

May 10, 2021

GENERAL WRITTEN STATEMENT
51 WEST NEIGHBORHOOD

A mixed use neighborhood located in the northwest limit of the City of Stoughton adjacent to USH 51, comprising 70.25 acres of land just south of Rutland-Dunn Town Line Road.

Project Overview – Fifty One West, LLC is proud to submit this concept for a 70.25-acre mixed use neighborhood with 23 lots (plus, seven outlots) in the northwest limits of the City of Stoughton – just south of Rutland-Dunn Town Line Road and split by USH 51. There are two commercial lots adjacent to USH 51, totaling 13.68 acres, that will provide a mix of retailers and businesses that would serve nearby residential neighborhoods and commuters (e.g., grocers, retailers, medical offices, financial offices, limited- and full-service restaurants, gas and conveniences store, and other similar commercial uses). The remainder of the neighborhood will include a mix of residential unit types, from single-family to small and large multi-family buildings, providing a balanced neighborhood adjacent to shopping and inclusive of open space, parks and trails. The description below provides the breakdown of uses per side of USH 51.

- **West side of USH 51:** 2 commercial lots (13.68 acres), 9 single-family lots, 3 multi-family lots (148 units), 3 zero-entry condo lots (30 units), and 5.21-acre park.
- **East side of USH 51:** 1 multi-family lot (160 units), 5 duplex lots (10 units), a 2.52-acre open space/park (1.4 acres as SWM), and a 7.59-acre park (2.99 acres as SWM).

Existing Conditions - Presently the project area includes five city parcels split by USH 51 with two parcels (051001185012 and 051001180412), totaling 51.25 acres, on the west side and three parcels (051106286522, 051106286012 and 051106285012), totaling 19.00 acres, on the east side. Currently, all three parcels are being farmed with a pocket of woodlands along Rutland-Dunn Town Line Road in the northwest quadrant.

Relationship to Nearby Properties – The proposed development is broken into two developments split by USH 51. The surrounding uses are as follows:

- **Westside of USH 51:** single-family/farmland/woodlands to the north, and farmland the west, and commercial/industrial/single-family to the south.
- **Eastside of USH 51:** farmland to the north, (rural) single-family to the east, and single family/duplex/commercial to the south.

Urban Service Area Amendment – The proposed subdivision is currently just outside of the Stoughton Urban Service Area; however, the 2017 Comprehensive Plan shows most of the area in the short-term growth area. An Urban Service Area amendment will be required to allow this development to move forward.

Comprehensive Plan – The proposed subdivision is located in an area designated as the Northwest Planned Mixed Use (MU) Area, which is intended for a mix of commercial, office, light industrial and higher-intensity residential uses. Based on the Future Land Use Map, Planned MU is intended for residential buildings of three or more units; however, additional statements in the policy allow for more flexibility, as follows:

- “The City should carefully monitor the development of multi-family housing within Planned Mixed Use areas in order to support the City’s goal of maintaining its predominately single-family character.”
- “The Planned Mixed Use category is intended to allow consideration of a range of uses and zoning districts, with the understanding that the appropriate combination and arrangement of uses and zoning districts will be approved on a case-by-case basis.”

Fifty One West, LLC has proposed duplex lots along Velkommen Way (east of Nygaard Street) to provide a natural extension of the single-family and duplex neighborhood to the south, as well as to provide a smooth transition to the rural single-family homes east of the development. Higher-density residential units are proposed north of Velkommen Way on Lot 18. This provides increased density in the overall neighborhood and establishes a smooth transition from residential to the potential future commercial development to the north (shown in the 2006 Linnerud Detailed Neighborhood Plan).

On the west side of USH 51, Fifty One West, LLC proposes a mix of residential unit types from single-family to side-by-side condos to larger multi-family buildings. As proposed in the current Planned Mixed Use designation, high-density residential is preferred adjacent to intensive industrial/commercial to the south and planned commercial to the north and west (within this development). However, to provide for a balanced neighborhood, Fifty One West, LLC is proposing to include a mix of unit types along the west end of the neighborhood concept, including some single-family lots. The proposed 9 single-family lots are compatible with the existing single-family lots to the south at 1497 Oak Opening Drive and 1509 Oak Opening Drive (as opposed to more intensive multi-family buildings). Lots 4-6 help to maintain higher-density in the overall neighborhood, affording other lots to provide lower-density residential options. The proposed independent living development (on Lots 1-3) provides housing options for seniors to “age in place” (i.e., remain in the community as they age). Should seniors move into these independent living developments, the City’s existing (older) housing stock would become available as an affordable housing option for families and other individuals.

Design Improvements

- DEVELOPMENT & ZONING: Residential densities will vary by lot, but average 11.8 units per acre on the west side and 26.9 units per acre on the east side. This matches the intent of the Planned Mixed Use designation in the Stoughton Comprehensive Plan. Commercial building intensities may vary because of the more urban nature of proposed development. Lots 1-6, 16-17 and 18 will be zoned Planned Development (PD), while the remainder of the lots will have conventional zoning (i.e., SR-3 for single-family and TR-6 for duplex lots).
 - At this time the developer is requesting reduced rear setback minimums for several of the PD lots (as shown in the table below), as well as requesting an increase in overall density in two lots (Lots 5 & 18). These exceptions will allow the developer to maintain the densities desired within the Planned Mixed Use Future Land Use designation and allow for ideal (speculative) building placement to hold the street edge, park edge and provide access/views to planned open spaces. As part of the GDP, the developer intends to provide additional site and building design standards that will help mitigate potential impacts on adjacent lots.

LOT INFO				Zoning	Min. Setback (Comp)			Proposed Min. Setback		
#	Size (ac)	Units	Density	Comparable	Front	Side	Rear	Front	Side	Rear
1	2.26	12	5.3	TR-6	20	10	30	20	10	20
2	2.12	12	5.7	TR-6	20	10	30	20	10	20
3	1.06	6	5.7	TR-6	20	10	30	20	10	20
4	1.53	36	23.5	MR-24	25	20	50	25	20	25
5	3.75	96	25.6	MR-24	25	20	50	25	20	40
6	2.55	16	6.3	MR-10	25	15	40	25	15	25
16	1.80	---	---	PB	20	10	20	20	10	20
17	11.88	---	---	PB	20	10	20	20	10	20
18	4.97	160	32.2	MR-24	25	20	50	25	20	50

- **PARK/OPEN SPACE:** Parks and Recreation Committee approved the park locations with interest in seeing the development meet the parkland dedication requirement. Since this approval, the park in Outlot 6 has expanded by removing four duplex lots along Velkommen Way, and the paved path no longer runs through Outlot 4 (due to increase in stormwater management requirements). The net result is the development meets the parkland dedication requirement across both sides of USH 51. The improved park/open spaces provides a good buffer to the Town, as well as enhance the trail corridor that runs through these areas.
- **TRAIL/SIDEWALK NETWORK:** Paved multi-use paths are proposed on both sides of USH 51. On the west side of USH 51, a paved path will run through the center of the neighborhood via Outlots 1 and 3 (with a small segment along Wild Goose Way and Oak Opening Drive). An additional paved trail will run through Outlot 2 (via a trail easement) that could connect to future development to the west. On the east side of USH 51, a paved path will run along the eastern edge of the neighborhood through Outlot 7 and the proposed park space (Outlot 6), terminating in the northeast corner of the neighborhood. Future connections by the City could link this path to Howard Heggstad Park and Virgin Lake Park. The intent is to have these two paths connect across USH 51 via lands to the north (the Linnerud property on the east and Fifty One West, LLC on the west). Sidewalks will be provided on both sides of all public streets, except where a multi-use path is planned, along Rutland-Dunn Town Line Road and along USH 51 frontage.
- **ROADWAYS and ACCESS:** The western portion of the development includes public access via Oak Opening Drive (66-ft ROW), Wild Goose Way (66-ft ROW), Palm Grass Way (60-ft ROW) and Blue Grass Drive (60-FT ROW). This neighborhood concept reserves a portion of the 100-ft right-of-way to allow Rutland Dunn Town Line Road to extend east of USH 51 per the 2006 Linnerud Detailed Neighborhood Plan.

On the east side of USH 51, access is provided via Roby Road and a proposed “rural section” interim road extension of Rutland Dunn Town Line Road until which time a full reconstruct will be possible (either as part of the USH 51 reconstruction project or development of the Linnerud property). These two access roads will feed into Nygaard Street, which will be extended to the northern limits of the development. Fifty One West, LLC. (with support from the City and approval from WisDOT) is requesting closing Velkommen Way intersection with USH 51 as part of this development. The development team is evaluating the operations and functionality of these access improvements through a Traffic Impact Analysis (TIA) study (see the next bullet for more information).

- **TRAFFIC:** The developer is conducting a TIA study for the 51 West Neighborhood to support potential intersection and access improvements along USH 51. The traffic study will be based on the approved concept, and with support of the City, will aide in approvals from the WisDOT. The development team and City staff have met with virtually with WisDOT on two occasions to get initial feedback on the development’s access requests. MSA has received WisDOT forecasting and are currently completing the TIA with the intent of submitting it in coming weeks.
- **UTILITIES:** MSA is coordinating the water and sewer service with the City of Stoughton. It is currently anticipated that the development on both sides of USH 51 will gravity drain to the sanitary manhole located at the rear yard connection of Lots 183 and 184 of the Blue Heron Addition to John Nygaard’s Virgin Lake Estates. The sanitary will then gravity flow down Virgin Lake Drive to Roby Road and ultimately to the interceptor on Kings Lynn Road. The watermain will continue along Nygaard Street in anticipation of a future loop back to the north to Kings Lynn Rd. and to a potential future connection at Oak Opening Drive.
- **NATURAL FEATURES:** The 51 West Neighborhood incorporates a mix of uses and densities, while also providing for open space – specifically, adjacent to existing developed lands. The proposed outlots preserves open space through two park spaces, trail corridors, preserved woodlands and stormwater management areas. Additional information on the area’s natural features is provided below.

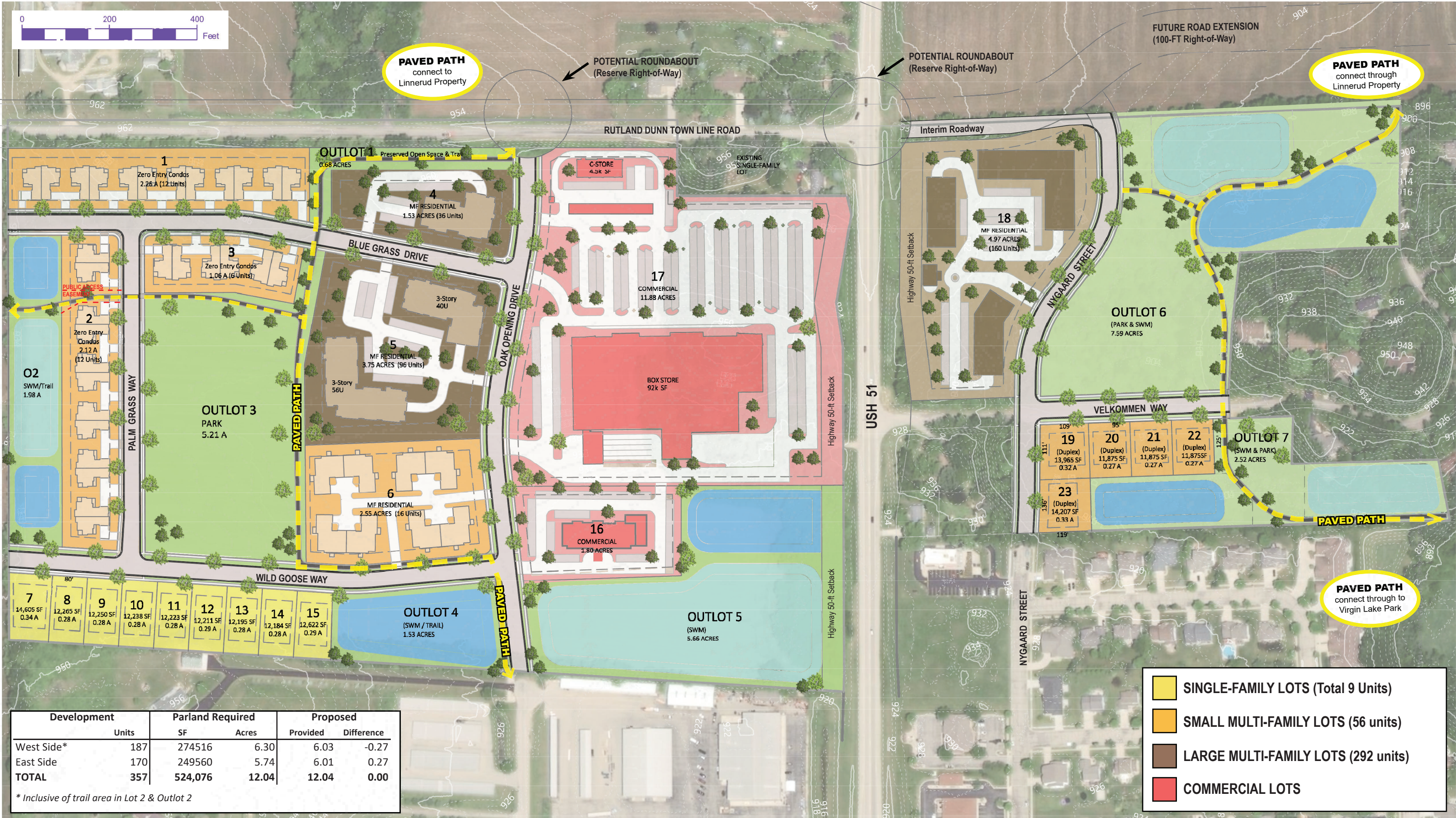
- The Comprehensive Plan identifies lands along USH 51 just south of the Rutland-Dunn Town Line Road as a potential environmental corridor, but this needs verification. Per the natural resource base map (Map 2 in the Comp Plan), this designation is based on woodlands that no longer exist. These lands are not identified in the CARPC Environmental Corridor and there are no floodplain or surface water features.
- There are woodlands adjacent to Rutland-Dunn Town Line Road (in the northwest corner of the development) that will be partially preserved through building setbacks.
- Four small, low-quality wetlands were delineated in 2020; however, Fifty One West, LLC has since received DNR wetland fill approval through federal exemption.
- **STORMWATER MANAGEMENT:** The majority of the stormwater ponds have been designed with a “naturalistic” layout, especially through the trail corridor and park space in Outlot 6. As shown, there are six wet ponds for pre-treatment and four infiltration ponds that will serve this development and manage off-site runoff (from the south and east of Outlot 8). The stormwater management system is intended to control peak runoff rates for events ranging from the 1-year through the 200-year event. Additionally runoff volumes will be controlled for the annual average rainfall record (per county and state standards) but also for events ranging from the 1-year through the 200-year event. This last requirement is necessary to prevent volume related flood elevation increases in landlocked basins which lie downstream from the proposed site. Note that these requirements will need to be met regardless of on-site development density and potential changes in drainage patterns within the site.

51 WEST SUBDIVISION

CITY OF STOUGHTON, WI

DISCLAIMER:

This neighborhood concept illustrates a proposed road layout, storm water management infrastructure, and lot layout with speculative development. The number of lots and design for specific sites are generalized based on what fits the location and intended use for the area. Development plans will be proposed by property owners at a future date based on market conditions and interests, and will be subject to City review (per zoning and subdivision ordinance) with this concept providing guidance to general connectivity and use.



51 WEST NEIGHBORHOOD PLANNED DEVELOPMENT

General Development Plan (GDP)

Owner:

Fifty One West, LLC
1081 Eagle Court
Edgerton, WI 53534
Contact: Bob Dvorak
608-712-2048

Project Planner:

MSA Professional Services, Inc.
1702 Pankratz St.
Madison, WI 53704
Contacts: Stephen Tremlett
(608) 242-6621

Project Civil Engineer:

MSA Professional Services, Inc.
1702 Pankratz St.
Madison, WI 53704
Contacts: Kevin Lord
(608) 242-6617

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Appendix: Plan Sheets

- Map with Owners within 300 feet
- General Development Plan
- Traffic Impact Analysis, dated 5/10/2021






















COUNCIL APPROVED DATE: TBD

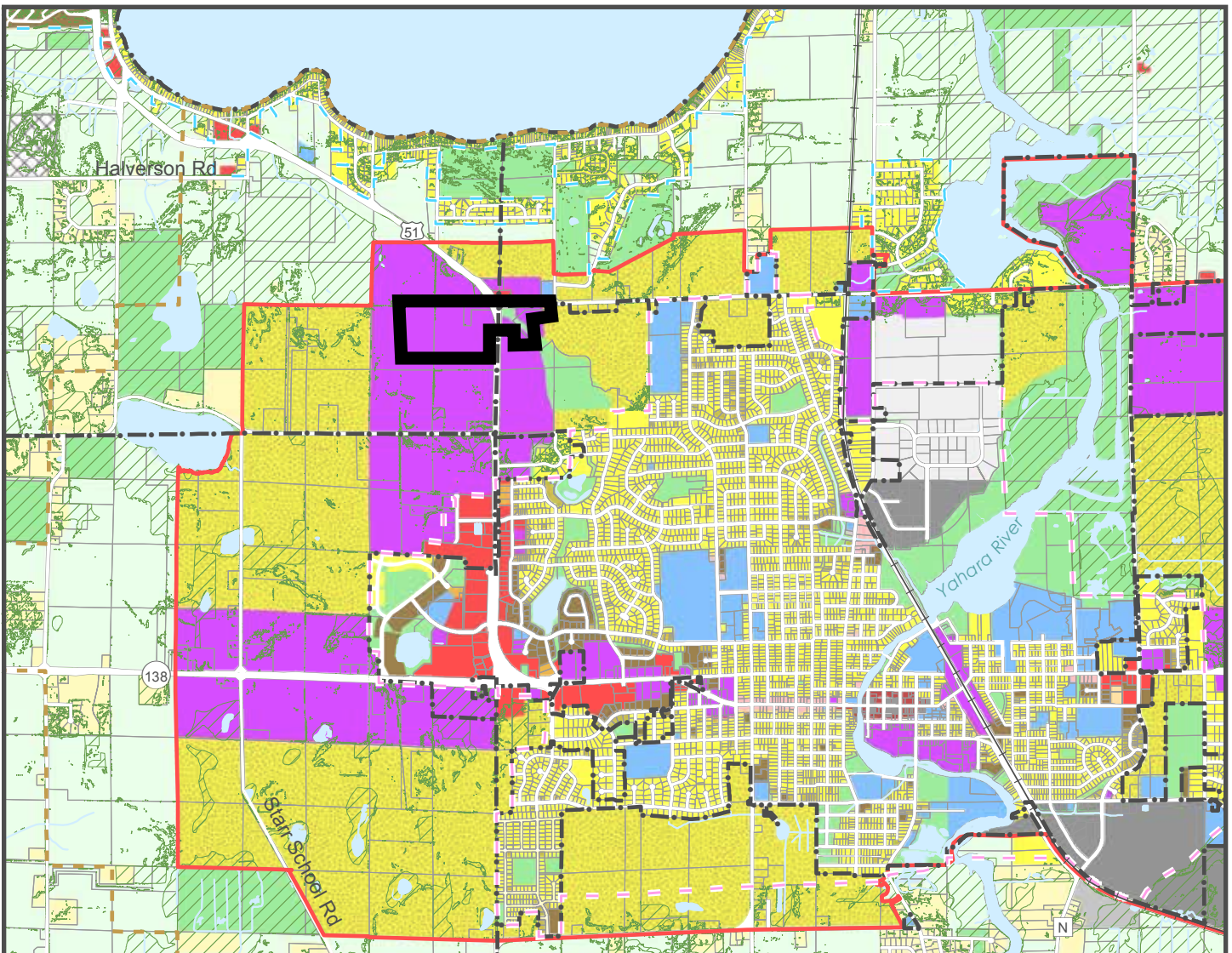
DRAFT DATE: 05.10.21



A. LOCATION MAP

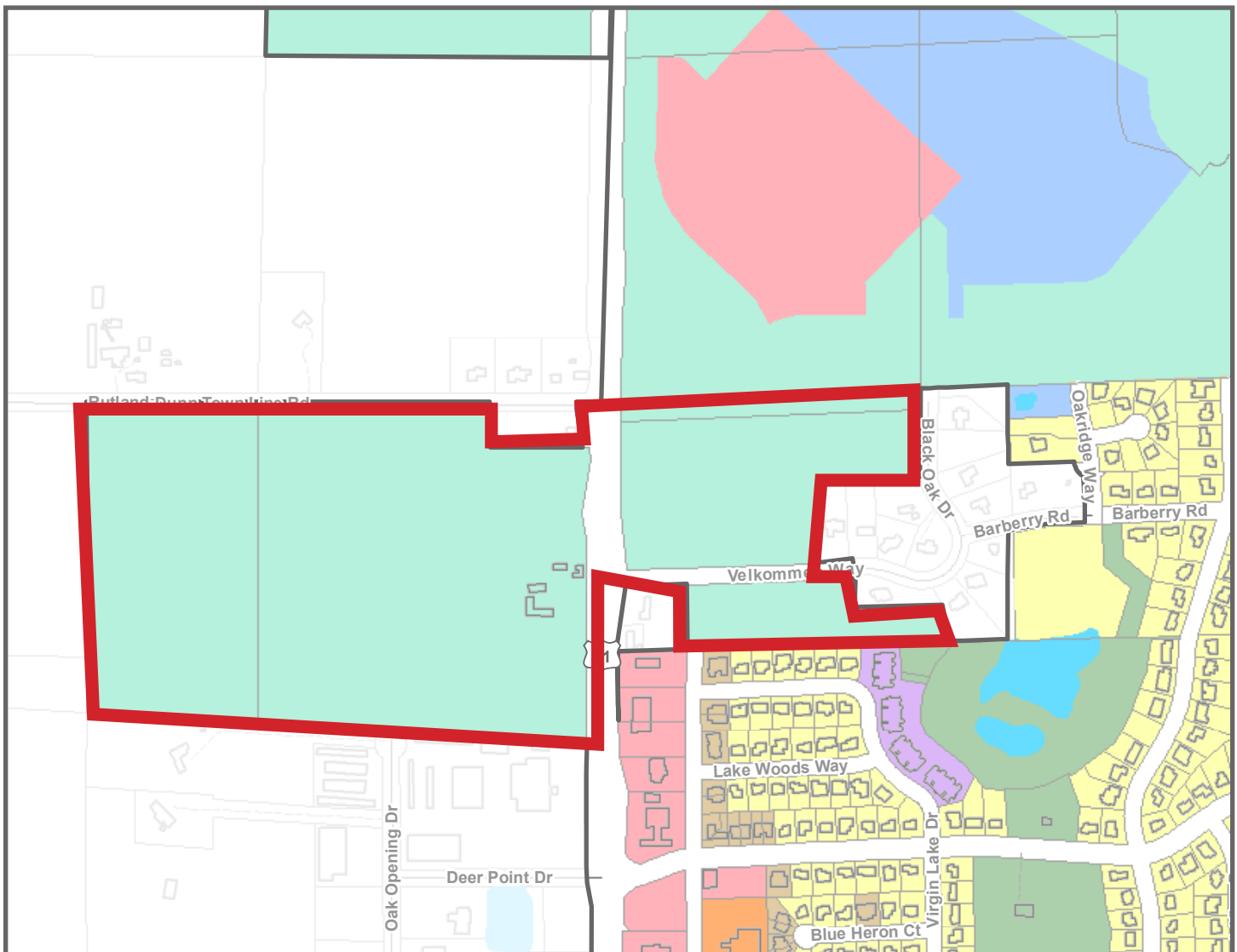
Excerpt from the City of Stoughton's Comprehensive Plan

Future Land Use			
	Agriculture/Rural		Neighborhood Business
	Unsewered Residential		Planned Industrial
	Single Family Residential		General Industrial
	Two Family Residential		Heavy Industrial
	Multi-Family Residential		Landfill/Extraction
	Planned Neighborhood		Institutional
	Central Business		Recreation or Public Open Space
	Planned Mixed Use		Environmental Corridor
	Planned Office		Surface Water
	Neighborhood Office		Right-of-Way
	Planned Business		



B. VICINITY MAP

Excerpt from the City of Stoughton's Zoning Map.



C. PLANNED DEVELOPMENT WRITTEN DESCRIPTION

Project Area and Existing Conditions

This planned development establishes the zoning requirements for portions of a 70.25-acre, mixed-use neighborhood located east and west of USH 51 and south of Rutland Dunn Town Line Road, to be known as 51 West. The entire project area was annexed into the City of Stoughton in 2018 under RH (Rural Holding) zoning.

This planned neighborhood incorporates five existing city parcels, including two on the west side of USH 51 (051001185012 and 051001180412), and three on the east side (051106286522, 051106286012 and 051106285012). All five parcels are being farmed, excepting a pocket of woodlands along Rutland-Dunn Town Line Road. The surrounding uses include:

- **Westside of USH 51:** single-family/farmland/woodlands to the north, and farmland the west, and commercial/industrial/single-family to the south.
- **Eastside of USH 51:** farmland to the north, (rural) single-family to the east, and single family/duplex/commercial to the south.

Project Scope

Fifty One West, LLC is proud to submit this general development plan for portions of 51 West. As identified in Figure 1 (on the next page), the Planned Development area includes Lots 1-6 and 16-18. Other lots will have conventional zoning, including SR-3 for 9 single-family lots and TR-6 for 5 duplex lots.

The Planned Development lots include:

- Lot 1 - 12 duplex residential units (2.26 acres)
- Lot 2 - 12 duplex residential units (2.12 acres)
- Lot 3 - 6 duplex residential units (1.06 acres)
- Lot 4 - 36 multifamily residential units (1.53 acres)
- Lot 5 - 96 multifamily residential units (3.75 acres)
- Lot 6 - 16 multifamily residential units (2.55 acres)
- Lot 16 - 1.8 acres commercial land
- Lot 17 - 11.88 acres commercial land
- Lot 18 - 160 multifamily residential units (4.97 acres)

The two commercial lots adjacent to USH 51, totaling 13.68 acres, will provide a mix of retailers and businesses that would serve nearby residential neighborhoods and commuters (e.g., grocers, retailers, medical offices, financial offices, limited- and full-service

restaurants, gas and conveniences store, and other similar commercial uses).

The developer's goal and intent is to extend all utilities and corresponding public infrastructure and complete mass grading on the east side of USH 51 by Fall 2021. The buildout of the west side of USH 51 will likely come in phases, projecting to start in Spring 2023. It is the developer's goal to build out all of the available sites either as lease or sell options as the market dictates.

General Relationship to the 2017 Comprehensive Plan

The proposed subdivision is located in an area designated as the Northwest Planned Mixed Use (MU) Area, which is intended for a mix of commercial, office, light industrial and higher-intensity residential uses. Planned MU is intended for residential buildings of three or more units; however, additional statements in the policy allow for more flexibility, as follows:

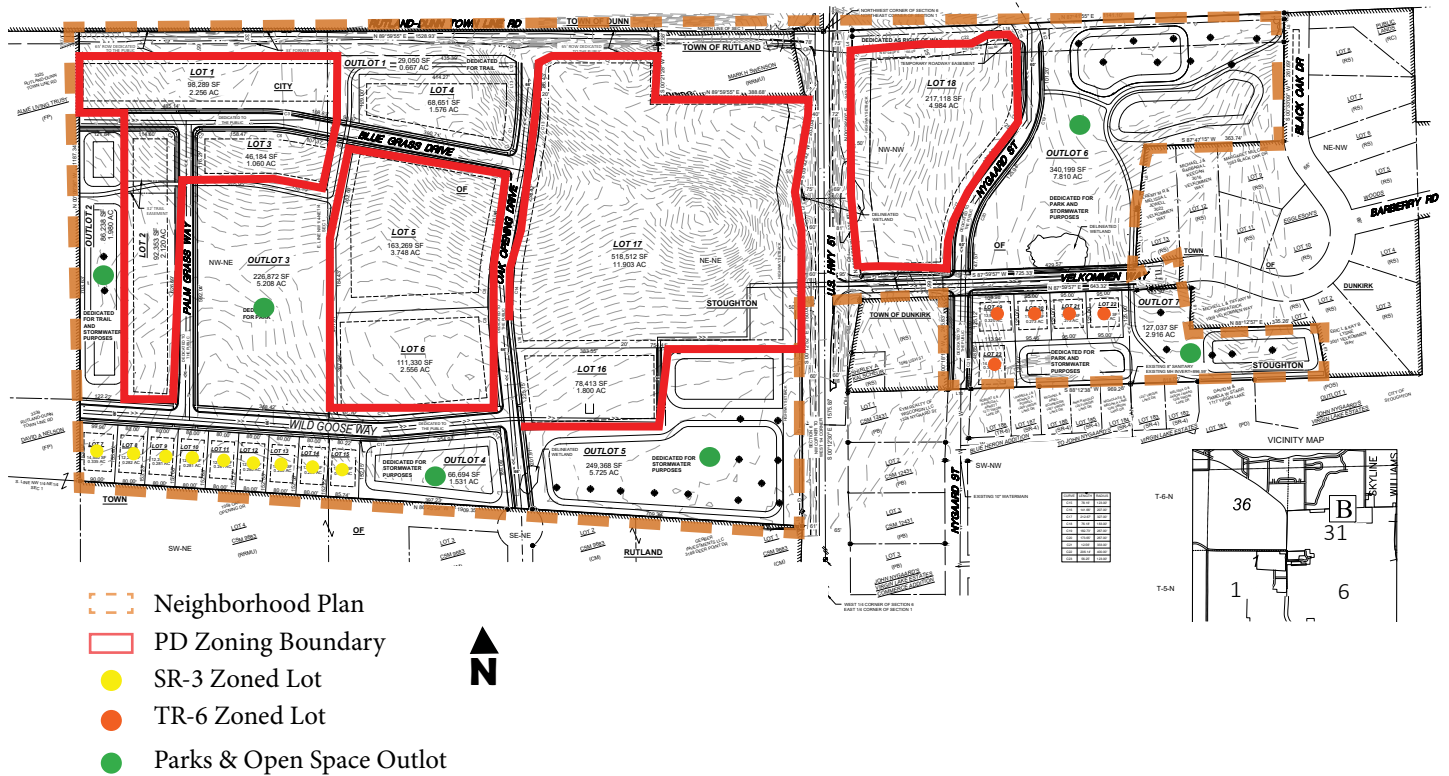
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- "The Planned Mixed Use category is intended to allow consideration of a range of uses and zoning districts, with the understanding that the appropriate combination and arrangement of uses and zoning districts will be approved on a case-by-case basis."

Based on these land use policies, the 51 West Neighborhood fits the intent of the PMU, while taking into consideration the surrounding uses and general character of the planned neighborhood. *See also the Relationship to Nearby Properties section on the next page.*

PD Zoning Rationale

The Planned Development classification will allow the flexibility that both the developer and the City of Stoughton need to successfully implement the proposed mix of uses as a coherent, well-designed neighborhood.

FIGURE 1. 51 West Neighborhood & Requested Zoning



Relationship to Nearby Properties

The general development concept site plan (Figure 2 on page 6) depicts a mixed-use neighborhood with commercial along USH 51 frontage (west side) and a mix of residential unit types on both sides of USH 51.

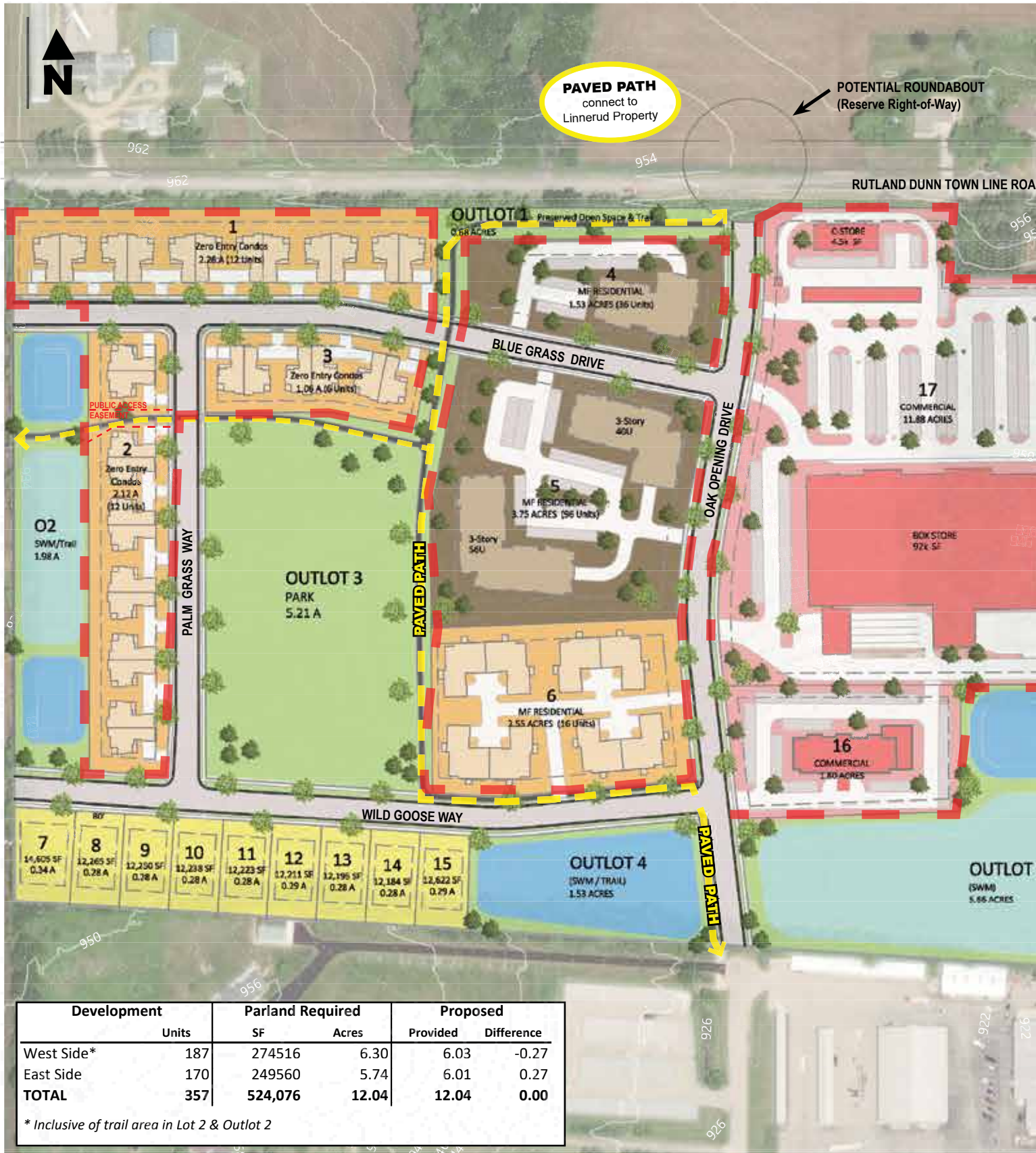
On the east side, Fifty One West, LLC proposes duplex lots along Velkommen Way (east of Nygaard Street) to provide a natural extension of the single-family and duplex neighborhood to the south, as well as to provide a smooth transition to the rural, single-family homes east of the development. Higher-density residential units are proposed north of Velkommen Way on Lot 18. This provides increased density in the overall neighborhood and is compatible with the potential future commercial development to the north (shown in the 2006 Linnerud Detailed Neighborhood Plan).

On the west side of USH 51, Fifty One West, LLC proposes a mix of residential unit types from single-family to side-by-side condos to larger multi-family buildings. As proposed in the current Planned Mixed Use

designation, high-density residential is preferred adjacent to intensive industrial/commercial to the south and planned commercial to the north and west (within this development). However, to provide for a balanced neighborhood, Fifty One West, LLC is proposing to include a mix of unit types along the west end of the neighborhood concept, including some single-family lots. The proposed 9 single-family lots are compatible with the existing single-family lots to the south at 1497 Oak Opening Drive and 1509 Oak Opening Drive adjacent to the south. Lots 4-6 help to maintain higher density in the overall neighborhood. The proposed independent living development on Lots 1-3 provides housing options for seniors to “age in place” (i.e., remain in the community as they age). Should current Stoughton seniors move into these independent living developments, the City’s existing (older) housing stock would become available as an affordable housing option for families and other individuals.

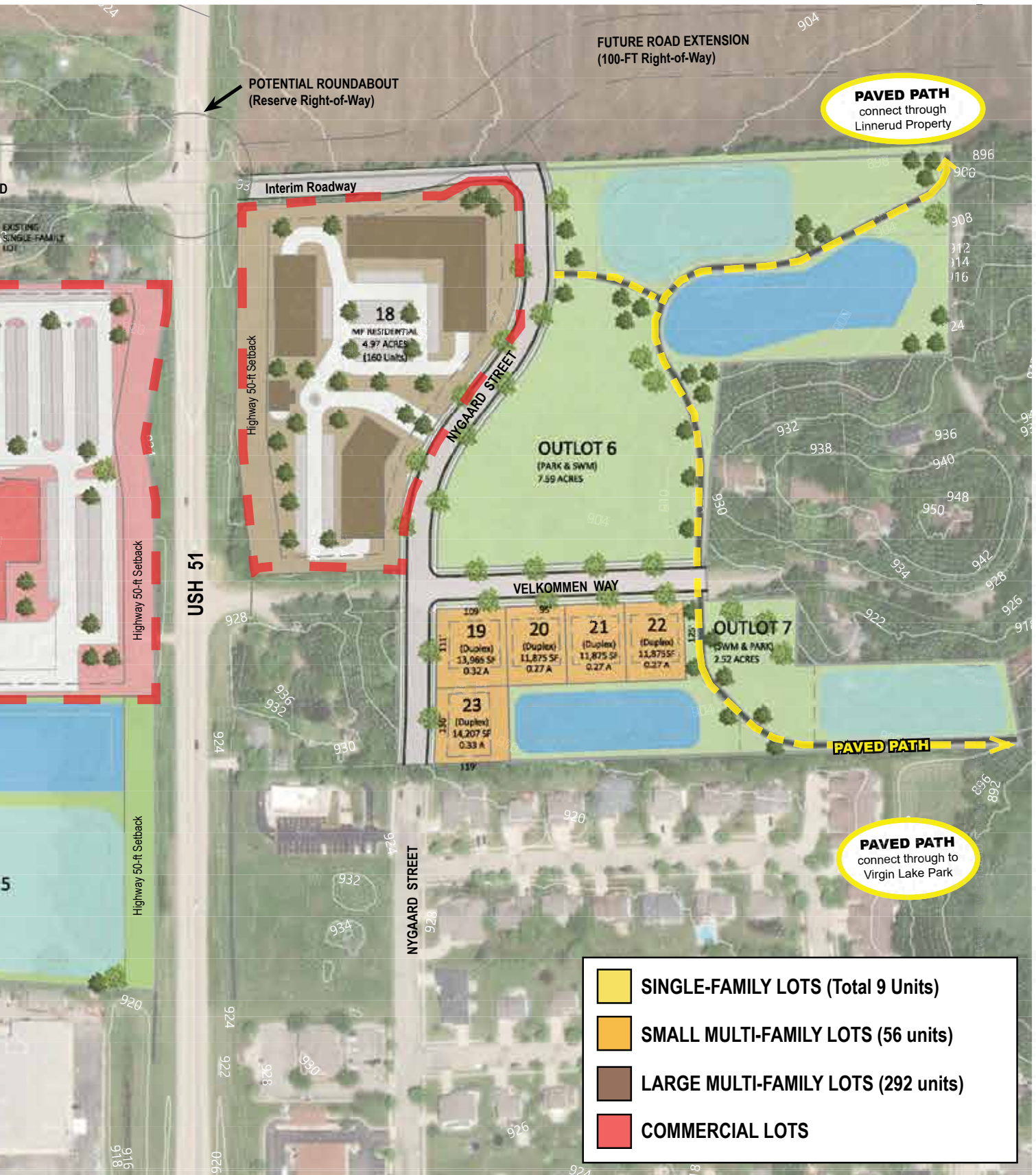
FIGURE 2: General Development Site Concept Plan

All site plans shown are generic examples to indicate the development potential for the site based on current market viability assumptions. Each individual site is shown with adequate parking for the suggested use. This draft plan is intended to indicate the proposed uses and arrangement of uses within the GDP and to support further discussion about uses, parking, street access and internal site circulation. **Lots 7-15 and Lots 19-23 will be zoned using conventional zoning (not part of PD).**





PLANNED DEVELOPMENT LOTS



Project Timing and Phasing

It is estimated that a total buildout may take four to eight years after putting in the roads and utilities; however, the nature and complexity of securing good buildings, businesses and tenants for the development can be unpredictable. Every effort will be made to build out as soon as possible.

The first phase will be to develop the east side of USH 51 with utility infrastructure extensions, road construction, mass grading and pond development. Fifty One West, LLC anticipates a Specific Implementation Plan (SIP) submittal for Lot 18 in Fall 2021.

The second phase of the project will be to build out the west side of USH 51, most likely beginning with residential lots.

Neighborhood Character/Theme

The development will be a complete neighborhood from single-unit detached lots to multi-unit attached housing developments to commercial development serving local and regional customers. There is a potential for a mid-size box commercial tenant that will incorporate strategies to soften its impact on the neighboring residential developments through building orientation, parking placement, and landscaping. See Section G for building types desired for each lot within the 51 West Neighborhood Planned Development.

Stormwater Management

The majority of the stormwater ponds have been designed with a “naturalistic” layout, especially through the trail corridor and park space in Outlot 6. As shown, there are six wet ponds for pre-treatment and four infiltration ponds that will serve this development and manage off-site runoff (from the south and east of Outlot 7). The stormwater management system is intended to control peak runoff rates for events ranging from the 1-year through the 200-year event. Additionally runoff volumes will be controlled for the annual average rainfall record (per county and state standards) but also for events ranging from the 1-year through the 200-year event. This last requirement is necessary to prevent volume related flood elevation increases in landlocked basins which lie downstream from the proposed site. Note that these requirements will need to be met regardless of on-site development density and potential changes in drainage patterns within the site.

Natural Area & Open Space

Natural Features

The 51 West Neighborhood incorporates a mix of uses and densities, while also providing for open space – specifically, adjacent to existing developed lands. The proposed outlots preserve open space through two park spaces, trail corridors, preserved woodlands and stormwater management areas. Additional information on the area’s natural features is provided below.

- The Comprehensive Plan identifies lands along USH 51 just south of the Rutland-Dunn Town Line Road as a potential environmental corridor, but this needs verification. Per the natural resource base map (Map 2 in the Comp Plan), this designation is based on woodlands that no longer exist. These lands are not identified in the CARPC Environmental Corridor and there are no floodplain or surface water features.
- There are woodlands adjacent to Rutland-Dunn Town Line Road (in the northwest corner of the development) that will be partially preserved through building setbacks.
- Four small, low-quality wetlands were delineated in 2020; however, Fifty One West, LLC has since received DNR wetland fill approval through federal exemption.

Park/Open Space

The Parks and Recreation Committee approved the park locations with interest in seeing the development meet the parkland dedication requirement. Since this approval, the park in Outlot 6 has expanded by removing four duplex lots along Velkommen Way, and the paved path no longer runs through Outlot 4 (due to increase in stormwater management requirements). The net result is the development meets the parkland dedication requirement across both sides of USH 51 and provides for trail connections in multiple directions.

Utilities

MSA is coordinating water and sewer service with the City of Stoughton. It is currently anticipated that the development on both sides of USH 51 will gravity drain to the sanitary manhole located at the rear yard connection of Lots 183 and 184 of the Blue Heron Addition to John Nygaard’s Virgin Lake Estates. The sanitary will then gravity flow down Virgin Lake

Drive to Roby Road and ultimately to the interceptor on Kings Lynn Road. The watermain will be extended from the current end of Nygaard Street to serve all parcels in this development. It will be oversized through 51 West along Nygaard Street and Oak Opening Way to serve future development to the north. Water loops will be established by connecting to Kettle Park West via Oak Opening Drive (during this development process) and through land to the north back to Kings Lynn Road (when that land develops).

Transportation (see Figure 3)

Streets

The western portion of the development includes public access via Oak Opening Drive (66-ft ROW), Wild Goose Way (66-ft ROW), Palm Grass Way (60-ft ROW) and Blue Grass Drive (60-FT ROW). The east side includes Nygaard Street (60-ft ROW) and Velkommen Way (66-ft ROW).

This neighborhood concept reserves land east of USH 51 for the future extension of Rutland Dunn Town Line Road. That extension is identified in the 2006 Linnerud Detailed Neighborhood Plan as a 100-foot ROW; a portion of that ROW is provided. To enable highway access from Nygaard Street via Rutland Dunn Town Line Road prior to development of the lands to the north, an interim, rural-section roadway is proposed at this time for that extension, within the portion of the ROW provided by 51 West. If that connection to the highway is approved by WisDOT, Fifty One West, LLC. is proposing closure of Velkommen Way at USH 51. The development team is evaluating the operations and functionality of all access needs and improvements through a Traffic Impact Analysis (TIA) study, to be submitted for City review in May 2021. The development team and City staff have met with virtually with WisDOT on two occasions to get initial feedback on the development's access requests.

Pedestrian Connections

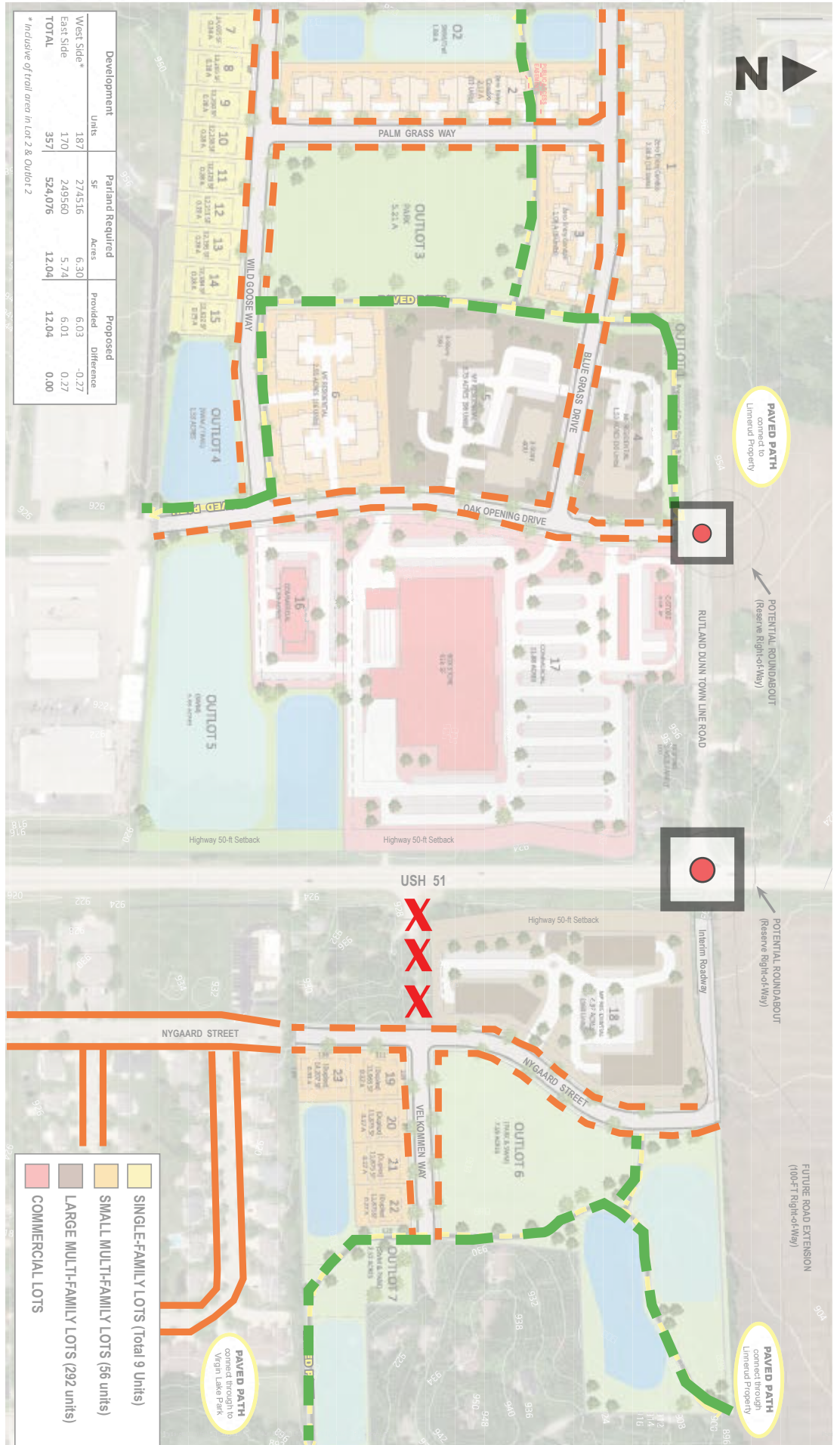
Paved, multi-use paths are proposed on both sides of USH 51. On the west side of USH 51, a paved path will run through the center of the neighborhood via Outlots 1 and 3 (with a small segment along Wild Goose Way and Oak Opening Drive). An additional paved trail will run through Outlot 2 (via a trail easement) that could connect to future development to the west. On the east side of USH 51, a paved path will run along the eastern edge of the neighborhood

through Outlot 7 and the proposed park space (Outlot 6), terminating in the northeast corner of the neighborhood. Future connections by the City could link this path to Howard Heggstad Park and Virgin Lake Park. The intent is to have these two paths connect across USH 51 via lands to the north (the Linnerud property on the east and Fifty One West, LLC on the west). Sidewalks will be provided on both sides of all public streets, except where a multi-use path is planned, along Rutland-Dunn Town Line Road and along USH 51 frontage.

Management and Maintenance

The on-going management and maintenance of areas within private lot boundaries will be the responsibility of site owners. Maintenance, care, upkeep, snow removal etc. of pedestrian areas, sidewalks, bike trails, utilities, etc. within the development and along the public streets will be the responsibility of the developer, association or private lot owner. The maintenance of the storm pond and multi-use trails in the right-of-way of the public streets after the developer installs them will be the responsibility the City. A Developer's Agreement will be negotiated with the City to establish the assignment of these responsibilities.

**FIGURE 3:
Transportation
Network**



LEGEND

Multi-Use Path

- Existing
- Proposed

Public Sidewalk

- Existing
- Proposed

Intersection Improvements
(pending WisDOT review of TIA)



Road Removal



	SINGLE-FAMILY LOTS (Total 9 Units)
	SMALL MULTI-FAMILY LOTS (56 units)
	LARGE MULTI-FAMILY LOTS (292 units)
	COMMERCIAL LOTS

D. DEVELOPMENT STANDARDS

Land Use, Density, Bulk Regulations

Lot development within the 51 West Neighborhood Planned Development (PD) shall meet the standards identified in this section.

Lots 1-3

- Permitted and conditional uses as identified in TR-6 zoning district - plus, Townhouse (78-206.5) up to 4 units per building.
- Building Setbacks (min):
 - Front: 20 feet
 - Side: 10 feet
 - Rear: 20 feet
- Allow multiple buildings on a single lot with a minimum of 20 feet separation.
- Unit Allowance (Density):
 - Lot 1: up to 12 units
 - Lot 2: up to 12 units
 - Lot 3: up to 6 units

Lot 4

- Permitted and conditional uses as identified in MR-24 zoning district.
- Building Setbacks (min):
 - Front: 25 feet
 - Side: 20 feet
 - Rear: 25 feet
- Allow multiple buildings on a single lot with a minimum of 20 feet separation.
- Unit Allowance (Density): up to 36 units

Lot 5

- Permitted and conditional uses as identified in MR-24 zoning district.
- Building Setbacks (min):
 - Front: 25 feet
 - Side: 20 feet
 - Rear: 40 feet
- Allow multiple buildings on a single lot with a minimum of 20 feet separation.
- Unit Allowance (Density): up to 96 units

Lot 6

- Permitted and conditional uses as identified in MR-10 zoning district.
- Building Setbacks (min):
 - Front: 25 feet
 - Side: 15 feet
 - Rear: 25 feet
- Allow multiple buildings on a single lot with a minimum of 20 feet separation.
- Unit Allowance (Density): up to 16 units

Lots 16-17

- Permitted and conditional uses as identified in Planned Business (PB) zoning district.
- Building Setbacks (min):
 - Front: 20 feet
 - Side: 10 feet
 - Rear: 20 feet
- Allow multiple buildings on a single lot with a minimum of 20 feet separation.
- Maximum FAR: per SIP approval, not to exceed City Standard (1.0 FAR).

Lot 18

- Permitted and conditional uses as identified in MR-24 zoning district.
- Building Setbacks (min):
 - Front: 25 feet
 - Side: 20 feet
 - Rear: 50 feet
- Allow multiple buildings on a single lot with a minimum of 20 feet separation.
- Unit Allowance (Density): up to 160 units

Large Development Standards

Stoughton ordinance Section 78-205(11) shall apply to the commercial lots (16-17) if the development meets (or exceeds) the thresholds of a (Commercial) "Large Development" at the time of SIP submittal, except for the following:

2(c) Traffic Impact Analysis (TIA) - The May 2021 GDP submittal includes a TIA based on the GDP concept (see Figure 2). Should the proposed development exceed the estimated total trips per lot by 20%, an updated TIA shall be required at the time of SIP submittal; otherwise, the TIA, dated **5/10/2021**, will satisfy this requirement.

6(g) Parking - In order to provide for flexibility in parking lot layout due to terrain, building configuration, access and circulation drive locations, pedestrian corridors, cart corral locations and stormwater management facilities, the minimum calculated stall count may be exceeded by up to twenty (20) percent. Parking lots may exceed the twenty (20) percent limit when justified with Plan Commission approval of the Site Plan or Specific Implementation Plan.

6(j) Cart Returns - To allow for efficient design/layout of the parking lot, the minimum cart corral dimensions shall meet typical parking stall in the SIP submittal.

No other modifications are proposed to City Section 78-205(11) at this time. During the formulation of the SIP and/or the preparation of Site Plans and Architectural Plans for individual sites, it may be necessary to consider variations to the standards. All variations would be subject to review and approval by the Plan Commission.

Residential Design Guidelines

To achieve the vision in the GDP, inclusive of varying residential types and densities, the following architectural design guidelines will govern residential development. Anything not specifically described in these guidelines will conform with City Standards.

Building Design

- The buildings shall be placed as close to the front setback as practical to strengthen the street edge and promote street activation.

- All buildings shall be designed with four-sided architectural treatment, utilizing the same design theme and compatible building materials.
- The buildings shall have well-proportioned fenestrations, facade articulation and appropriately scaled architectural features.
- Each building facade shall include two or more elements that provide visual interest and variety, such as balconies, porches, bay windows, garden walls, varied building and facade setbacks, and varied roof designs. Balconies, porches, and bay windows are allowed to encroach into the front setback.
- Facades greater than 100 feet shall consist of variations in the surface plane and roofline heights.

Building Materials

- Use quality materials that are durable and will age well. Acceptable building materials include brick, stone, decorative concrete masonry units, wood and composite siding. Materials such as corrugated metal, EIFS (Exterior Insulation and Finish System), vinyl or aluminum siding, can be used as accent materials, but not as the primary building material.
- A mix of 2-4 materials and/or colors shall be used on each building facade.

Doors and Windows

- A minimum 20% of all facades shall provide glazing or significant architectural detailing to provide visual interest.
- Street-facing facades providing direct access to first story dwelling units through individual entrances are encouraged. A minimum of 25% ground floor units with direct access to the sidewalk is preferred.

Service Areas and Mechanicals

- Service areas shall be integrated with the building design and screened when visible from public streets.
- Loading areas, mechanical equipment or other utility hardware on the ground or building shall be

screened from public view by plantings or decorative walls and fences with materials similar to the adjacent building material.

- Rooftop mechanicals shall be screened using parapet wall extensions and/or screening fences on the roof using materials similar to those used on the building walls.
- Refuse and recycling enclosures shall be constructed of quality material matching the design of the primary building.

Landscaping and Site Treatment

- Low level plant materials should be utilized appropriately as a buffer for parking lots and building utility areas from the street while maintaining visibility for public safety and desirable exposure, using a mix of shrubs, evergreens and various perennials and ornamental grasses.
- In addition to meeting the quantitative landscaping standards in Chapter 78-603 of the Stoughton zoning ordinance, the following shall be met:
 - » Climax Trees: One (1) canopy tree shall be planted for every twenty (20) residential units.
 - » (*Lots 4, 5 & 18 only*) Garage Screening: Garage doors facing public right-of-way or trail easements shall be screened using either a landscaped berm or fencing with supplemental landscaping whenever possible.
- Landscape screening shall include a mix of evergreen and deciduous species to achieve effective visual screening during all seasons of the year.

Decorative Fencing/Walls

- Acceptable materials for constructing decorative fencing/wall include metal/aluminum, wood, stone, brick, and wrought iron.
- Fencing/walls shall be a minimum three feet above grade.

E. CONCEPTUAL LANDSCAPING/SITE DESIGN PLAN

The GDP Concept Plan is a general concept at this time. The plan presents ideas that are a broad-brush example of what will be refined as part of the SIP phase per the following guidelines. The specific details will need to be reviewed as each building site is developed.

General Conditions

The overall plan will reflect the street hierarchy and meet City standards whenever possible. Sidewalks and multi-use trails will meet the City's standards. Plant types should be a mix of canopy and evergreen trees, mixed with shrub clusters and perennial and annual planting beds. Buffer setbacks are observed along public streets. Public street landscaping, lighting, and any other design details in the right-of-way will meet City requirements or be approved.

Individual parking lots will be buffered from adjacent lots, but have an integrated landscape scheme and lighting system. Individual building sites will incorporate foundation plantings, planting beds, and lighting to be appreciated at the pedestrian scale. The City's standards will be the minimum basis for landscaping goals.

Parking Lot Edges and Interiors

All parking lots will require landscaping around their edges and in any landscape islands. At a minimum, the City standards will apply.

Pond Treatments

Natural landscaping will be incorporated around detention ponds to control geese and provide a more natural, sustainable body of water. A few trees will be incorporated either in road terraces and/or on the high side of the pond embankment to meet City Standard 66-904.

Fifty One West, LLC is also open to making one of the ponds suitable for fishing, providing a unique recreational amenity. This opportunity exists primarily with the detention ponds on the east side of USH 51. To allow for this recreational opportunity, the City will need to consider the financial impact to making the additional depth to allow fish to survive in the pond, and consider including the pond in the parkland calculation as the pond will likely need to expand to allow for this recreational amenity.

The City will also take into consideration that the potential long-term impact of reduced water quality (especially, if carp end up in the ponds).



F. CONCEPTUAL SIGNAGE PLAN

General Conditions

Specific signage design will be addressed in the SIP process following the general conditions outlined below.

- Signs should be integrated into and/or designed to be consistent with the building facade.
- Similar materials, colors and styles should be used to ensure the signage is consistent with the building design.
- Materials must be of high quality to prevent premature weathering of the sign.
- Business signage should be wall mounted (projecting or flat), monument (if located away from the building), window, canopy or awning style.
- Signs that are prohibited include the following: billboard style wall-mounted or roof-mounted signs, and flashing and programmable electronic signs.
- All development signage would be subject to the City's sign permitting process, and will follow City ordinances for size, amount and location.



G. BUILDING TYPES / THEMES

Land Use Development Areas

There are six general building types that are allowed within the development, which are described in the following pages. Section D provides all permitted uses by PD lot with Figure 8 (below) providing preferred building types per lot.

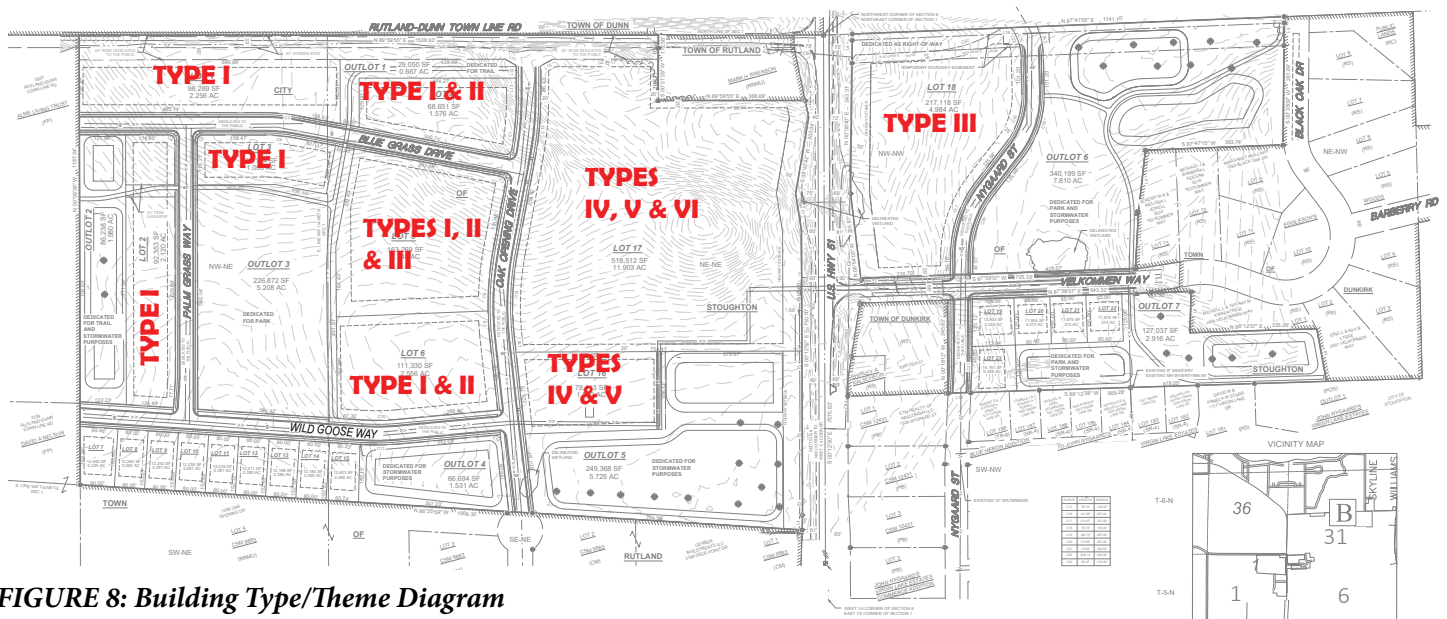


FIGURE 8: Building Type/Theme Diagram

**Building Type I:
SMALL FORMAT RESIDENTIAL**

This building type is allowed Lots 1-6.



**Building Type II:
MEDIUM FORMAT RESIDENTIAL**

This building type is allowed Lots 4, 5 & 6.



Building Type III:

LARGE FORMAT RESIDENTIAL

This building type is allowed Lots 4, 5, & 18.



**Building Type IV:
MEDIUM-TO-SMALL COMMERCIAL
FORMAT**

Medium-to-Small Format Commercial uses are generally between 15,000 SF and 60,000 S.F. in one to three stories in height. There could be multiple uses within a building.

This building type is allowed on Lots 16 & 17.



**Building Type V:
LARGE VERTICAL COMMERCIAL
FORMAT**

Large Vertical Commercial uses are generally less than 125,000 S.F. with no more than 60,000 S.F. on the first floor area. It may be one to four stories in height. There could be multiple uses within a building.

This building type is allowed on Lots 16 & 17.



Building Type VI:
**LARGE HORIZONTAL
COMMERCIAL FORMAT**

Large Horizontal (big box) Commercial uses are 100,000+ S.F. on the first floor area. The building is single story with possible mezzanine structures inside. Typically, there is one primary user with the ability to add one or more in-store tenants.

This building type is allowed on Lot 16.



51 West Neighborhood

General Development Plan (GDP) Appendix:

- Map with Owners within 300 feet
- General Development Plan
- 51 West Traffic Impact Analysis (TIA)

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