

PUBLIC HEARING NOTICE

The City of Stoughton Plan Commission will hold a Public Hearing on Monday, June 8, 2020 at 6:00 o'clock p.m., or as soon after as the matter may be heard, in the Council Chambers, Public Safety Building, 321 South Fourth Street, Second Floor, Stoughton, Wisconsin, 53589, to consider a proposed Conditional Use Permit Application by Jim Hess to allow upper story dwellings as an accessory use at 700 Nygaard Street, Stoughton, Wisconsin. The property at 700 Nygaard Street is owned by Sainvas LLC and is more fully described as follows:

Parcel Number: 281/0511-063-2134-7

DVORAK'S ADDITION LOT 24

For questions regarding this notice please contact Michael Stacey, Zoning Administrator at 608-646-0421.

Additional information including a location map can be found at:
<http://stoughtoncitydocs.com/planning-commission/>

Published May 14, 2020 Hub

Published May 21, 2020 Hub

Mixed-Use Building
700 Nygaard Street
Stoughton, Wisconsin
Dimension IV Project No. 16069
May 7, 2020

CONDITIONAL USE & SITE PLAN REVIEW PROJECT DESCRIPTION

1. Project Team

Project Contact:

James Hess
437 S. Yellowstone Drive, Suite 201
Madison, Wisconsin 53719
(P) 608-239-5812
Email: HessJames@gmail.com

Applicant/
Land Owner

Sainivas, LLC
Attention: Anand Santhalingam
810 Silver Sage Trail
Middleton, Wisconsin 53562
(P) 608-316-1516
Email: anand.santhalingam@gmail.com

Architect:

Dimension IV – Madison, LLC
6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719
Attention: Jerry Bourquin
(P) 608-829-4452
Email: jbouquin@dimensionivmadison.com

Civil Engineer/
Site Design:

Snyder & Associates
5010 Voges Road
Madison, Wisconsin 53718
Attention: Brian Arcand
(P) 608-838-0444
Email: barcand@snyder-associates.com

Contractor:

Imperial Builders & Contractors, LLC
Attention: Derek Card
4837 Dream Lane
Madison, Wisconsin 53718
(P) 608-290-1147
Email: derek@imperialbuilders.net

6515 Grand Teton Plaza, Suite 120
Madison, Wisconsin 53719

p 608.829.4444

f 608.829.4445

2. Existing Conditions:
The site and building are presently vacant.
3. Project Schedule:
Upon securing city agency and financing approval, the project will start construction this summer, with occupancy in winter 2020/spring 2021.
4. Proposed Use:
The building is a mixed-use building with 9 apartments, commercial space, and covered parking.
5. Hours of Operation:
The building will be available for use 24 hours per day, seven (7) days per week.
6. Building Square Footage:

1 st floor footprint	5,338 sf (not including open air parking under building)
2 nd floor footprint	6,206 sf
3 rd floor footprint	<u>6,206 sf</u>
	17,750 sf
7. Parking Stalls:
19 parking stalls
2 bicycle stalls
8. Lot Data:
Zoning: Planned Business Use; Mixed-use, residential dwelling units is a conditional use.

Lot Size: 20,993 square feet.

Lot Coverage:

Building Area	6,227 sf	29.7%
Impervious Area	7,077 sf	33.7%
Pervious Area	<u>7,689 sf</u>	<u>36.6%</u>
Total	20,993 sf	100%
9. Jobs Created:
Commercial tenant will provide services to the Stoughton area and create local jobs. The dwelling unit residences will provide customers for local businesses and services.

**City of Stoughton Application for Conditional Use Review and Approval
(Requirements per Section 78-905)**

Applicant Name: James Hess

Applicant Address: 437 S. Yellowstonw Drive, Suite 201, Madison, Wisconsin 53719

Applicant Phone and Email: 608-239-5812 ; HessJame@gmail.com

Property Owner Name (if different than applicant): Sainivas, LLC c/o Anand Santhalingam

Property Owner Phone: 608-316-1516

Subject Property Address: 700 Nygaard Street, Stoughton

This form is designed to be used by the Applicant as a guide to submitting a complete application for a conditional use review *and* by the City to process said application. Parts II and III are to be used by the Applicant to submit a complete application. (See conditional use review and approval procedures attached)

I. Record of Administrative Procedures for City Use

Application form filed with Zoning Administrator Date: _____

Application fee of \$_____ received by Zoning Administrator Date: _____

II Application Submittal Packet Requirements

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application for staff review at least 30 days prior to a Planning Commission meeting, followed by one revised draft final application packet based upon staff review and comments. The final application materials are required to be submitted at least 2 weeks prior to the Planning Commission meeting.

Initial Packet

(1 electronic 11 x 17 copy of plans to Zoning Administrator) Date: _____

Final Packet

(1 electronic 11 x 17 copy of plans
and if necessary one large scalable copy of plans to Zoning Administrator) Date: _____

(a) A map of the proposed conditional use:

- Showing all lands under conditional use consideration.
- All lot dimensions of the subject property provided.
- Graphic scale and north arrow provided.

(b) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations.

(c) A site plan (conforming to the requirements of Section 78-908(3)) of the subject property as proposed for development OR if the proposed conditional use is a large development (per Sections 78-205(11)). A proposed preliminary plat or conceptual plat may be substituted for the required site plan, provided said plat contains all information required on said site plan per Section 78-908.

(d) Written justification for the proposed conditional use indicating reasons why the Applicant believes the proposed conditional use is appropriate with the recommendations of the City of Stoughton Comprehensive Plan, particularly as evidenced by compliance with the standards set out in Section 78-905(5)(c)1-6, as follows.

3. How does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the surroundings of the subject property?

The use is consistent with proposed surrounding land use plan. There are adjacent residential and commercial uses that the project will blend in with.

4. Is the proposed conditional use located in an area that will be adequately served by and will not impose an undue burden on any of the improvements, facilities, utilities or services provided by public agencies serving the subject property?

Public utilities and services will be available to the site.

5. Do the potential public benefits of the proposed conditional use outweigh all potential adverse impacts of the proposed conditional use (as identified in Subsections 78-905(5)(c)1-5.), after taking into consideration any proposed options to minimize such impacts?

The proposed use has minimal impacts. It has minimal service and utility requirements. It has low traffic activity.

IV. Application Information for City Use

Notified Neighboring Property Owners (within 300 feet) Date: _____

Notified Neighboring Township Clerks (within 1,000 feet) Date: _____

Class 2 legal notice sent to official newspaper by City Clerk Date: _____

Class 2 legal notice published on _____ and _____ Date: _____

Conditional Use recorded with the County Register of Deeds Office after approval

City of Stoughton Application for Site Plan Review and Approval (Requirements per Section 78-908)

Applicant Name: James Hess
Applicant Address: 437 S. Yellowstone Drive, Suite 201, Madison, Wisconsin 53719
Applicant Phone and Email: 608-239-5812; HessJames@gmail.com
Property Owner Name (if different than applicant): Sainivas, LLC c/o Anand Santhalingam
Property Owner Phone: 608-316-1516
Subject Property Address: 700 Nygaard Street, Stoughton

This form is designed to be used by the Applicant as a guide to submitting a complete application for a site plan review *and* by the City to process said application. Part II is to be used by the Applicant to submit a complete application; Parts I - III are to be used by the City when processing said application.

I. Record of Administrative Procedures for City Use

Application form filed with Zoning Administrator

Date: _____

II Application Submittal Packet Requirements for Applicants Use

Prior to submitting the final complete application as certified by the Zoning Administrator, the Applicant shall submit an initial draft application packet for staff review followed by one revised final application packet based upon staff review and comments. The application shall include the following:

(a) **A written description of the intended use describing in reasonable detail the following:**

- Existing zoning district(s) (and proposed zoning district(s) if different).
- Comprehensive Plan Future Land Use Map designation(s).
- Current land uses present on the subject property.
- Proposed land uses for the subject property (per Section 78-206).
- Projected number of residents, employees, and daily customers.
- Proposed amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density, floor area ratio, impervious surface area ratio, and landscape surface area ratio.
- Operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loadings, and traffic generation.
- Operational considerations relating to potential nuisance creation pertaining to noncompliance with the performance standards addressed in Article VII (Sections 78-701 through 721) including: street access, traffic visibility, parking, loading, exterior storage, exterior lighting, vibration, noise, air pollution, odor, electromagnetic radiation, glare and heat, fire and explosion, toxic or noxious materials, waste materials, drainage, and hazardous materials.
- If no nuisances will be created (as indicated by complete and continuous compliance with the provisions of Article VII), then include the statement "The proposed development shall comply with all requirements of Article VII".
- Exterior building and fencing materials (Sections 78-716 and 78-718).

- Possible future expansion and related implications for points above.
- Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
- (c) **A *Property Site Plan* drawing which includes the following:**
 - A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer or planner) for project.
 - The date of the original plan and the latest date of revision to the plan.
 - A north arrow and a graphic scale (not smaller than one inch equals 100 feet).
 - A reduction of the drawing provided electronically at 11" x 17".
 - A legal description of the subject property.
 - All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled.
 - All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose.
 - All required building setback lines.
 - All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, utilities and walls.
 - The location and dimension (cross-section and entry throat) of all access points onto public streets.
 - The location and dimension of all on-site parking (and off-site parking provisions if they are to be employed), including a summary of the number of parking stalls provided versus required by the Ordinance.
 - The location and dimension of all loading and service areas on the subject property and labels indicating the dimension of such areas.
 - The location of all outdoor storage areas and the design of all screening devices.
 - The location, type, height, size and lighting of all signage on the subject property.
 - The location, height, design/type, illumination power and orientation of all exterior lighting on the subject property—including the clear demonstration of compliance with Section 78-707.
 - The location and type of any permanently protected green space areas.
 - The location of existing and proposed drainage facilities.
 - In the legend, data for the subject property on the following
 - a. Lot Area
 - b. Floor Area
 - c. Floor Area Ratio (b/a)
 - d. Impervious Surface Area
 - e. Impervious Surface Ratio (d/a)
 - f. Building height

- (d) **A Detailed Landscaping Plan of the subject property:**
- Scale same as main plan (> or equal to 1" equals 100').
 - Electronic Map at 11" x 17".
 - Showing the location of all required bufferyard and landscaping areas.
 - Showing existing and proposed Landscape Points including fencing.
 - Showing berm options for meeting said requirements.
 - Demonstrating complete compliance with the requirements of Article VI.
 - Providing individual plant locations and species, fencing types and heights, and berm heights.

- (e) **A Grading and Erosion Control Plan:**
- Scale same as main plan (> or equal to 1" equals 100').
 - Electronic map at 11" x 17"
 - Showing existing and proposed grades including retention walls and related devices, and erosion control measures.

- (f) **Elevation Drawings of proposed buildings or remodeling of existing buildings:**
- Showing finished exterior treatment.
 - With adequate labels provided to clearly depict exterior materials, texture, color and overall appearance.
 - Perspective renderings of the proposed project and/or photos of similar structures may be submitted, but not in lieu of adequate drawings showing the actual intended appearance of the buildings.

NOTE: Initiation of Land Use or Development Activity: Absolutely no land use or development activity, including site clearing, grubbing, or grading shall occur on the subject property prior to the approval of the required site plan. Any such activity prior to such approval shall be a violation of law and shall be subject to all applicable enforcement mechanisms and penalties.

NOTE: Modification of an Approved Site Plan: Any and all variation between development and/or land use activity on the subject property and the approved site plan is a violation of law. An approved site plan shall be revised and approved via the procedures of Subsections 78-908(2) and (4) so as to clearly and completely depict any and all proposed modifications to the previously approved site plan, prior to the initiation of said modifications.

III. Final Application Packet Information for City Use

Receipt of (8.5" by 11" text and 11" by 17" graphics electronically)
copies of complete final application packet by Zoning Administrator

Date: _____

MIXED USE DEVELOPMENT

700 Nygaard St., Stoughton, WI 53589



RENDERING IS REPRESENTATIVE ONLY - SEE DOCUMENTS FOR ALL BUILDING INFORMATION

PROJECT /PERSPECTIVE

Architecture :

Dimension IV - Madison Design Group

6515 Grand Teton Plaza, Suite 120, Madison, WI 53719
p: 608.829.4444 www.dimensionivmadison.com

**Civil
Engineer:**

Snyder & Associates, Inc.

5010 Voges Rd., Madison, WI 53718
p: 608 - 838 - 0444 snyder-associates.com

Drawing List

Cover Sheet
Location Map
Vicinity Street Views

Survey
T100 - Title Sheet (Civil)
C100 - Existing Site Plan
C200 - Site Plan
C300 - Grading Plan
C301 - Erosion Control Plan
C400 - Utility Plan
Landscape Plan
Lighting Plan

Architectural Site Plan - Ground floor Plan
Upper Floor Plans
Elevations 1
Elevations 2
3D View

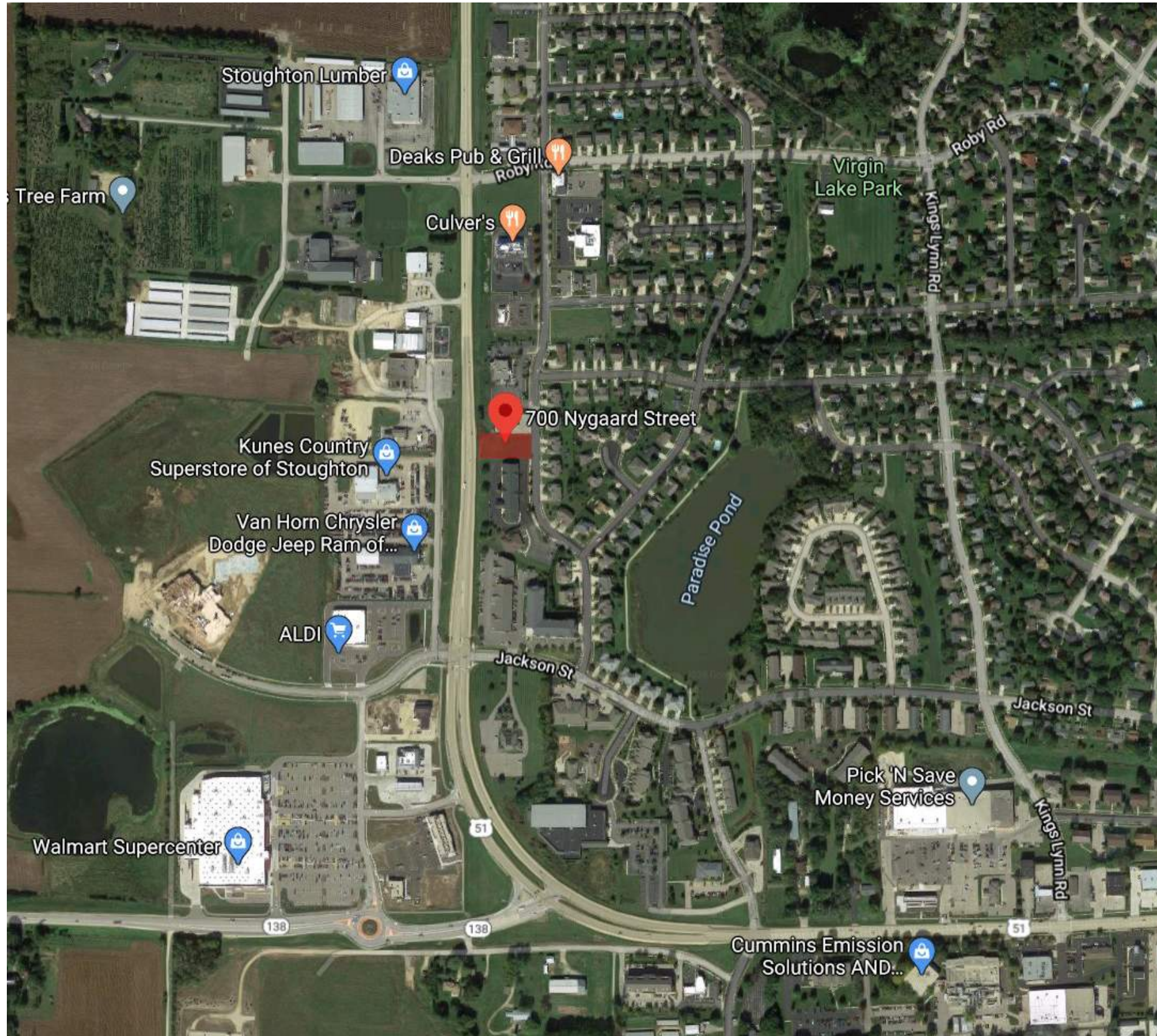


CONDITIONAL USE & SITE PLAN REVIEW

PROJECT # 16069

7 MAY 2020

GO.1



Location Map

Not to Scale 
MIXED USE DEVELOPMENT



Looking NW along Nygaard from NE Corner of Site



Looking NW along Nygaard



Looking NW along Nygaard at Buckingham Rd.



Looking SW along Nygaard from NW Corner of Site



Looking SW along Nygaard

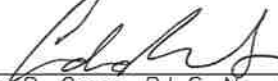


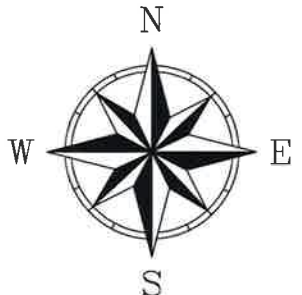
Aerial View Looking SW along Nygaard

SURVEYOR'S CERTIFICATE

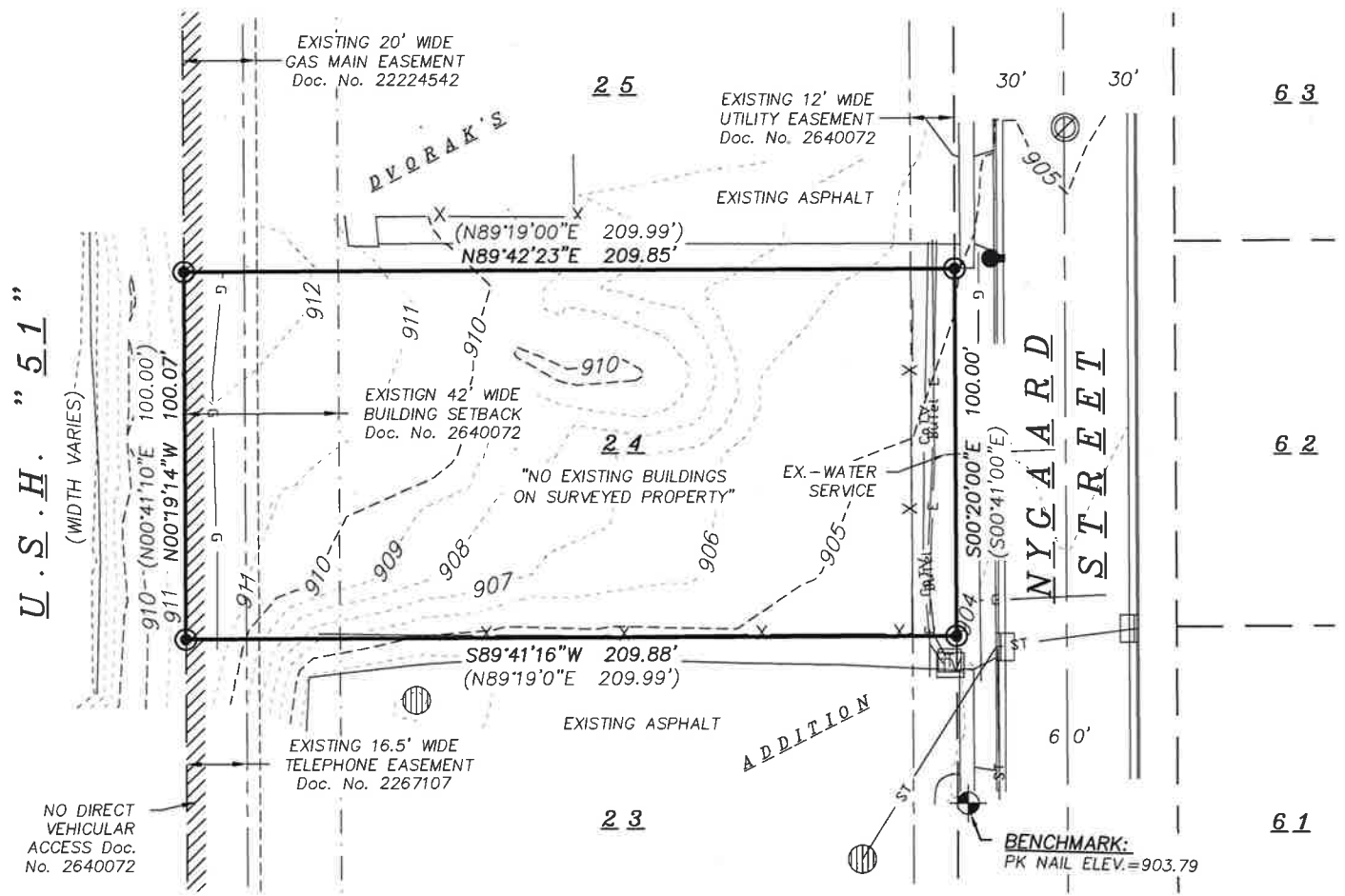
I, Adam R. Gross, Professional Land Surveyor, hereby certify that the foregoing survey was executed under my direction and control and that said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief.

Dated this 17th day of MARCH, 2017.

Signed: 
Adam R. Gross, P.L.S. No. 3017



BEARINGS ARE BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM, DANE COUNTY, THE WESTERLY RIGHT OF WAY LINE OF NYGAARD STREET, MEASURED AS BEARING S00°20'00"E



NOTES:

Lot 24, Dvorak's Addition, as recorded in Volume 57-006B of Plots, on pages 17-20, as Document Number 2640072, Done County Registry and located in the Northwest Quarter of the Southeast Quarter of Section 6, Township 5 North, Range 11 East, City of Staughton, Done County, Wisconsin.

Date of Field Survey: March 17, 2017

Elevations are based upon NAVD88 Datum and are referenced to the WISCORS (Wisconsin Continuously Operating Reference Stations) network.

Surveyor has made no investigation or independent search for easements of record, encumbrances, restrictive covenants, ownership title evidence, or any other facts that the current title search may disclose.














No attempt has been made as a part of this survey to obtain or show data concerning size, depth, condition or capacity of any utility or municipal/public service facility. For information regarding these utilities or facilities contact the appropriate agencies.

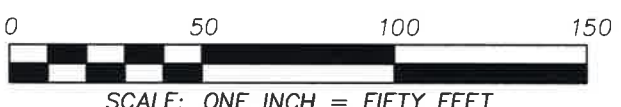
Subsurface utilities and features shown on this survey have been approximated by locating surficial features and appurtenances, locating Digger's Hotline field markings and by reference to utility records and maps. Digger's Hotline Ticket Number 20171102458.

Before excavation, appropriate utility companies should be contacted. For exact location of underground utilities, contact Digger's Hotline at 1-800-242-8511.

This Survey is subject to any and all easements and agreements recorded and unrecorded.

LEGEND

-  1" IRON PIPE FOUND
-  SANITARY MANHOLE
-  CIRCULAR INTAKE/INLET
-  CURB INLET
-  TELEPHONE JUNCTION BOX
-  MAIL BOX
-  ST STORM SEWER LINE
-  W WATER MAIN LINE
-  G BURIED GAS LINE
-  BuTel BURIED TELEPHONE LINE
-  E BURIED ELECTRIC LINE
-  CaTV BURIED CABLE TV LINE
-  X FENCE LINE



 **SNYDER & ASSOCIATES**
Engineers and Planners

V:\Projects\2017\117.0291.30\CADD\Topo_Bose_2017-03-17.dwg

SURVEYED FOR:
Jim Hess
437 S. Yellowstone Drive
Suite 201
Modison, WI 53719

SURVEYED BY:
Snyder & Associates, Inc.
5010 Voges Road
Modison, WI 53718
(608) 838-0444
www.snyder-associates.com

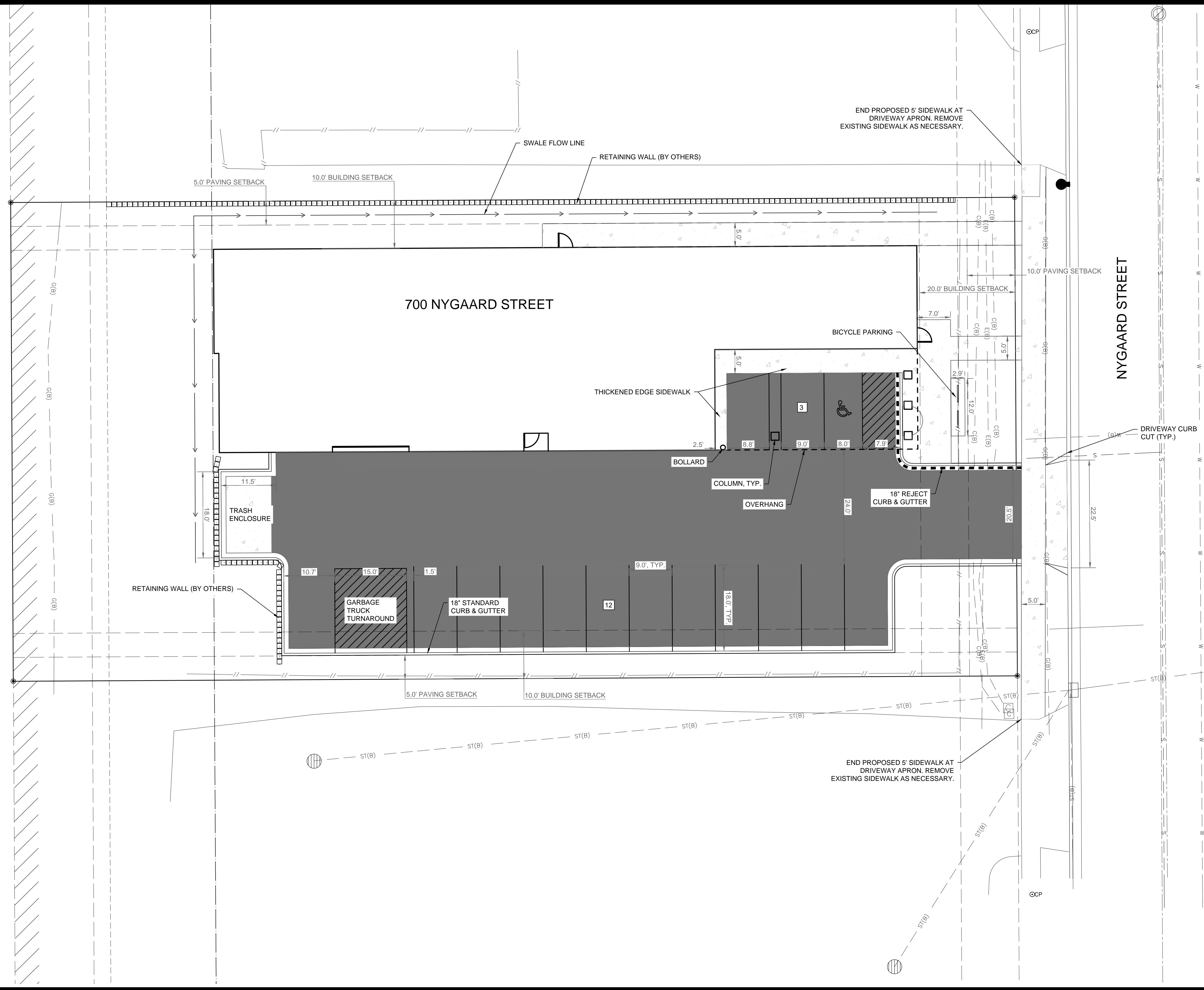
EXISTING SITE SURVEY
LOT 24, DVORAK'S ADDITION, AS RECORDED IN VOLUME 57-006B OF PLATS, ON PAGES 17-20, AS DOCUMENT NUMBER 2640072, DANE COUNTY REGISTRY AND LOCATED IN THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 6, TOWNSHIP 5 NORTH, RANGE 11 EAST, CITY OF STOUGHTON, DANE COUNTY, WISCONSIN.

FN: 117.0291.30
DATE: 03-16-17

REVISIONS:

SHEET
1 OF 1

D:\1200442\300\ADD\1200442_Plan.dwg BRUN ARCAD, SITE PLAN, 20200508, 11:25 AM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



ZONING
PLANNED BUSINESS

PROPERTY DESCRIPTION
MIXED USE
20,993 SQ. FT. - 0.48 ACRES

PARCEL NUMBERS
0511-063-2134-7

GENERAL USE
RESIDENTIAL AND COMMERCIAL

BUILDING DESCRIPTION
MIXED USE
TOTAL BUILDING HEIGHT = 46'
FLOOR SF = 17,750 SF
FLOOR AREA RATIO = 84.6%

PARKING STALL COUNT
7 COVERED PARKING STALLS (1 ADA)
15 SURFACE PARKING STALLS (1 ADA)

BASE SITE CALCULATIONS
LOT AREA = 20,993 SQ. FT.
PERVIOUS AREA = 7,689 SQ. FT. (36.6% LOT COVERAGE)
IMPERVIOUS AREA = 13,304 SQ. FT. (63.4% LOT COVERAGE)
BUILDING = 6,227 SQ. FT.
SIDEWALK = 817 SQ. FT.
PAVEMENT = 6,260 SQ. FT.
IMPERVIOUS SURFACE RATIO = 63.4%

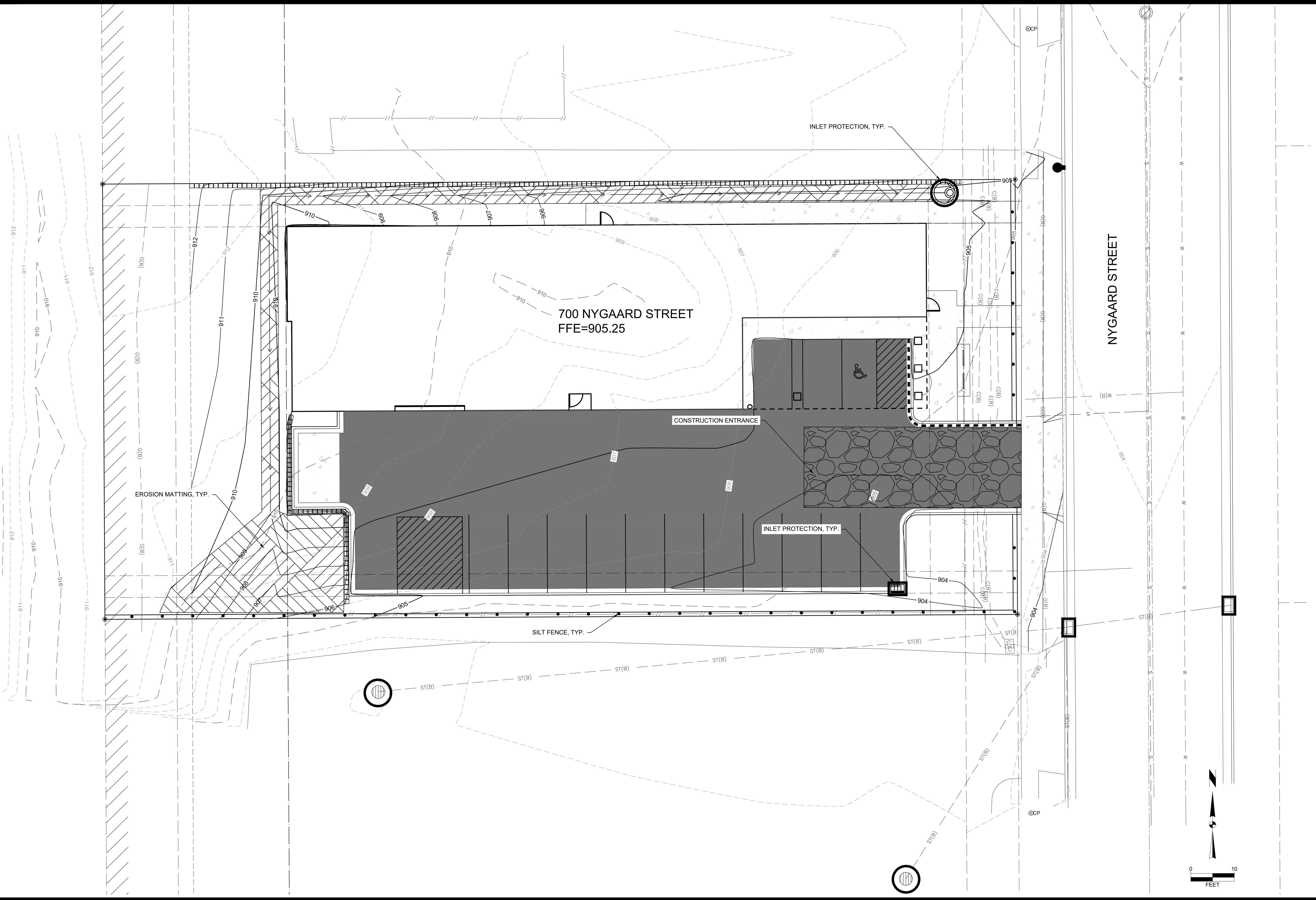
MARK	REVISION	DATE	BY

Engineer: ENGR Checked By: CHKD Scale: 1" = SCALE
Technician: TECH Date: MM-DD-YYYY T-R-S: TTN-RRW-SS
Project No: 120,0442.30 Sheet C 200

700 NYGAARD STREET
SITE PLAN
CITY OF STOUGHTON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
5010 VOGES ROAD
MADISON, WISCONSIN 53718
608-838-0444 | www.snyder-associates.com

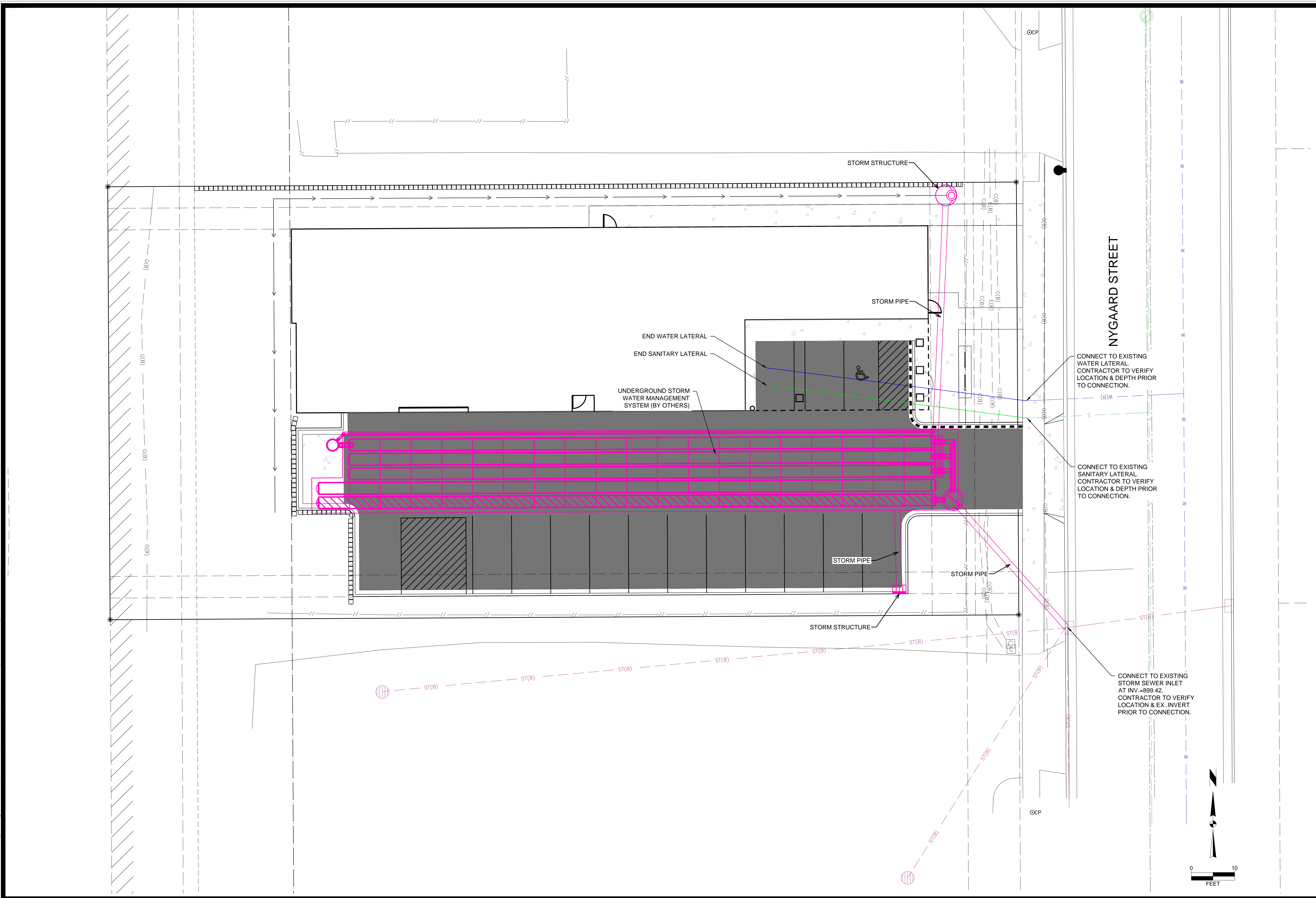
SNYDER & ASSOCIATES
Project No: 120,0442.30
Sheet C 200

D:\120.0442.30\CAD\1200442_Plan.dwg ERWAN ARCANO, EROSION CONTROL PLAN, 2020/05/05, 5:48 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



700 NYGAARD STREET		EROSION CONTROL PLAN		SNYDER & ASSOCIATES, INC. 	
CITY OF STOUGHTON, DANE COUNTY, WI		Project No: 120.0442.30		Sheet C 301	
SNYDER & ASSOCIATES		Project No: 120.0442.30		Sheet C 301	
5010 VOGES ROAD MADISON, WISCONSIN 53718 608-838-0444 www.snyder-associates.com		Engineer: ENGR Checked By: CHKD Scale: 1" = SCALE Technician: TECH Date: MM-DD-YYYY T-R-S; TTN-RRW-SS		Project No: 120.0442.30 Sheet C 301	

D:\120.0442\300\A00\1200442_Plan.dwg BRUN ARCAD, UTILITY PLAN, 2020/06/05, 5:48 PM, ANSI FULL BLEED D (34.00 X 22.00 INCHES)



MARK	REVISION	DATE	BY

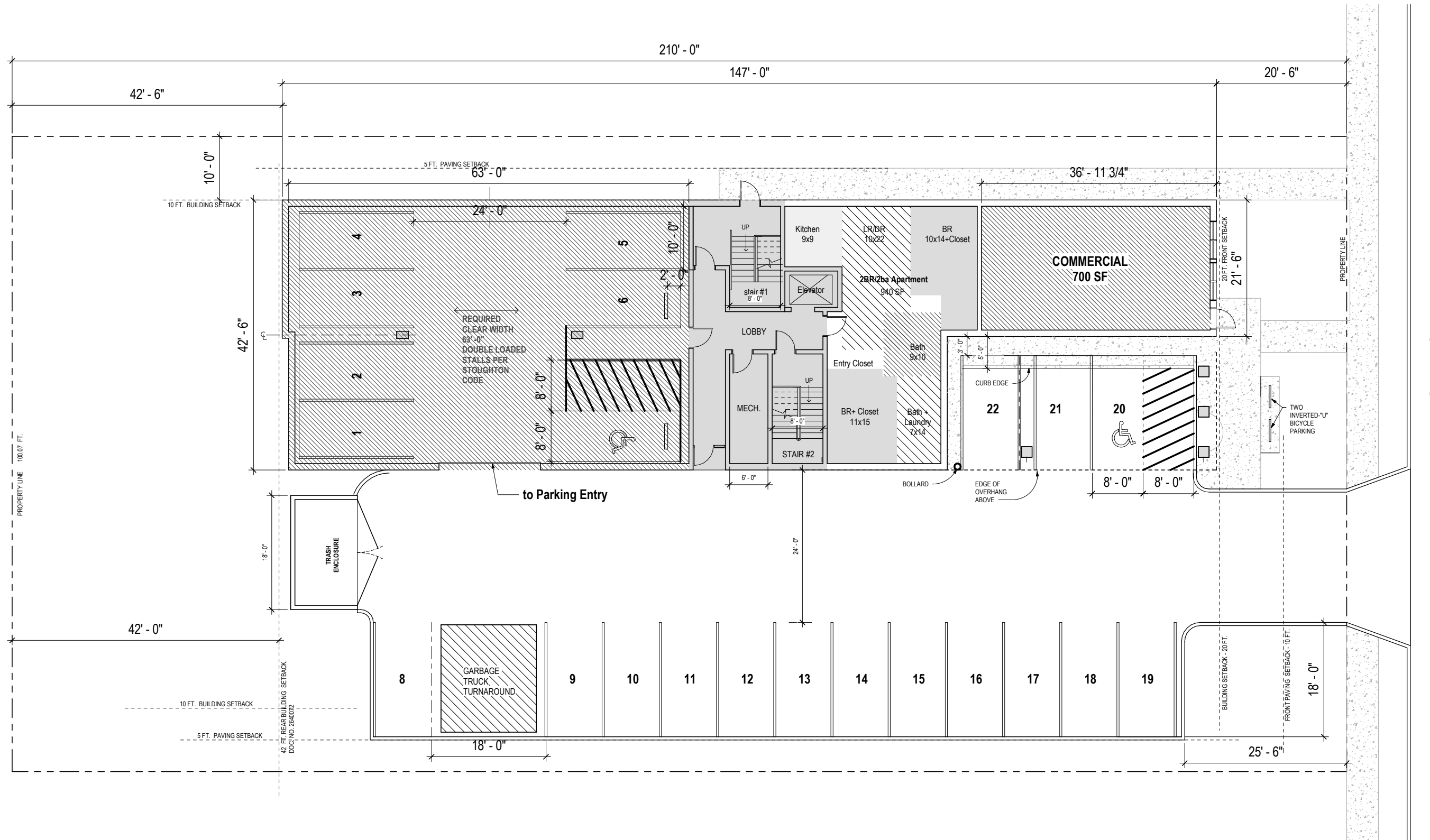
Engineer: ENGR Checked By: CHKD Scale: 1" = SCALE
 Technician: TECH Date: MM-DD-YYYY T-R-S: TTN-RRW-SS
 Project No: 120.0442.30 Sheet C 400

700 NYGAARD STREET
UTILITY PLAN
 CITY OF STOUGHTON, DANE COUNTY, WI
SNYDER & ASSOCIATES, INC.
 5010 VOGES ROAD
 MADISON, WISCONSIN 53718
 608-838-0444 | www.snyder-associates.com

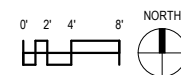


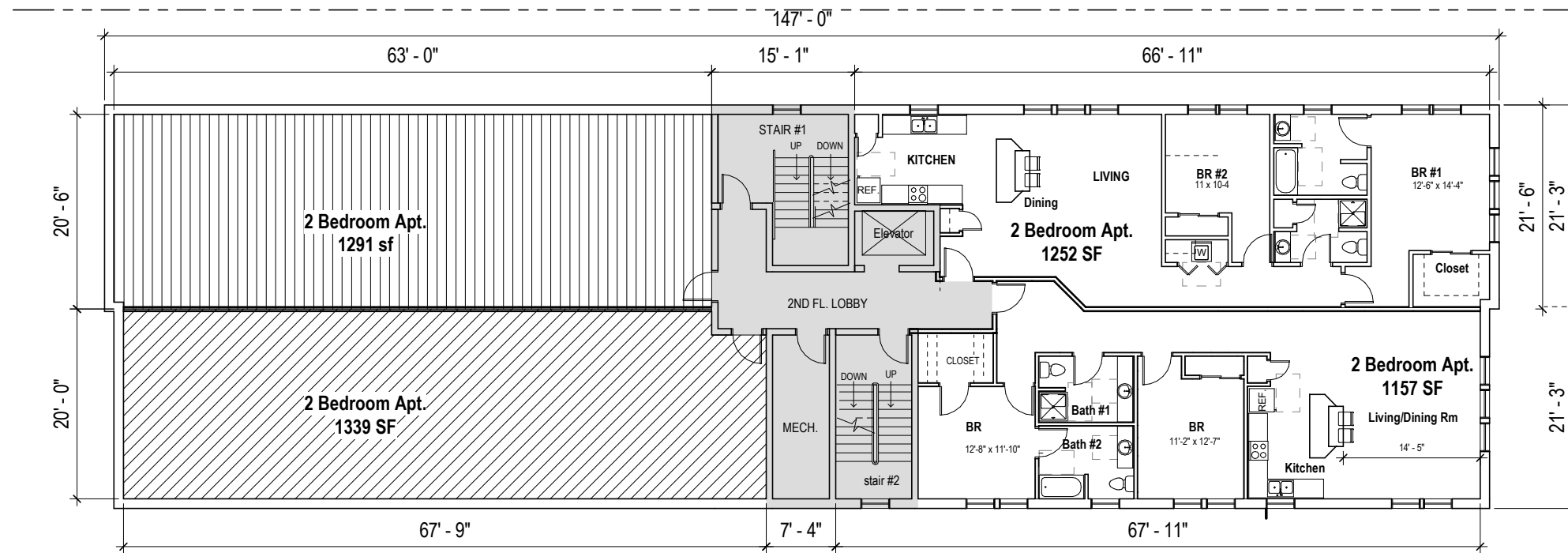
SNYDER & ASSOCIATES

Project No: 120.0442.30
 Sheet C 400

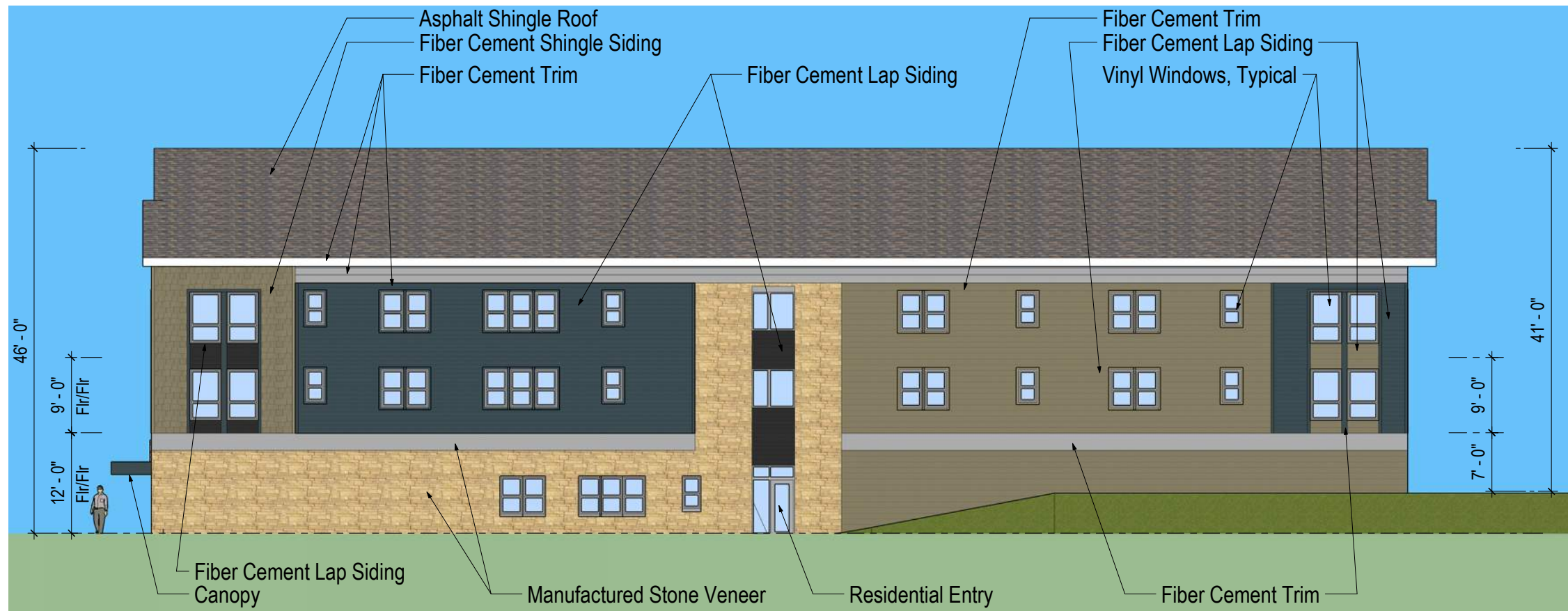


1 01-FIRST FLOOR PLAN/ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

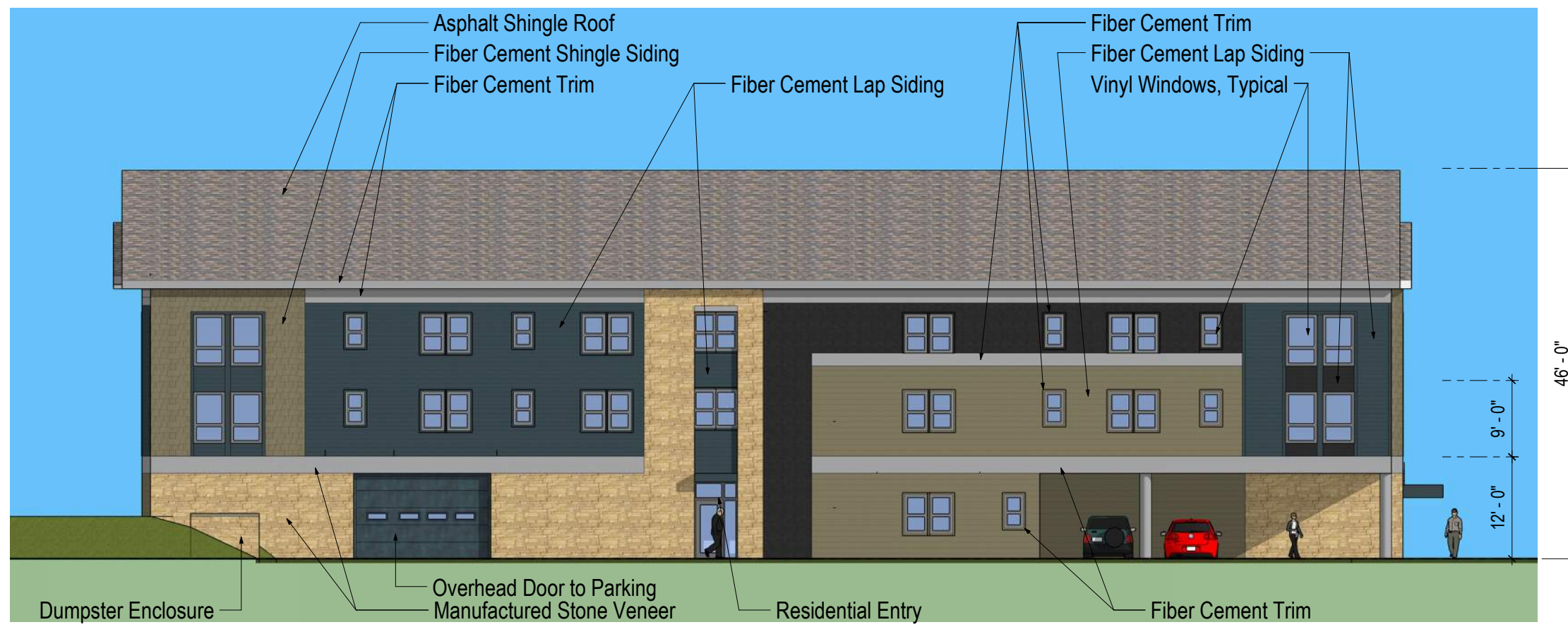




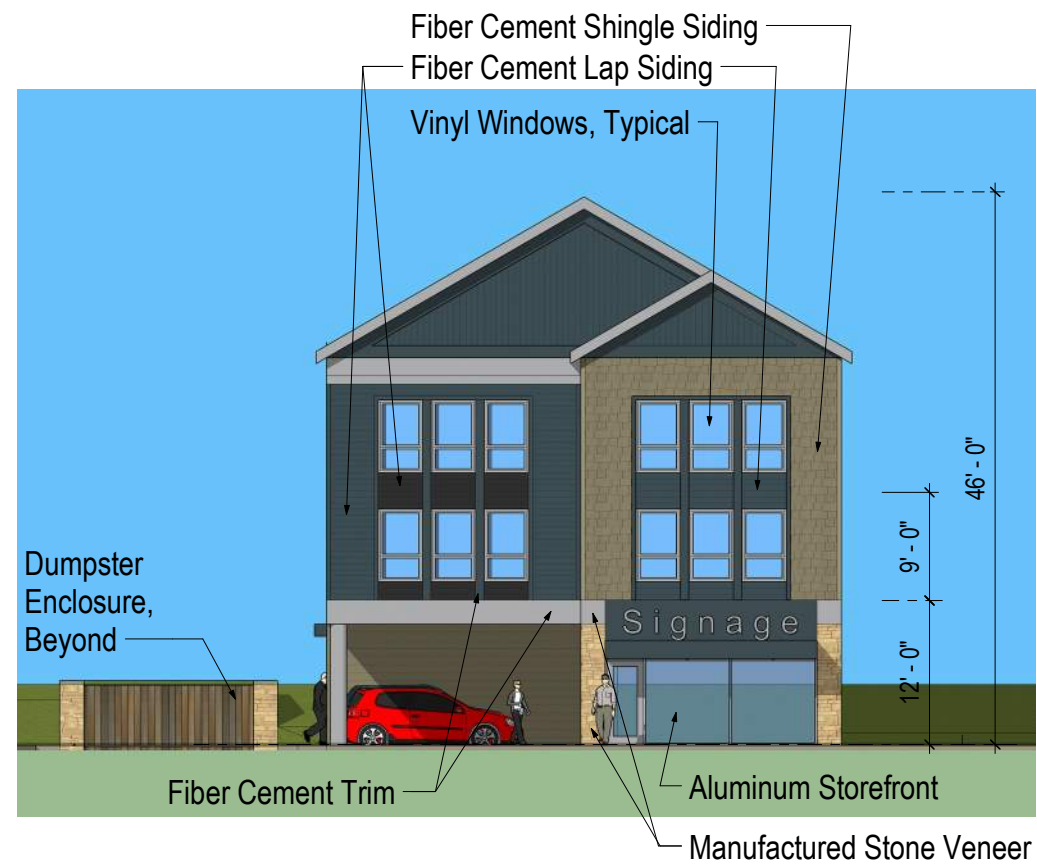
1 02 SECOND/THIRD FLOOR PLAN
1/8" = 1'-0"



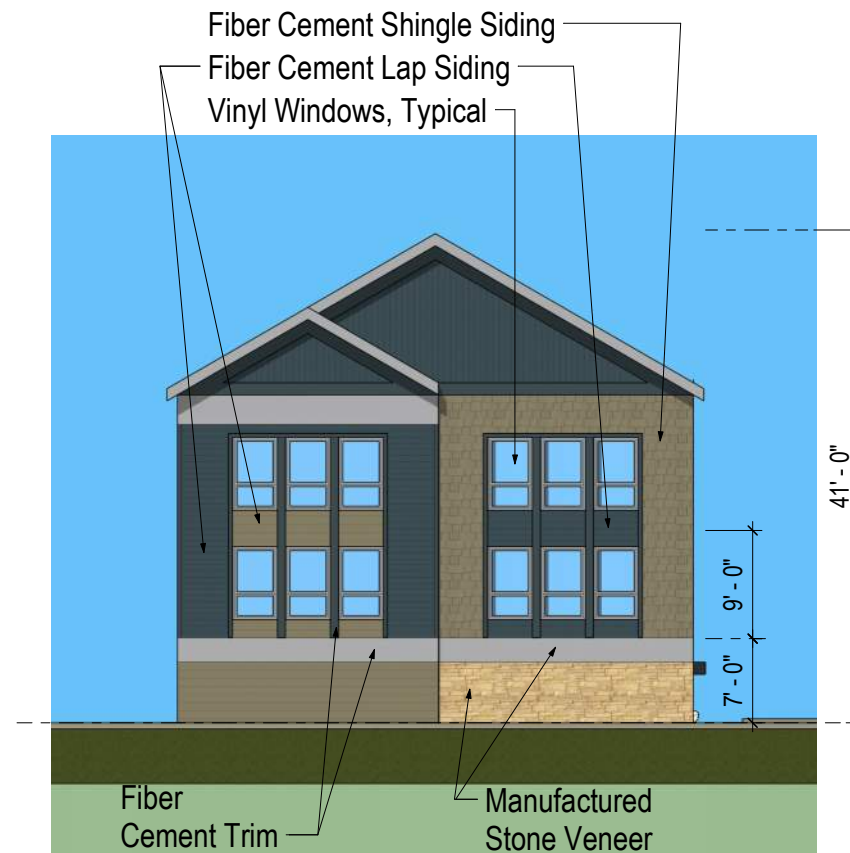
② ELEVATION - NORTH
1/8" = 1'-0"



① ELEVATION - SOUTH
1/8" = 1'-0"



1 ELEVATION - EAST
1/8" = 1'-0"



2 ELEVATION - WEST
1/8" = 1'-0"



Perspective View to NW