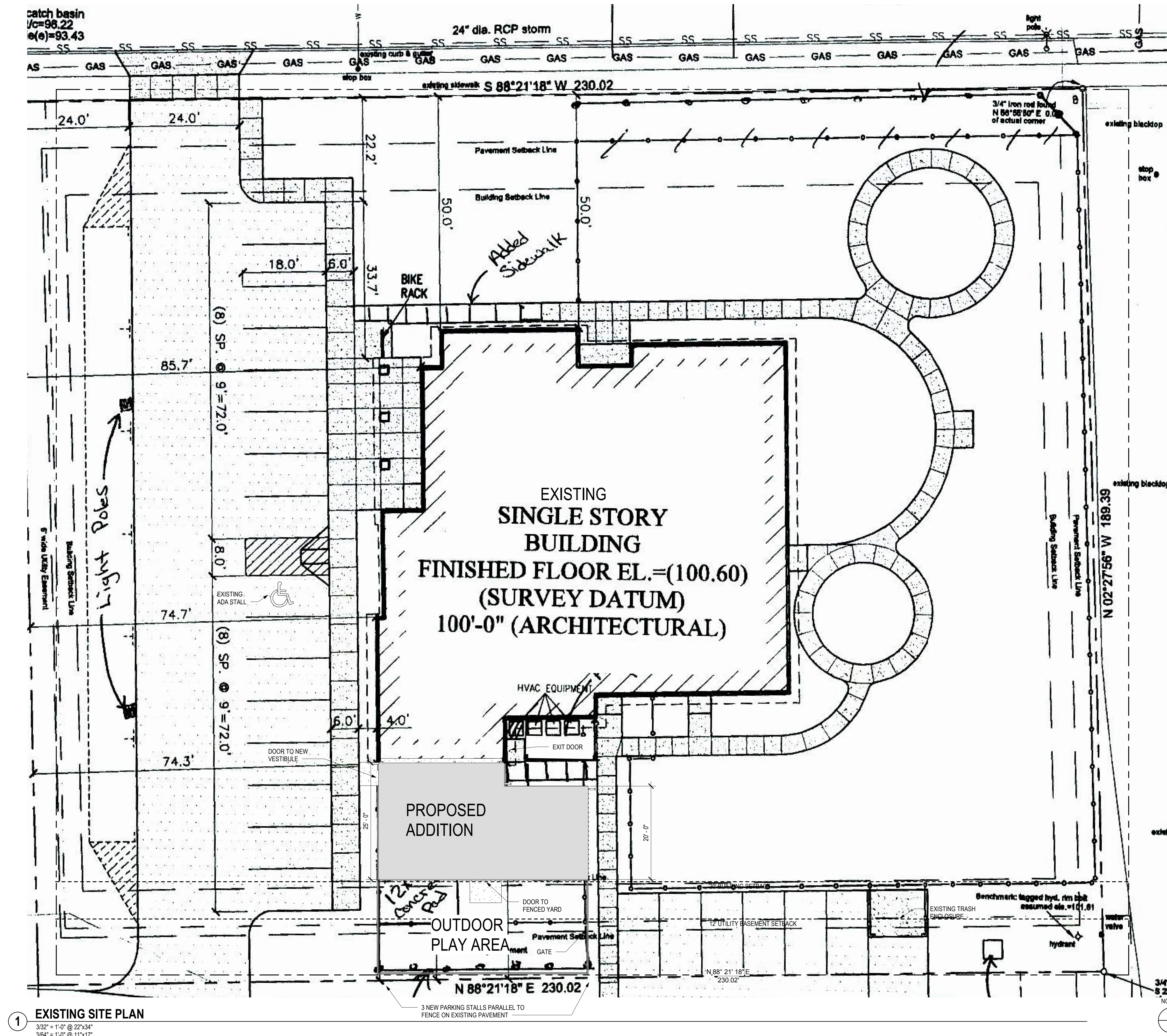
7/12/19

G0.1

1815 CEDARBROOK LN.
STOUGHTON, WI 53589

EXISTING SITE PLAN

C1.0



**WEEBLEWORLD
ADDITION**

1815 CEDARBROOK LN.
STOUGHTON, WI 53589

**CONDITIONAL
USE & SITE
PLAN
REVIEW**

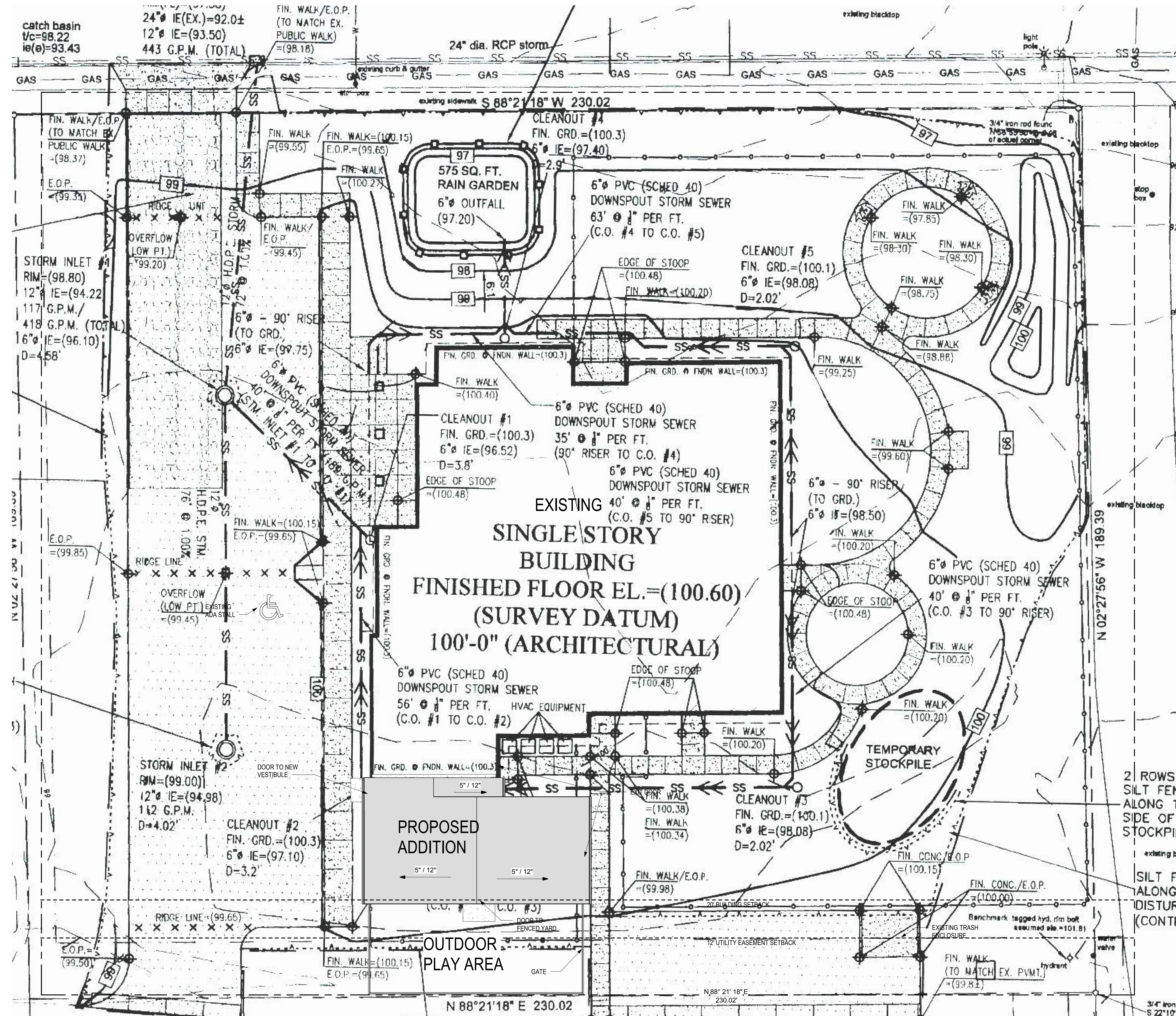
DATE OF ISSUE: 7/12/19

REVISIONS:

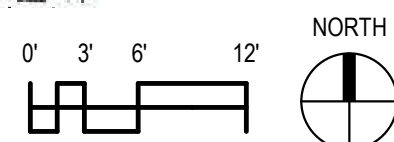
PROJECT # 19083

**EXISTING SITE
GRADING PLAN**

C1.1



1 GRADING PLAN
3/32" = 1'-0" @ 22"x34"
3/64" = 1'-0" @ 11"x17"



Cedarbrook Lane

Ex. public sidewalk

Enhancement perennials (typ.)

VI (1)

Entry sign

VI (1)

Am (19)

No-mow turfgrass (typ.)

Parking lot

Native grasses & wildflowers or rain garden (Optional)

Al (3)

Am (4)

Am (5)

Raised garden bed (typ.)

Storage bench (typ.)

Future gazebo or shade structure (Granite in interim)

Granite surfacing - no fines (typ.)

4' black metal fencing 'Ameristar' (typical)

Stepping stones (typ.)

Am (1)

4' wide concrete walkway (typ.)

Enhancement perennials (typ.)

Bench (typ.)

Hp (6)

Sand with stone edging

Engineered wood fiber surfacing

PROPOSED ADDITION

(typ.)

Property line (typ.)

Shared access easement

Parking lot

Play area (3-5 yr. old)

Engineered wood fiber surfacing - Play equipment throughout (except in front setback)

T-swings (typ.)

Play area (Sand or engineered wood fiber surfacing)

Af (1)

Hp (4)

Hp (4)

Garden/art/music area

Play area (Sand surfacing)

No-mow turfgrass (typical)

Play area (0-2 yr. old)

Engineered wood fiber surfacing - Play equipment throughout (except in bufferyard)

Dumpster & enclosure

Qb (1)

Tree & Shrub Schedule					
Symbol	Qty	Scientific Name	Common Name	Conditions	Notes
Qb	3	<i>Climax Trees</i> <i>Quercus bicolor</i>	Swamp white oak	2" BB	single stem
Af	2	<i>Tall Deciduous Trees</i> <i>Acer x "Autumn Blaze"</i> <i>Tilia americana</i>	"Autumn Blaze" Maple Basswood	2" BB 2" BB	single stem single stem
To	3	<i>Small Evergreen Trees</i> <i>Thuja occidentalis</i>	Eastern white cedar	5'-6" BB	single stem
Al	8	<i>Low Deciduous Trees</i> <i>Amelanchier laevis</i>	Allegheny Serviceberry	6'-7" BB	multi-stem
Ov	2	<i>Ostrya virginiana</i>	Ironwood	1.5" BB	single stem
VI	7	<i>Viburnum lentago</i>	Nannyberry	5'-6" BB	multi-stem
Am	47	<i>Large Shrubs</i> <i>Aronia melanocarpa</i>	Black Chokeberry	4" BB or cont	multi-stem
DI	30	<i>Medium Shrubs</i> <i>Diervilla lonicera</i>	Bush Honeysuckle	24"-36" cont	multi-stem
Hp	18	<i>Hypericum kalmianum</i>	St Johnswort	24"-36" cont	multi-stem

Landscape Point Requirement Info
Building perimeter - 374'
Street frontage - 230'
Paved area - 8,924 sf
Gross floor area - 7,721 sf

Berm (18" approx ht.)

DI (10)

Al (1)

Stepping stone path (typ.)

Future shed location (Turf in interim)

Enhancement perennials (typ.)

Al (1)

DI (11)

Property line (typ.)

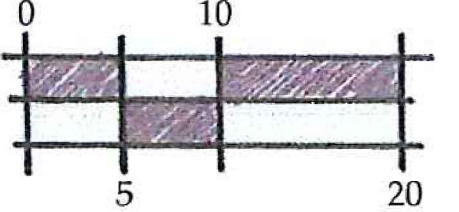
Berm (18" approx ht.) with inlaid play slide

T-swings (typ.)

6' cedar privacy fence (.2 opacity value) - Along east property line & west to dumpster enclosure

West edge of required bufferyard

North



Scale: 1" = 10'-0" @ 22"x34"
1" = 20'-0" @ 11"x17"

DIMENSION 
Madison Design Group
architecture · interior design · planning

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
p608.829.4444 f608.829.4445 dimensionvmadison.com

WEEBLEWORLD ADDITION

1815 CEDARBROOK LN.
STOUGHTON, WI 53589

CONDITIONAL USE & SITE PLAN REVIEW

DATE OF ISSUE: 7/12/19

REVISIONS:	

PROJECT # 19083

EXISTING
LANDSCAPE PLAN

L1.0

**WEEBLEWORLD
ADDITION**

1815 CEDARBROOK LN.
STOUGHTON, WI 53589

**CONDITIONAL
USE & SITE
PLAN
REVIEW**

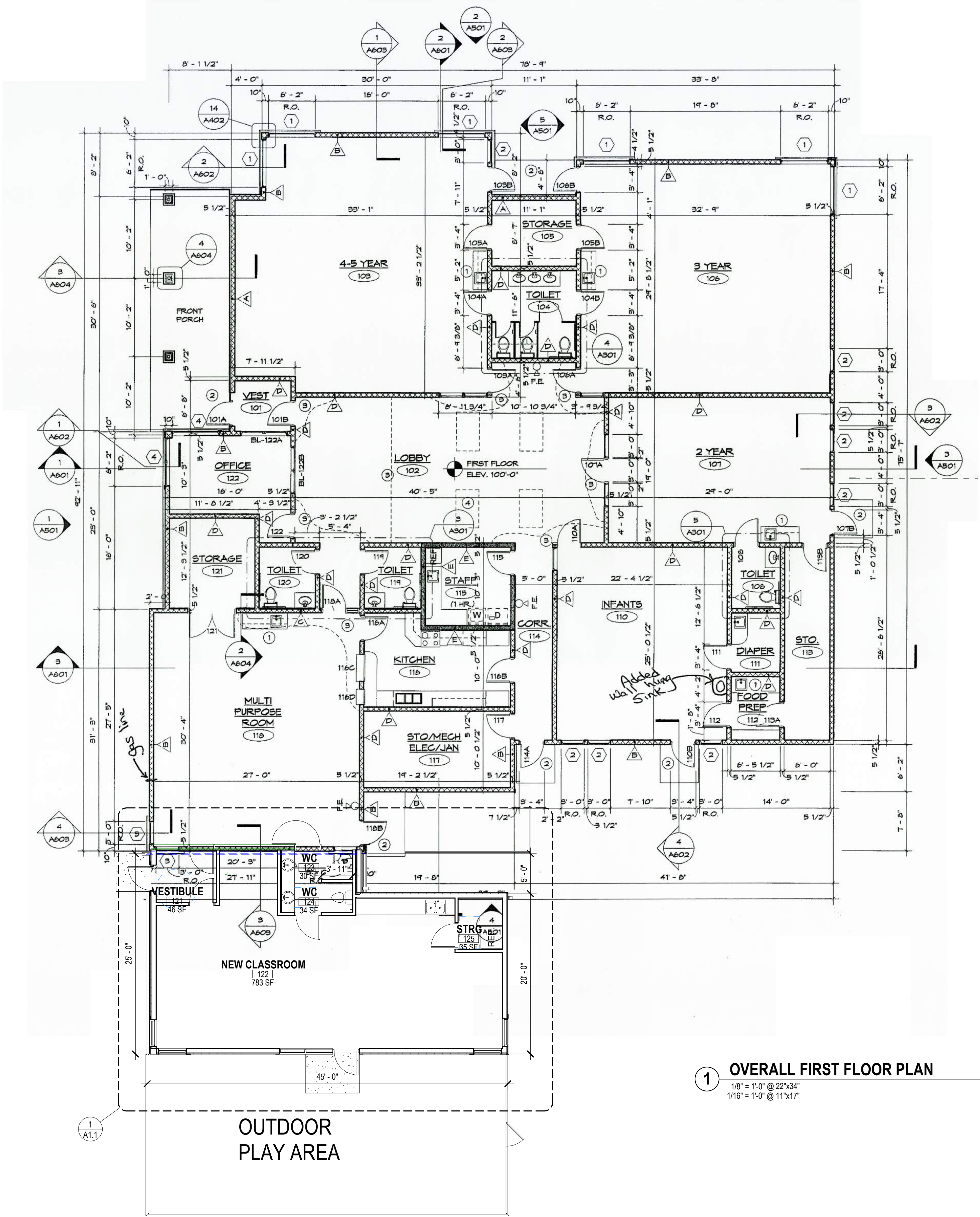
DATE OF ISSUE: 7/12/19

REVISIONS:

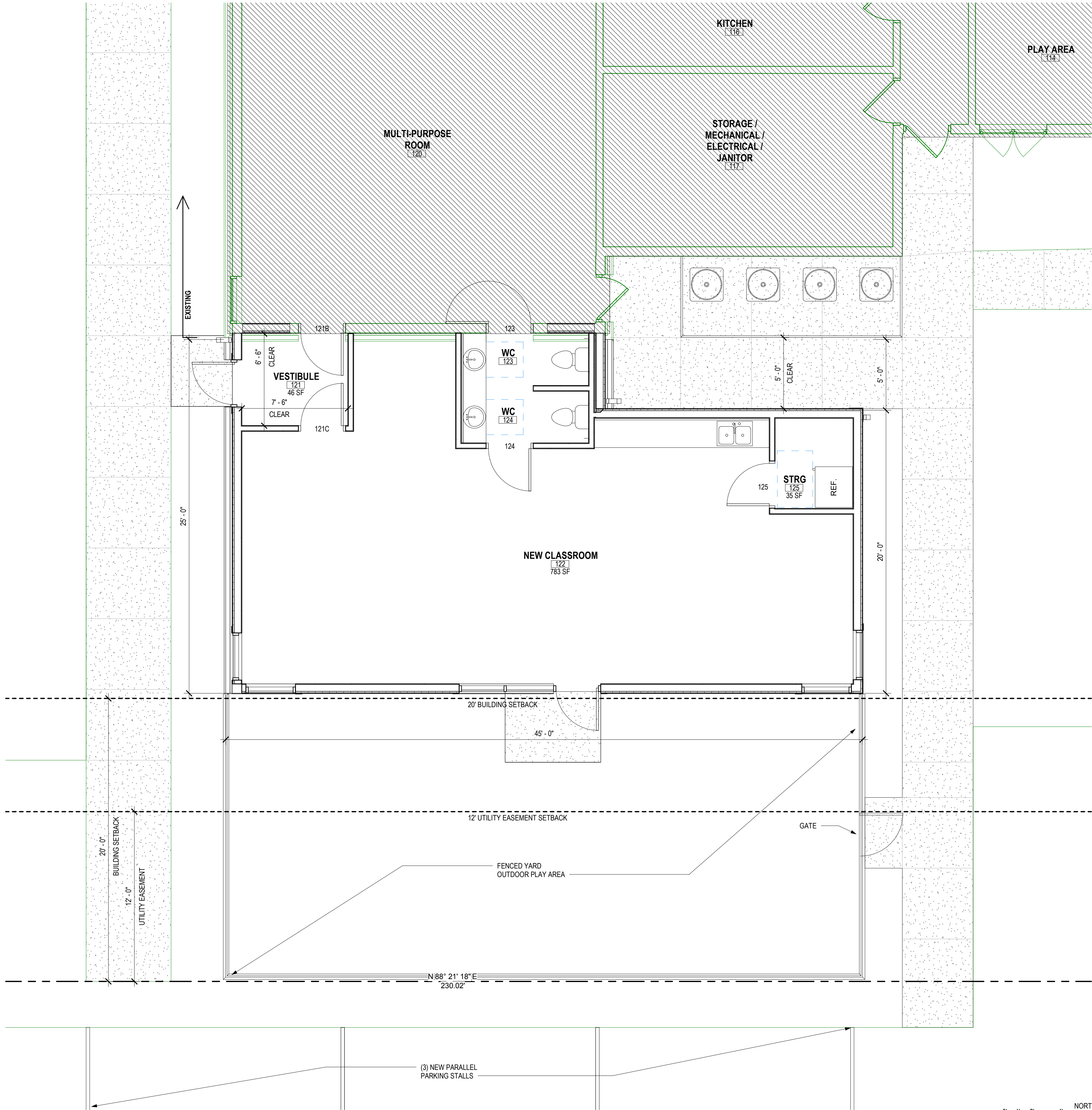
PROJECT # 19083

**OVERALL FIRST
FLOOR PLAN**

A1.0



C:\Users\schiller\Documents\19083 - Weebleworld - Addition_Central_Corridor.dwg 7/18/2019 5:11:48 PM



1 FIRST FLOOR PLAN
1/4" = 1'-0" @ 22"x34"
1/8" = 1'-0" @ 11"x17"

WEEBLEWORLD ADDITION

1815 CEDARBROOK LN.
STOUGHTON, WI 53589

CONDITIONAL USE & SITE PLAN REVIEW

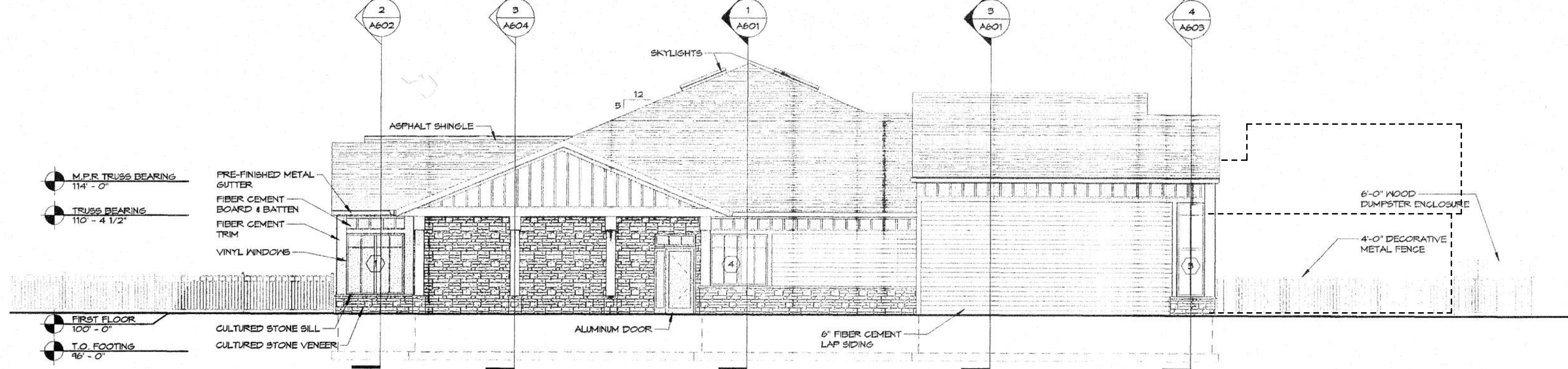
DATE OF ISSUE: 7/12/19

REVISIONS:

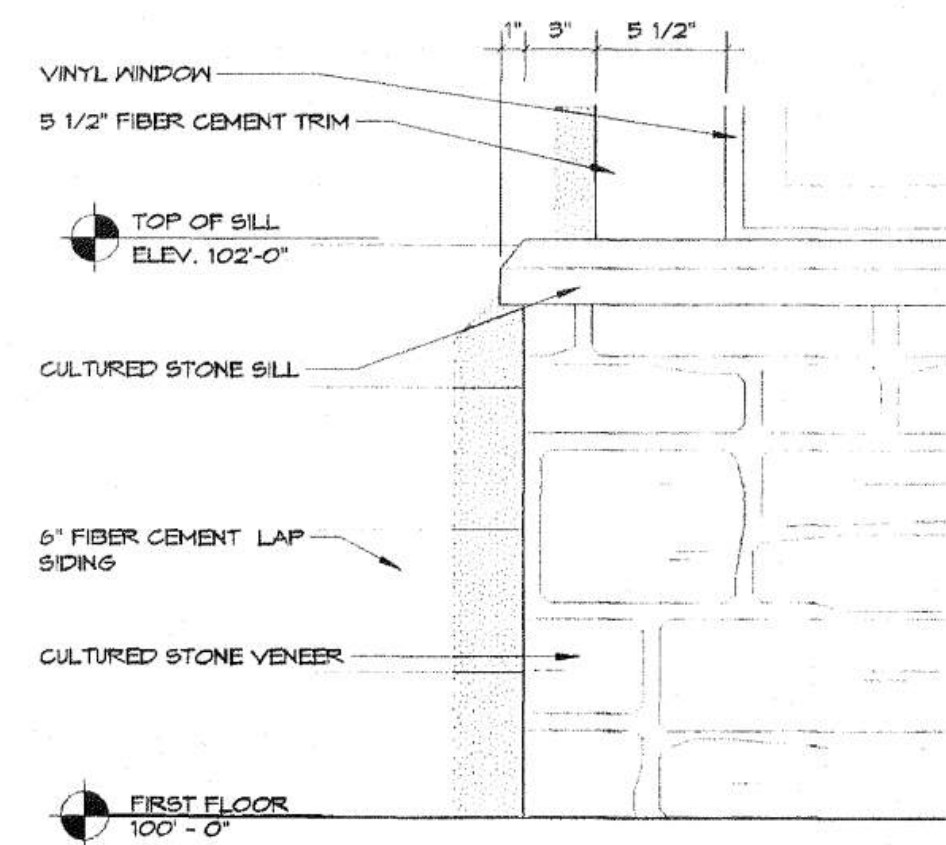
PROJECT # 19083

ENLARGED FIRST FLOOR ADDITION PLAN

A1.1



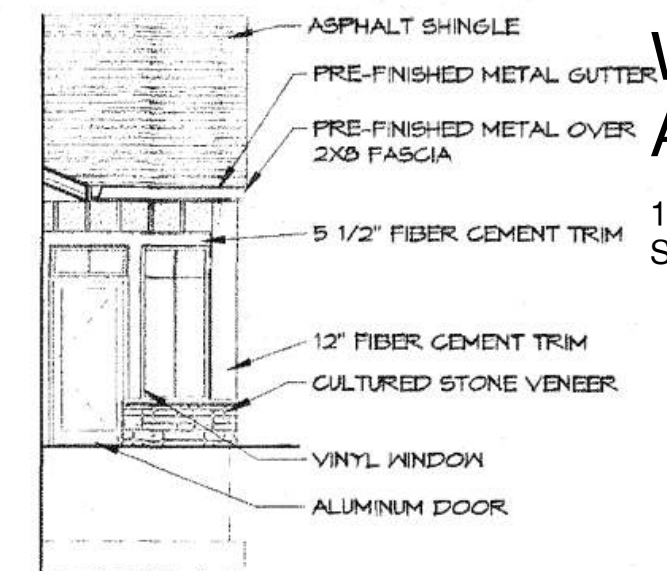
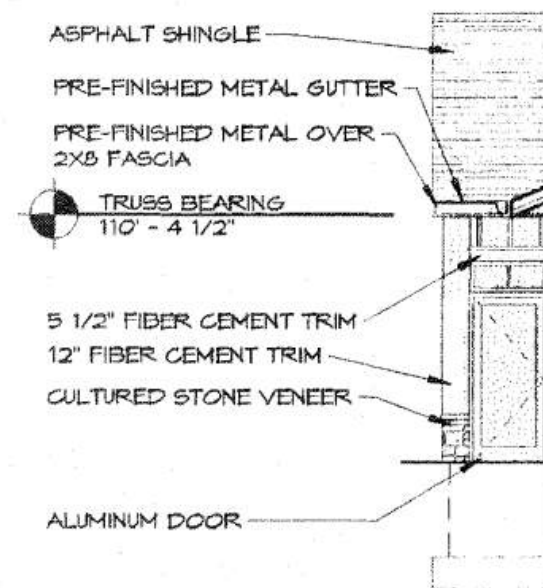
1 **WEST ELEVATION**
A501 1/8" = 1'-0" @ 22"x34"
1/16" = 1'-0" @ 11"x17"



6 **CULTURED STONE DETAIL**
A501 1 1/2" = 1'-0" @ 22"x34"
3/4" = 1'-0" @ 11"x17"

**WEEBLEWORLD
ADDITION**

1815 CEDARBROOK LN.
STOUGHTON, WI 53589



5 **PARTIAL EAST & WEST ELEV.**
A501 1/8" = 1'-0" @ 22"x34"
1/16" = 1'-0" @ 11"x17"

**CONDITIONAL
USE & SITE
PLAN
REVIEW**

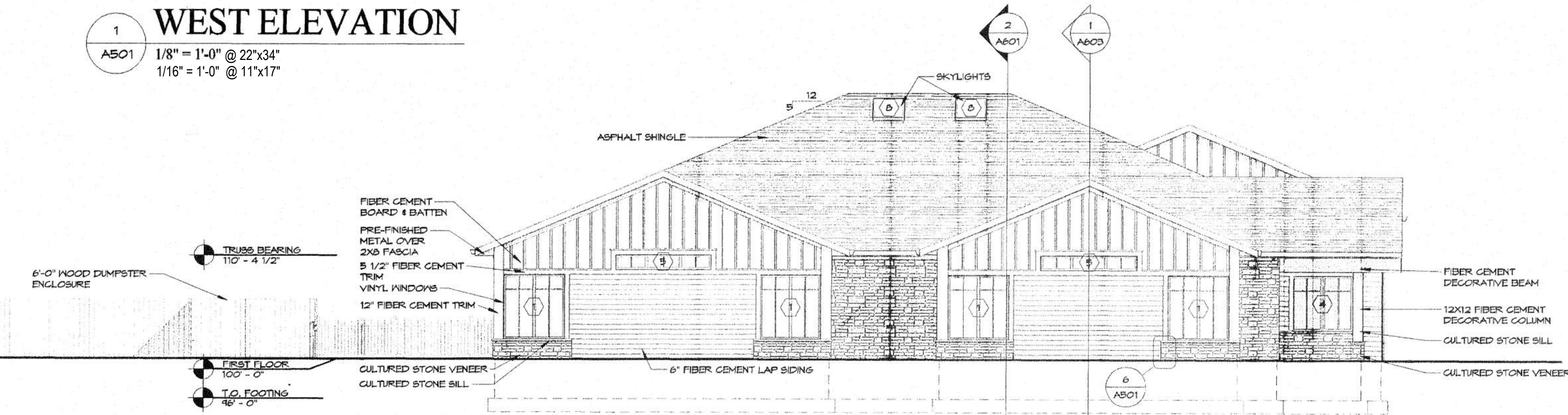
DATE OF ISSUE: 7/15/19

REVISIONS:

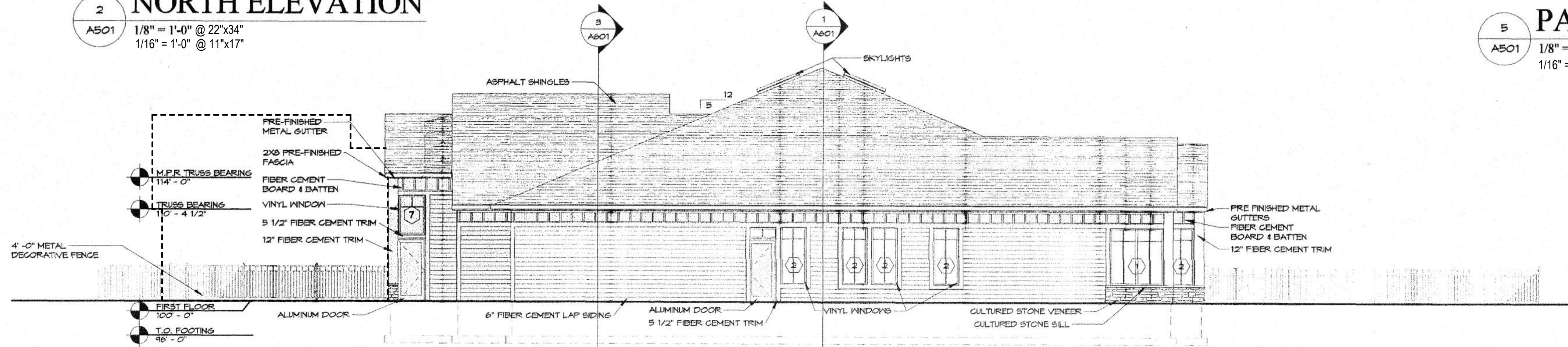
PROJECT # 19083

**EXISTING
ELEVATIONS**

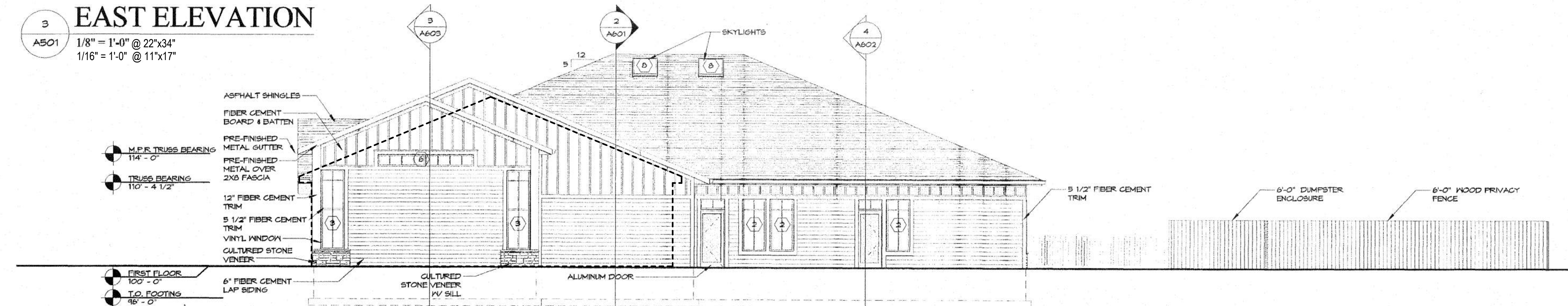
A2.0



2 **NORTH ELEVATION**
A501 1/8" = 1'-0" @ 22"x34"
1/16" = 1'-0" @ 11"x17"



3 **EAST ELEVATION**
A501 1/8" = 1'-0" @ 22"x34"
1/16" = 1'-0" @ 11"x17"



4 **SOUTH ELEVATION**
A501 1/8" = 1'-0" @ 22"x34"
1/16" = 1'-0" @ 11"x17"

**WEEBLEWORLD
ADDITION**

1815 CEDARBROOK LN.
STOUGHTON, WI 53589

**CONDITIONAL
USE & SITE
PLAN
REVIEW**

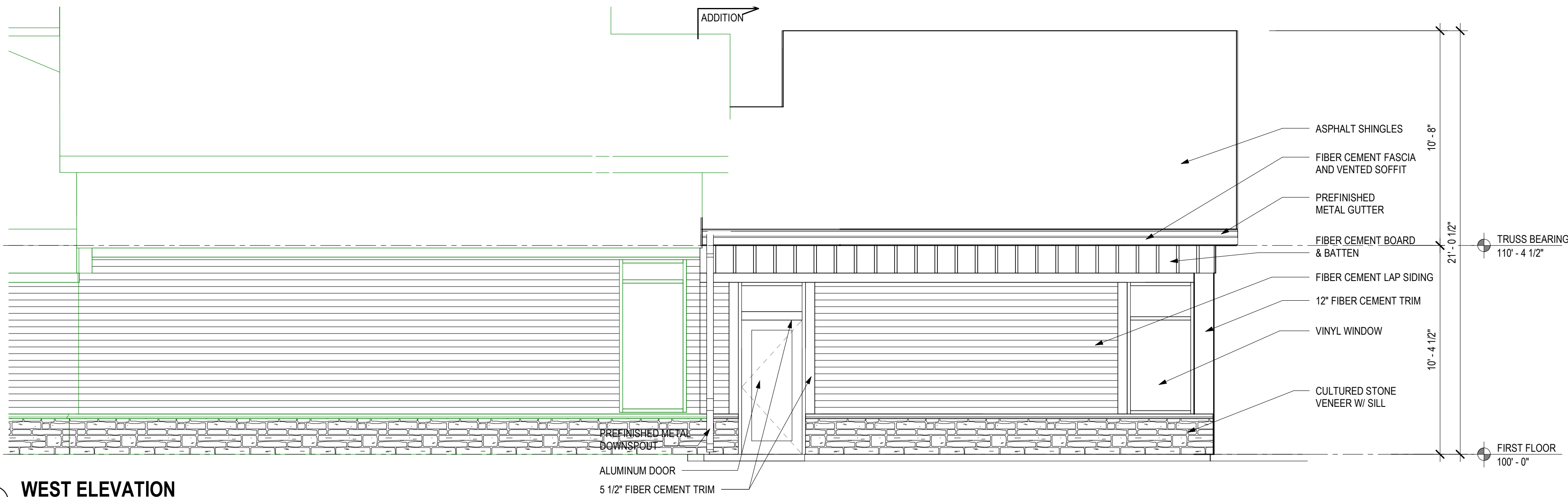
DATE OF ISSUE: 7/15/19

REVISIONS:

PROJECT # 19083

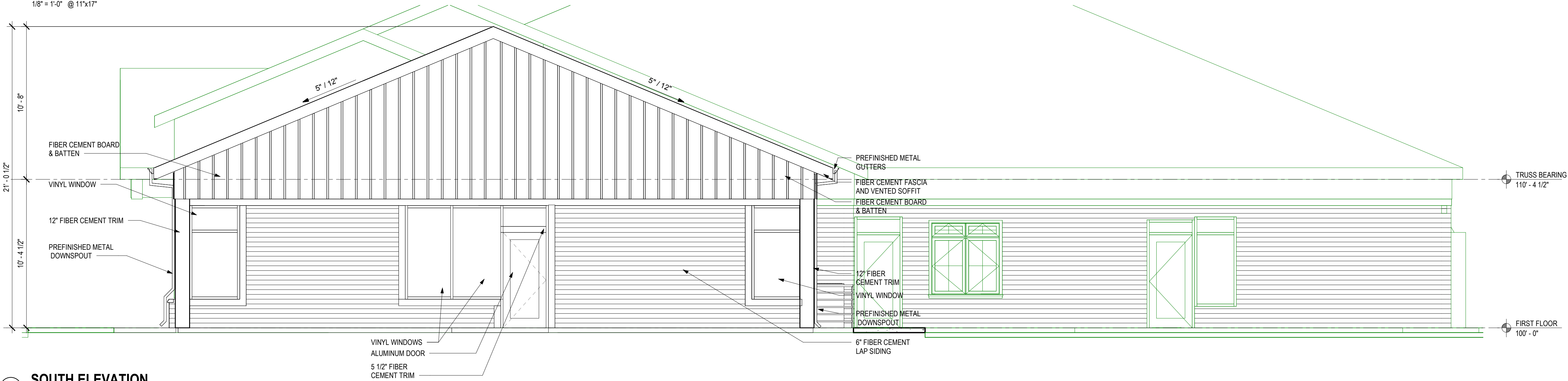
**PROPOSED
ELEVATIONS**

A2.1



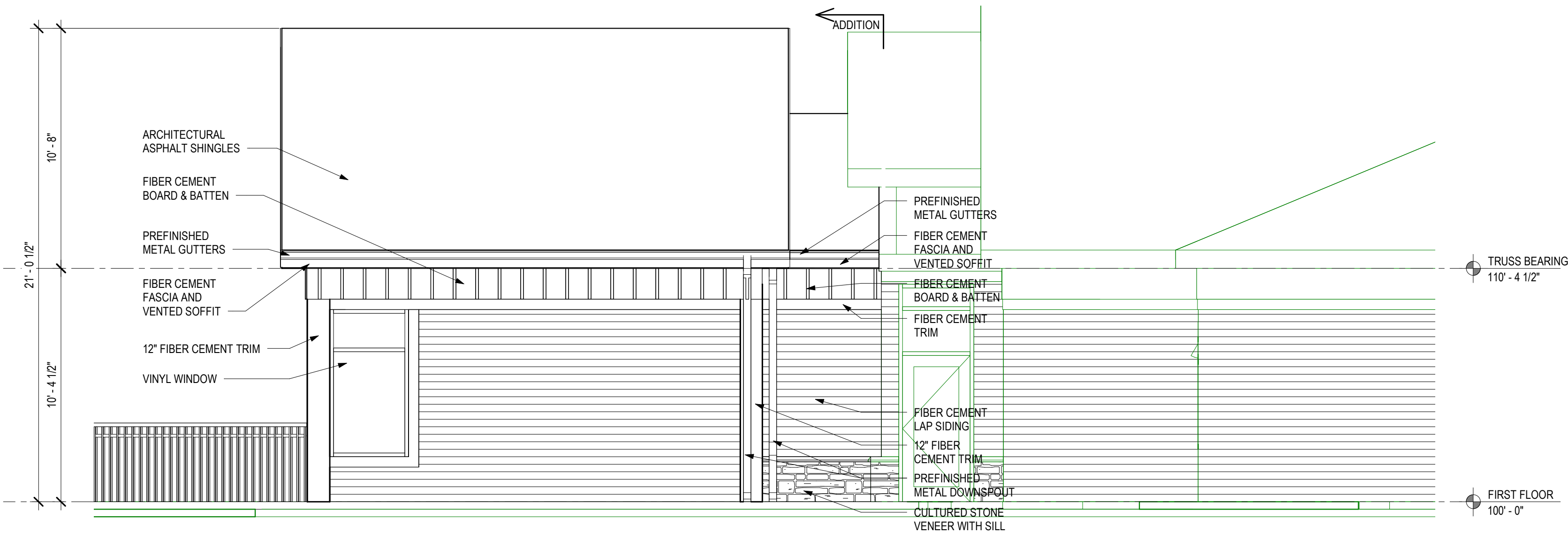
3 WEST ELEVATION

1/4" = 1'-0" @ 22"x34"
1/8" = 1'-0" @ 11"x17"



2 SOUTH ELEVATION

1/4" = 1'-0" @ 22"x34"
1/8" = 1'-0" @ 11"x17"



1 EAST ELEVATION

1/4" = 1'-0" @ 22"x34"
1/8" = 1'-0" @ 11"x17"